

Board of Architectural Review Agenda

VILLAGE OF MAMARONECK BOARD OF ARCHITECTURAL REVIEW AGENDA

September 28, 2017 AT 7:30 PM - 169 Mt. Pleasant Avenue

NOTICE OF FIRE EXITS AND REQUEST TO TURN OFF ELECTRONIC DEVICES

1. OLD BUSINESS
 - A. NO OLD BUSINESS
2. NEW BUSINESS
 - A. 1139 W. BOSTON POST ROAD - FACADE SIGN
APPLICANT: FRANCIS MCGUIRE - OWNER
 - B. 431 WARD AVENUE - FACADE AND ACCESSORY SIGNS
APPLICANT: GRANATA SIGNS
 - C. 810 PIRATES COVE - FRAMING REVISION TO PREVIOUSLY
APPROVED PLANS
APPLICANT: PAIGE LEWIS - ARCHITECT
 - D. 776 N. BARRY AVENUE - SOLAR PANELS
APPLICANT: VANGUARD ENERGY
 - E. 1005 SEVEN OAKS LANE - SOLAR PANELS
APPLICANT: SUNRISE SOLAR
 - F. 621 LORRAINE STREET - REMOVE AND REPLACE GARAGE
APPLICANT: COSTANTINO FRAGALE - OWNER
 - G. 515 GREENHAVEN ROAD - 2ND FLOOR ADDITION
APPLICANT: WILLIAM BRANK - CONTRACTOR
 - H. 801 JEFFERSON AVENUE - ADDITION
APPLICANT: MARK MUSTACATO - ARCHITECT
*NOTE: ZBA APPROVAL GRANTED FOR REAR YARD SETBACK AND
FAR*
 - I. 615 SYLVAN AVENUE - DECK EXTENSION
APPLICANT: GAZDA CONSTRUCTION - CONTRACTOR
 - J. 735 THE CRESCENT - 2 STORY ADDITION OVER GARAGE AND NEW
GARAGE
APPLICANT: GAZDA CONSTRUCTION - CONTRACTOR
 - K. 742 SOUNDVIEW DRIVE - NEW HOUSE
APPLICANT: JOHN SCARLATO, JR. - ARCHITECT
*NOTE: NEEDS PLANNING BOARD APPROVAL FOR CREATION OF
NEW LOT*

ANY HANDICAPPED PERSON NEEDING SPECIAL ASSISTANCE IN ORDER TO ATTEND
THE MEETING SHOULD CALL THE VILLAGE MANAGER'S OFFICE AT 914-777-7703

Applicants must place a notification sign on the property and return a Proof of Service

Affidavit to the Building Department prior to the meeting or the application will not be heard by the Board at this meeting.

Applicants must bring photographs of the subject premises and adjacent properties to the Building Department at the time of submission. If not received, your application will not be heard by the Board at this meeting.

Please inform the Building Department 48 hours prior to the meeting if you are unable to be in attendance.

THE NEXT MEETING WILL BE HELD ON THURSDAY OCTOBER 19, 2017

Village of Mamaroneck, NY

Item Title: Old Business

Item Summary: NO OLD BUSINESS

Fiscal Impact:

Village of Mamaroneck, NY

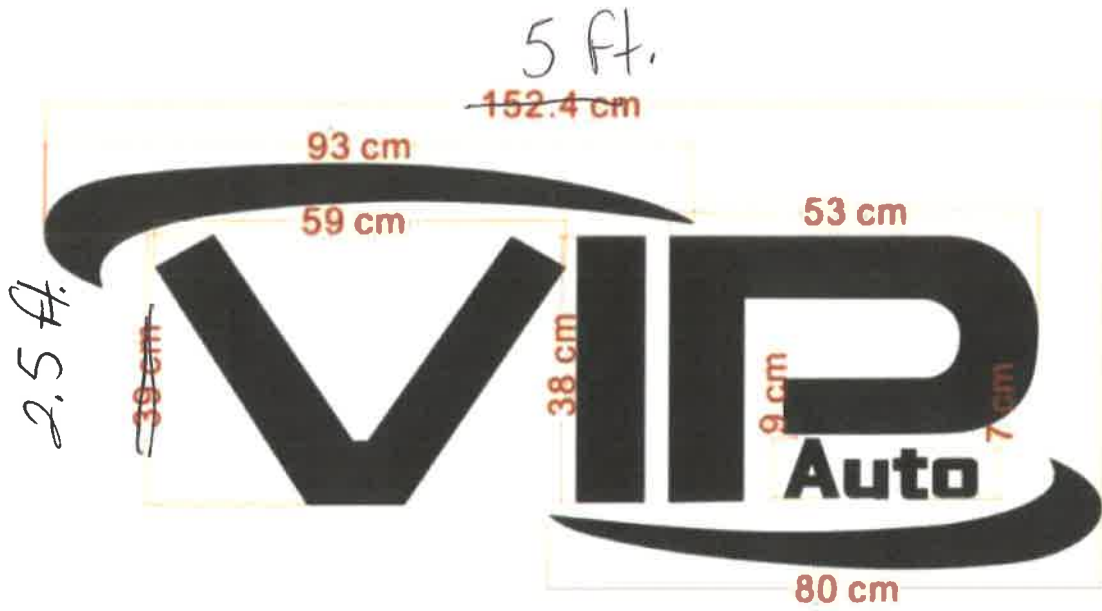
Item Title: 1139 W. Boston Post Road

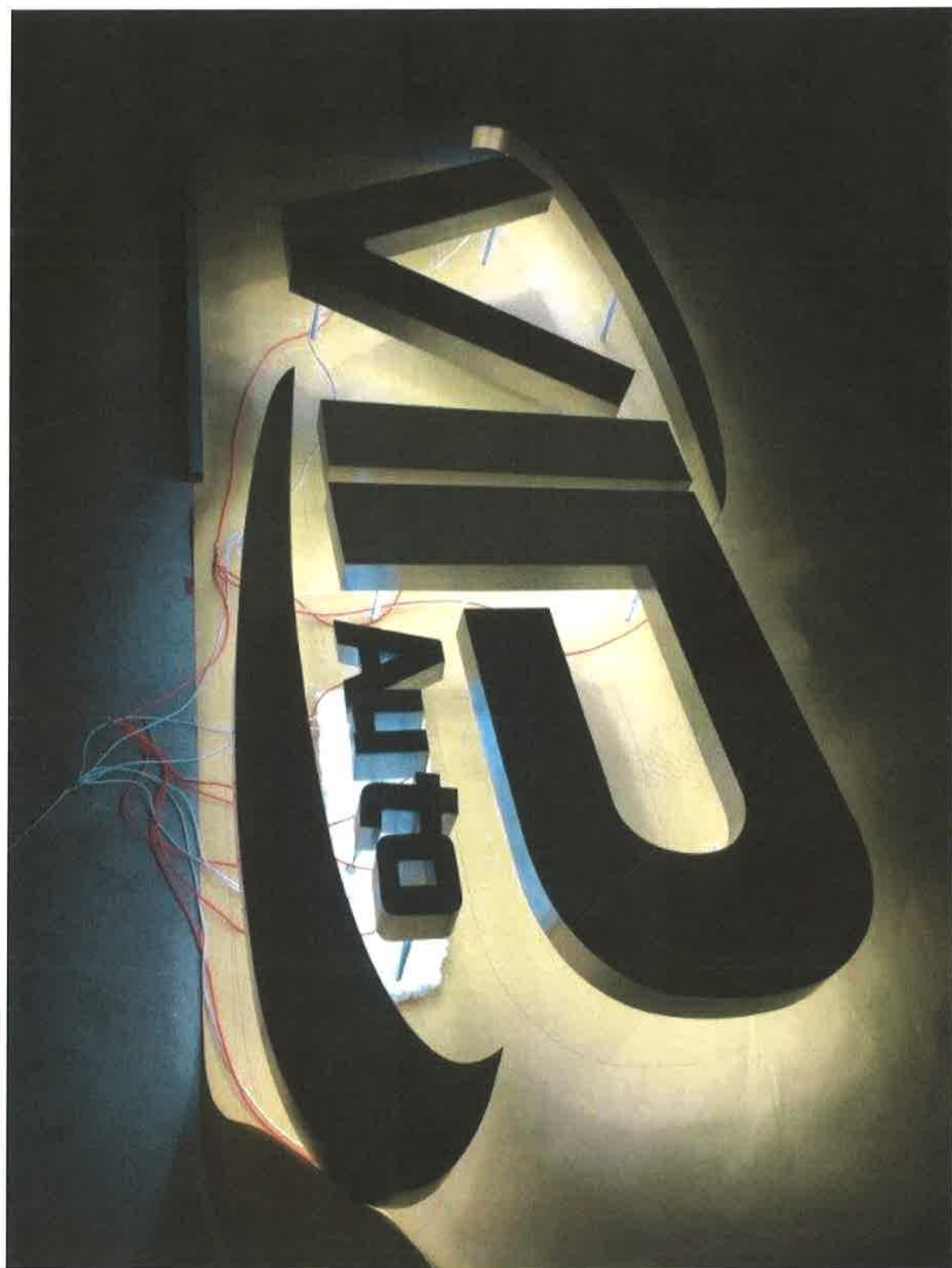
Item Summary: 1139 W. BOSTON POST ROAD - FACADE SIGN
APPLICANT: FRANCIS MCGUIRE - OWNER

Fiscal Impact:

ATTACHMENTS:

<u>Description</u>	<u>Upload Date</u>	<u>Type</u>
1139 WBPR	9/20/2017	Presentation









Village of Mamaroneck, NY

Item Title: 431 Ward Avenue

Item Summary: 431 WARD AVENUE - FACADE AND ACCESSORY SIGNS
APPLICANT: GRANATA SIGNS

Fiscal Impact:

ATTACHMENTS:

<u>Description</u>	<u>Upload Date</u>	<u>Type</u>
431 Ward	9/20/2017	Presentation



M 18"

1/4" diameter threaded pins. 3" long.
1/2" Black Acrylic laser cut.

METRO HAIR STUDIO 60" 5"

1/4" diameter threaded pins. 3" long.
1/2" Black Acrylic laser cut.

SPECS

Color:

- Letters are sanded & painted with a matt black finish.

Finish:

- Letters are laser cut out of 1/2" acrylic.

Installation:

- 1/4" diameter threaded pins are attached to backing of acrylic letters with 2" extention.

- Pattern of the logo is placed on facade for acurecy of pin placement for each letter. Hole drilled with a 2" depth.

- Pin backing of letters are placed into the hole pattern and sealed with outdoor all weather sillcok.

- Letters will sit 1/4" with spacers away from the faced of the building wich will keep clear of any harsh weather building up.

Sign view and placement:

- We will be installing a sign over the entrance of Metro Hair Studio, which this picture shows.
- The sign will sit center over the door to create a perfect visual piece.

RECEIVED

SEP 18 2017

VILLAGE OF MAMARONECK
BUILDING DEPARTMENT

Granata SIGN
COMPANY LLC

TEL: (203) 358 - 0780 FAX: (203) 358 - 8049

www.granatasigns.com

APPROVED BY:

DATE / /

NAME: Metro Hair Studio

LOCATION: 431 Ward Ave, Mamaroneck, NY 10543

DATE: 9-17-2017

SCALE

SUITE #



Description & Specs:

Replacing existing acrylic sign in the existing lit box.
Using Accessory white translucent acrylic 1/4" thick.
Black vinyl logo installed onto acrylic centered.

Size:

Translucent white acrylic piece cut to size.
27.375" x 70"



Description:

Exterior all weather proof black vinyl
to be installed onto white translucent acrylic.

Specs:

Size of the letter "M" is 9" Tall.
Size of "metro hair studio" is 2.5" Tall.

Description:

The existing lit box that is already on the facade of the building will have the old acrylic sign removed
& replaced with a new piece of acrylic and black vinyl logo placed on top.
This lit box faces the train station and sits above the studio windows.

	TEL: (203) 358 - 0780 FAX: (203) 358 - 8049		NAME: Metro Hair Studio	
	www.granatasigns.com		LOCATION: 431 Halstead Ave. Mamaroneck, NY 10543	
APPROVED BY:	DATE / /	DATE: 9-18-2017	SCALE	SUITE #

Village of Mamaroneck, NY

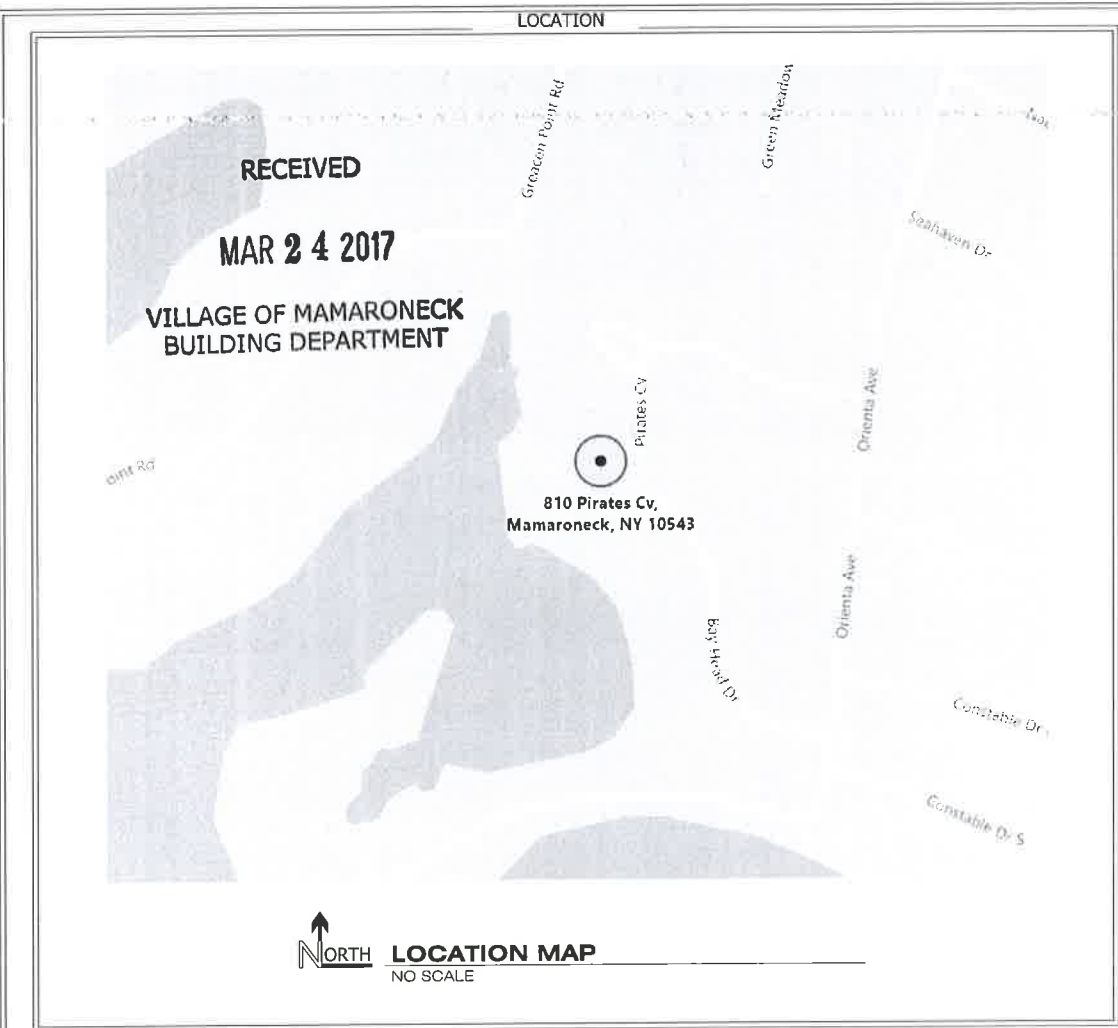
Item Title: 810 Pirates Cove

Item Summary: 810 PIRATES COVE - FRAMING REVISION TO PREVIOUSLY APPROVED PLANS
APPLICANT: PAIGE LEWIS - ARCHITECT

Fiscal Impact:

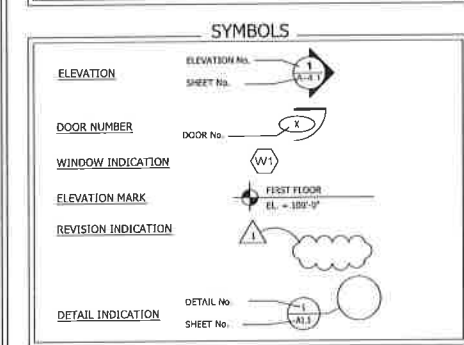
ATTACHMENTS:

<u>Description</u>	<u>Upload Date</u>	<u>Type</u>
810 Pirates	9/20/2017	Presentation



MATERIAL

EARTH	BATT INSULATION
GRAVEL	PLYWOOD
CONCRETE	ROUGH WOOD
CMU	FINISHED WOOD
BRICK	GYPSTUM BOARD
STEEL	GLASS
RIGID INSULATION	

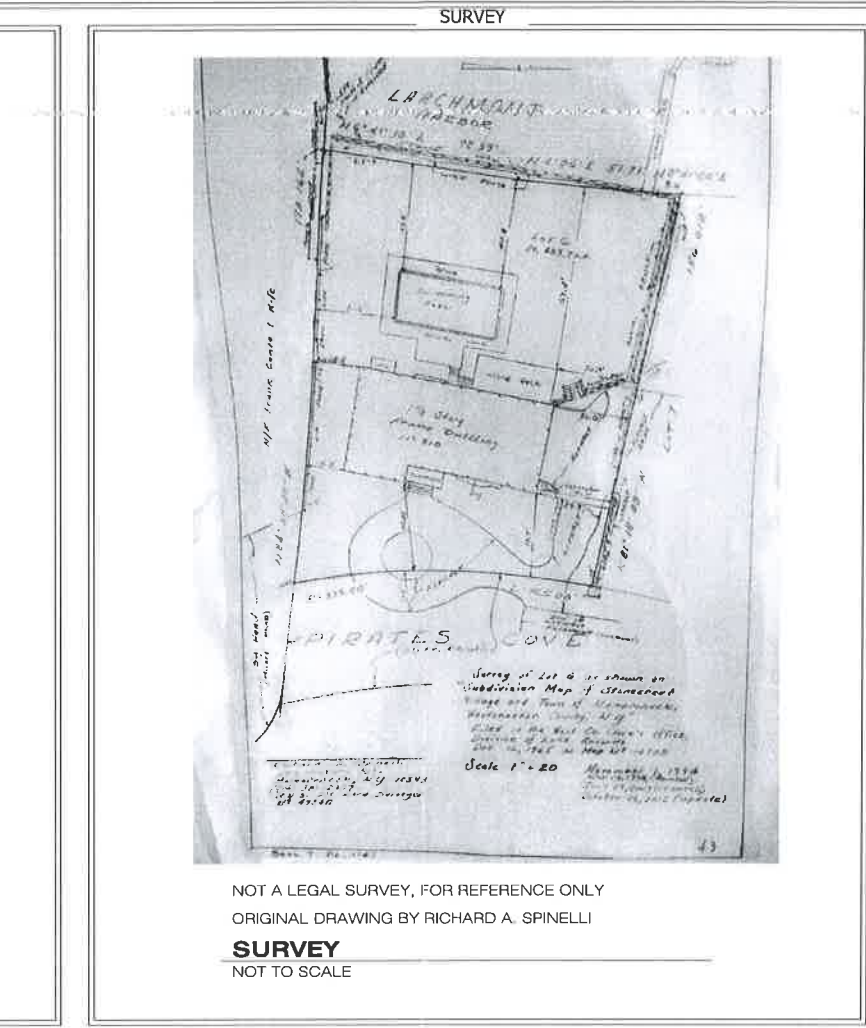


- SCOPE OF WORK
- PROPOSE PROJECT INCLUDES:
- 1-STORY SECOND FLOOR ADDITION (MASTER BATH, CLOSET, OFFICE 2 & BEDROOM 3)
 - NEW WINDOWS & EXTERIOR SIDING
 - INTERIOR RENOVATIONS
 - SCREEN PORCH

- BY OWNER
- THE FOLLOWING ITEMS ARE TO BE PROVIDED BY THE OWNER AND INSTALLED BY THE GENERAL CONTRACTOR:
1. SURFACE MOUNTED LIGHTS PER LIGHTING LEGEND
 2. CLOSET SYSTEMS
 3. PLUMBING FIXTURES
 4. KITCHEN AND BATHROOM CABINETS
 5. TILE & COUNTERTOPS
 6. KITCHEN APPLIANCES
 7. GLASS SHOWER ENCLOSURES
 8. GLASS FIREPLACE DOORS

- ALTERNATES
- THE FOLLOWING ITEMS ARE ALTERNATES:
- 1.

- STRUCTURAL GENERAL NOTES
1. PROVIDE (2)2X10 HEADERS AT ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED.
 2. FRAMING PLANS FOR ILLUSTRATIVE PURPOSES ONLY. NOT ALL MEMBERS SHOWN.
 3. PROVIDE 3" MINIMUM BEARING AT ALL BEAMS.
 4. PROVIDE 1 1/2" MINIMUM BEARING AT ALL HEADERS.
 5. ALL EXTERIOR WALLS TO BE 2X4 STUDS AT 16" O.C. (2X4 AT INTERIOR WALLS U.N.O.)
 6. NOTCH COLUMNS AT EXTERIOR BEAMS (OR PROVIDE SIMPSON CONNECTORS).
 7. MAINTAIN 6'-8" MINIMUM HEAD CLEARANCE AT ALL STAIRS
 8. FIRE CAULK AT ALL FLOOR PENETRATIONS
 9. ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR #2 (OR BETTER).
 10. PROVIDE SIMPSON CONNECTORS AS REQUIRED AT BEAMS/COLUMNS



CODE AND BUILDING DATA

LOT SIZE / AREA	VILLAGE OF MAMARONECK	20,900 SF	
HABITABLE AREA		EXISTING	PROPOSED
FIRST FLOOR		3,098	3,098 *
SECOND FLOOR		1,595	2,219
TOTAL		4,693	5,317
VILLAGE OF MAMARONECK SCHEDULE OF MINIMUM REQUIREMENTS FOR RESIDENTIAL DISTRICTS - ZONING DISTRICT R-20			
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA (SF) *	20,000	20,900	20,000 *
MINIMUM LOT WIDTH *	100'	125'	125' *
MINIMUM LOT DEPTH *	100'	173.1'	173.1' *
SETBACKS:			
FRONT YARD	25'	33.45'	29.0'
LESSER SIDE YARD	20'	15.15'	15.15' *
TWO SIDE YARDS COMBINED	45'	44.34'	44.34' *
REAR YARD	30'	69.4'	69.4' *
MAXIMUM PERCENTAGE OF LOT TO BE OCCUPIED ALL BUILDINGS	35%	14.7%	16.1%
MAXIMUM FLOOR AREA RATIO	0.3 6,273 SF	5,562 SF	6,186 SF
MAXIMUM HEIGHT	ALLOWED	EXISTING	PROPOSED
PRINCIPAL BUILDING (STORIES)	2.5	1.5	1.5 *
PRINCIPAL BUILDING (FEET)	35'	25'	25' *
* EXISTING CONDITION, NO CHANGE REQUESTED NOTE: EXISTING FLOOR AREAS WERE OBTAINED FROM VILLAGE OF MAMARONECK, WEBSITE			

THERMAL CRITERIA

NEW YORK STATE ENERGY CODE, 2010
CLIMATE ZONE 4
MINIMUM R-VALUE OF WALLS - R-19
MINIMUM R-VALUE OF CEILINGS - R-30
MINIMUM U-VALUE OF FENESTRATIONS - U-0.3

CLIMATIC AND GEOGRAPHICAL CRITERIA

NEW YORK STATE RESIDENTIAL BUILDING CODE, 2010
GROUND SNOW LOAD : 30 PSF
WIND SPEED : 110 MPH
SEISMIC DESIGN CATEGORY : C
FROST DEPTH : 42"
WEATHERING : SEVERE
TERMITE : MODERATE TO HEAVY
FLOOD HAZARD : NOT APPLICABLE
PSF = POUNDS PER SQUARE FOOT

STRUCTURAL CRITERIA

NEW YORK STATE RESIDENTIAL BUILDING CODE, 2010
LIVE LOAD:
LIVING AREAS AND DECK : 40 PSF
BEDROOMS: 30 PSF
DEAD LOAD : 10 PSF
GROUND SNOW LOAD: 30 PSF
ALL STRUCTURAL LUMBER SHALL BE:
DOUGLAS FIR #2, $f_b = 900$, $E = 1,400,000$ (OR BETTER)
PSF = POUNDS PER SQUARE FOOT

DRAWING INDEX

T-1	TITLE SHEET
A-0.1	EXISTING AND PROPOSED SITE PLAN
A-1.0	EXISTING FLOOR PLANS
A-1.1	DEMOLITION PLANS
A-2.0	PROPOSED BASEMENT FLOOR PLAN
A-2.1	PROPOSED FIRST FLOOR PLAN
A-2.2	PROPOSED SECOND FLOOR PLAN
A-2.3	PROPOSED ROOF PLAN
A-4.0	EXISTING FRONT & REAR EXTERIOR ELEVATIONS
A-4.1	EXISTING RIGHT & LEFT EXTERIOR ELEVATIONS
A-5.0	PROPOSED FRONT & REAR EXTERIOR ELEVATIONS
A-5.1	PROPOSED RIGHT & LEFT EXTERIOR ELEVATIONS

GENERAL NOTES

1. DO NOT SCALE DRAWINGS
2. THE ARCHITECT CERTIFIES THESE DRAWINGS TO BE IN COMPLIANCE WITH THE RESIDENTIAL CODE OF NEW YORK STATE 2010 AND THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. SEE "BUILDING ENVELOPE THERMAL COMPONENTS CRITERIA" FOR ENERGY COMPLIANCE INFORMATION.
3. ALL CONSTRUCTION IS TO CONFORM WITH ALL APPLICABLE CODES, ORDINANCES, ETC. INCLUDING THE RESIDENTIAL CODE OF NEW YORK STATE 2010 AND THE ENERGY CONSERVATION CODE OF NEW YORK STATE.
4. THE WORK TO BE PROVIDED ON THIS PROJECT SHALL INCLUDE ALL NECESSARY COMPONENTS EVEN THOUGH NOT SPECIFICALLY MENTIONED OR SHOWN. AND THE CONTRACTOR SHALL NOT AVAL HIMSELF OF ANY MANIFESTLY UNINTENTIONAL OMISSIONS, SHOULD THEY EXIST. THESE DRAWINGS REPRESENT A "BUILDER SET" OF DRAWINGS AND ARE TO BE USED AS A GUIDE TO THE CONSTRUCTION PROCESS. THEY DO NOT REPRESENT A FULL OR COMPLETE ARCHITECTURAL SERVICE.
5. ARCHITECT SUPERVISION OF CONSTRUCTION IS NOT INCLUDED WITH THESE DRAWINGS. THEREFORE THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR WORKMANSHIP, CODE OR PLAN COMPLIANCE DURING CONSTRUCTION.
6. THE CONTRACTOR SHALL VERIFY ALL MATERIALS, DIMENSIONS, DETAILS AND CONDITIONS AND SHALL REPORT ANY ALLEGED DIFFERENCES OR DISCREPANCIES AT ONCE TO THE OWNER.
7. IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS AND REFERENCED STANDARDS OF THESE SPECIFICATIONS THE MORE STRINGENT PROVISIONS SHALL GOVERN.
8. STRUCTURAL SPECIFICATIONS AND DRAWINGS FOR THIS WORK HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED ARCHITECTURAL PRACTICE TO MEET MINIMUM REQUIREMENTS OF THE RESIDENTIAL CODE OF NEW YORK STATE.
9. CONSTRUCTION LOADS SHALL NOT OVERLOAD STRUCTURE NOR SHALL THEY BE IN EXCESS OF DESIGN LOADING INDICATED ON DRAWINGS.
10. ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS MEANS, METHODS, TECHNIQUES OR SEQUENCES OF CONSTRUCTION AND THE SAFETY PROCEDURES EMPLOYED BY HIM.
11. BUILDING INSPECTOR NOTE THAT THESE PLANS ARE INVALID.
A. IF ALTERED.
B. IF NOT STAMPED BY A NEW YORK STATE REGISTERED ARCHITECT WHOSE SEAL MUST BE EITHER IMPRESSED OR ORIGINALLY STAMPED.
C. IF NOT COLLATED WITH ALL PRESCRIBED SHEETS, INCLUDING THESE NOTES.
12. ALL CHANGES TO THESE PLANS MAY ONLY BE APPROVED WITH THE CONSENT OF THE ARCHITECT AND OWNER.
13. ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC. SHALL BE HANDLED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND PROVISIONS. WHERE SPECIFIC MANUFACTURED PRODUCTS ARE CALLED FOR, GENERIC EQUALS, WHICH MEET APPLICABLE STANDARDS AND SPECIFICATIONS, MAY BE USED.
14. IN THE ABSENCE OF A SOILS REPORT THE DRAWINGS SHOWING THE FOOTINGS, FOUNDATION AND SLAB ARE TO BE USED AS A GUIDE TO THEIR CONSTRUCTION AND ARE NOT BASED ON ACTUAL SOIL CONDITIONS AT THE CONSTRUCTION SITE.
15. ALL INTERIOR AND EXTERIOR INFILL WALLS SHALL BE 2X4 STUDS @ 16" O.C. EXCEPT WHERE NOTED.
16. RELOCATE EXISTING SUPPLY AND RETURN DIFFUSERS/DUCTWORK AS REQUIRED.
17. ALL EXHAUST FANS, RANGE HOODS AND DRYERS SHALL VENT TO THE OUTSIDE THROUGH SHEET METAL DUCTS. CAULK AROUND ALL PENETRATIONS THROUGH EXTERIOR.
18. ALL ELECTRICAL WORK SHALL BE SUPPLIED BY A COMPONENT LICENSED ELECTRICAL CONTRACTOR AND SHALL CONFORM TO THE 1999 ELECTRICAL CODE.
19. ALL PLUMBING WORK SHALL CONFORM TO THE RESIDENTIAL CODE OF NYS AND ALL LOCAL LAWS. ALL PLUMBING WORK SHALL BE PROVIDED BY A LICENSED PLUMBING CONTRACTOR.
20. ALL PIPE PENETRATIONS OF FLOOR AND FIRE RATED WALL ASSEMBLIES SHALL HAVE FIRE STOP SEALANT BOTH SIDES TYPICAL OF 3M CP 25N/S CAULK OR ACCEPTABLE EQUAL PER MANUFACTURER'S RECOMMENDATIONS.
21. THE ARCHITECT CERTIFIES THESE DRAWINGS ARE IN COMPLIANCE WITH THE RESIDENTIAL CODE OF NYS FOR TERMITE PROTECTION (R320) BY REQUIRING PRESSURE PERSEVERATIVELY TREATED WOOD AS PRESCRIBED IN SECTION R323.1 AND FOR PROTECTION AGAINST DECAY (R319).
22. ALL INSULATION MATERIALS SHALL BE INSTALLED IN COMPLIANCE WITH THE BUILDING CODE. VAPOR BARRIERS SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF THE INSULATION. NO EXPOSED VAPOR BARRIERS SHALL BE PERMITTED, RATHER VAPOR BARRIERS SHALL BE COVERED WITH CODE COMPLIANT COVERING.

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ISSUED / REVISIONS

DESCRIPTION	DATE
ISSUED FOR BIDS	03.16.17
ISSUED FOR BAR	03.24.17

BOILLOT
RESIDENCE

810 Pirates Cove
Mamaroneck
New York 10543

NOTES

REGISTERED ARCHITECT
PAIGE JARRETT LEWIS
034051
STATE OF NEW YORK

SHEET DESCRIPTION:
TITLE SHEET

SHEET No.
T-1

PHASE:
ISSUED FOR BIDS/BAR

LEWIS + LEWIS
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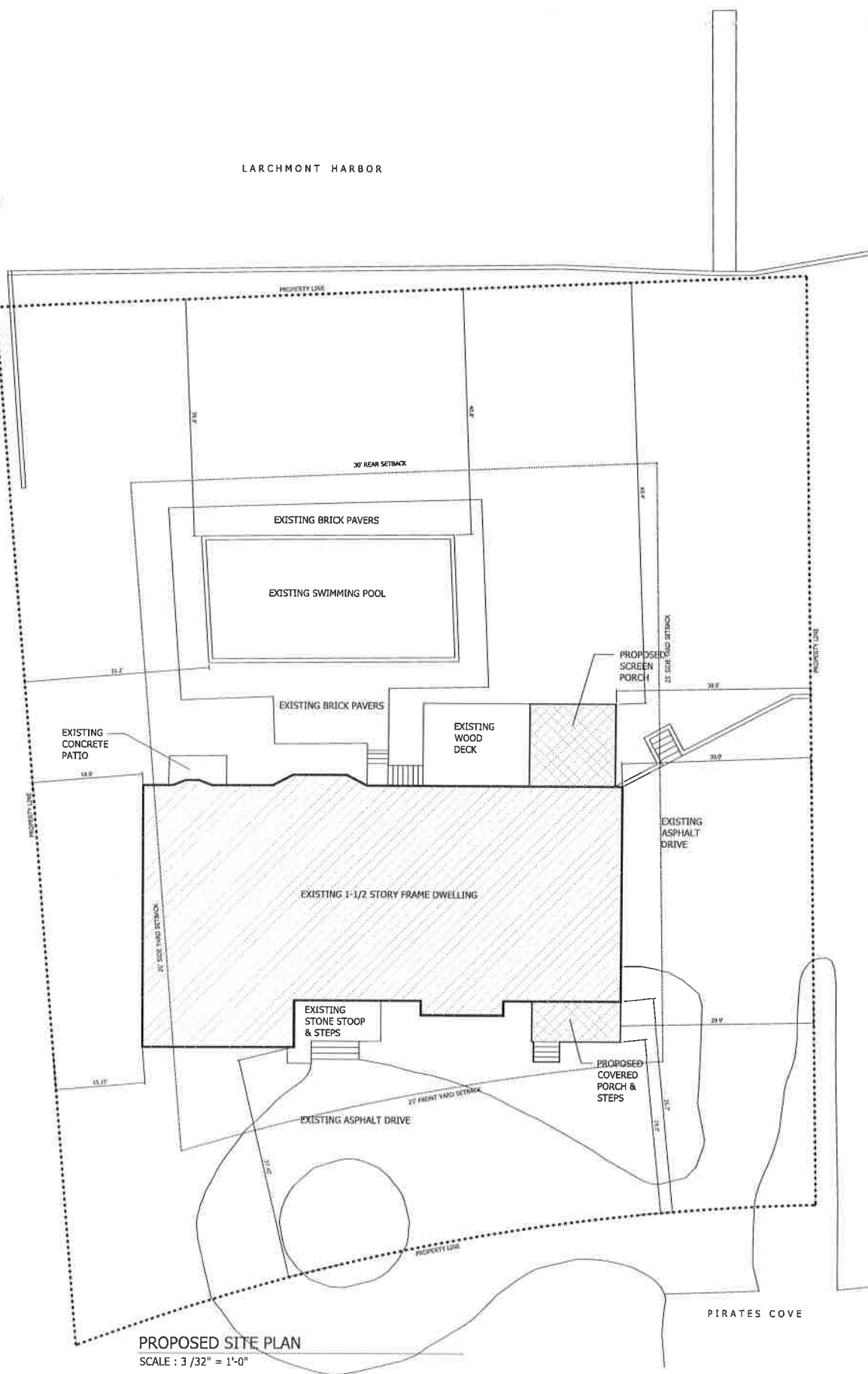
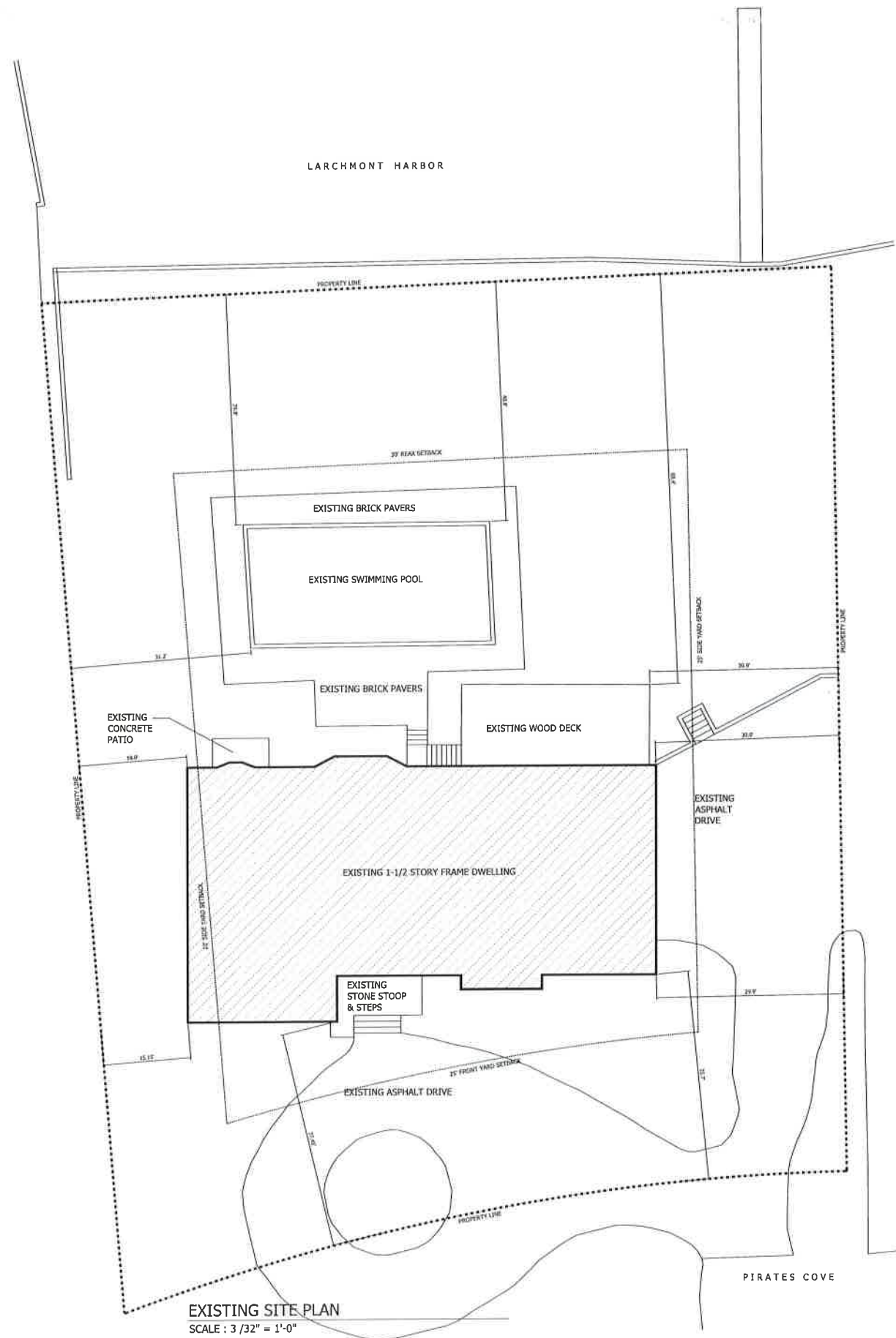
NOTES



SHEET DESCRIPTION:
EXISTING &
PROPOSED SITE
PLANS

SHEET No.
A-0.1

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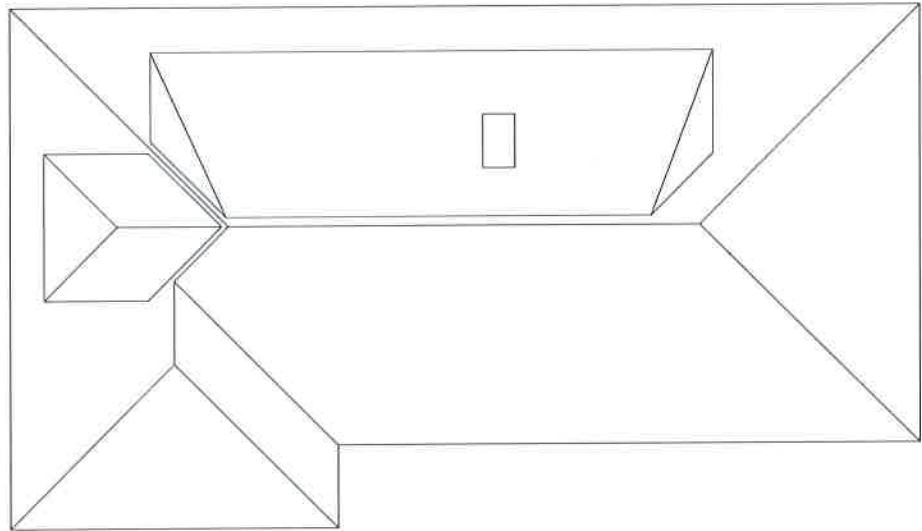
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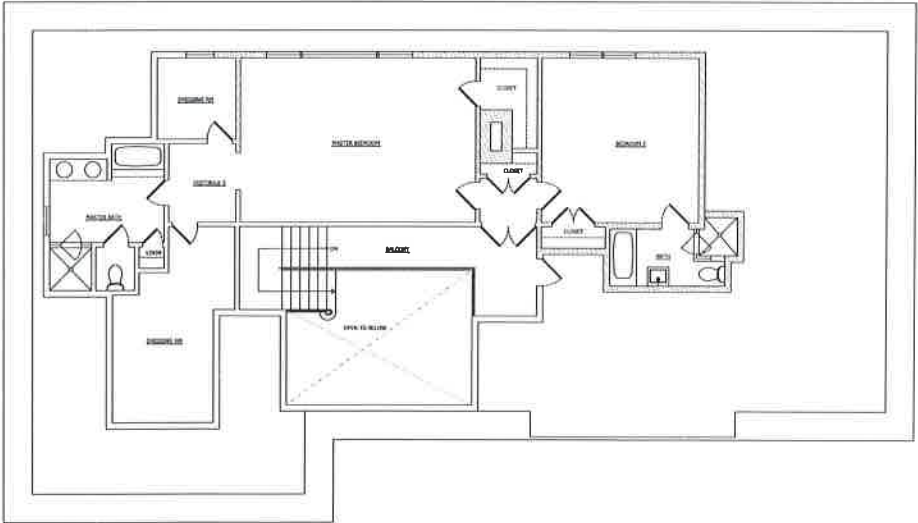
SHEET DESCRIPTION:
EXISTING
BASEMENT FLOOR
PLAN

SHEET No.
A-1.0

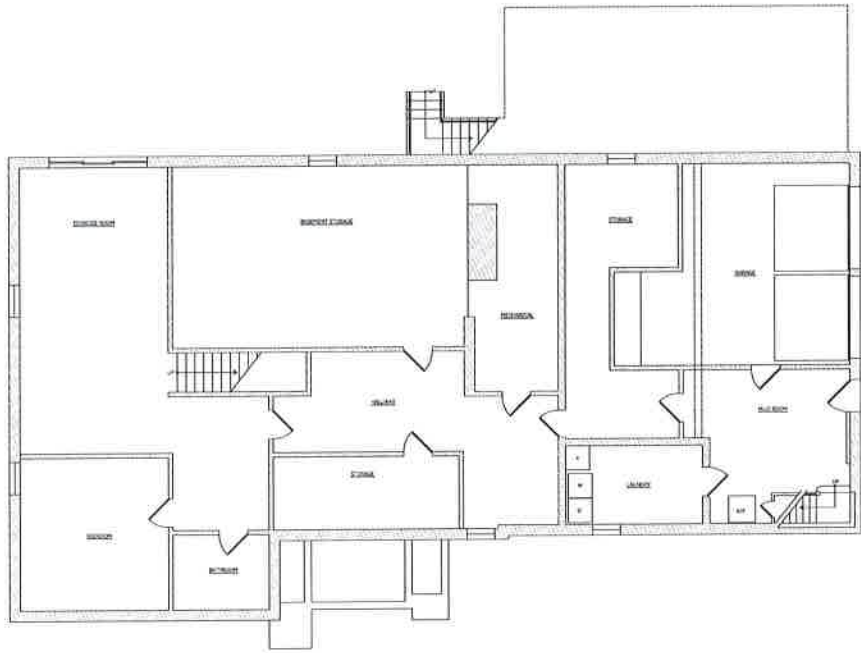
PHASE:
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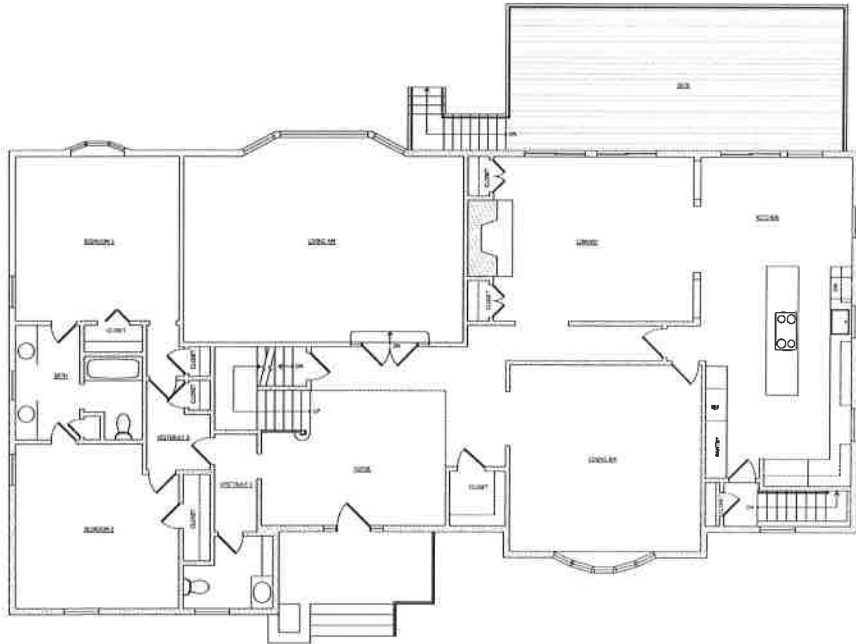
EXISTING ROOF PLAN
SCALE : 1 / 8" = 1'-0"



EXISTING SECOND FLOOR PLAN
SCALE : 1 / 8" = 1'-0"



EXISTING BASEMENT FLOOR PLAN
SCALE : 1 / 8" = 1'-0"





EXISTING FIRST FLOOR PLAN
SCALE : 1 / 8" = 1'-0"


DEMOLITION NOTES – TYPICAL


1. REMOVE EXISTING CONSTRUCTION AS REQUIRED TO BUILD PROPOSED LAYOUT.
2. RELOCATE EXISTING MECHANICAL/ELECTRICAL/PLUMBING-AS REQUIRED FOR NEW LAYOUT.
3. PROVIDE DOUBLE VISQUEEN DUST BARRIER AT ALL DEMOLITION.
4. GENERAL CONTRACTOR RESPONSIBLE FOR ADHERENCE TO ALL LEAD, ASBESTOS, ETC. ABATEMENT PROCEDURES PER EPA STANDARDS.
5. PROTECT EXISTING HOUSE FROM DAMAGE DURING DEMOLITION.
6. REMOVE AND PROPERLY DISPOSE OF ALL DEMOLITION DEBRIS FROM THE CONSTRUCTION SITE.

DEMOLITION LEGEND

 EXISTING PARTITION TO REMAIN

 EXISTING CONSTRUCTION TO BE REMOVED

 REMOVE EXISTING WOOD FLOORING DOWN TO EXISTING SUBFLOOR. SECURE LOOSE SUBFLOOR BOARDS FOR NEW FLOORING.

 EXISTING DOOR TO BE REMOVED.

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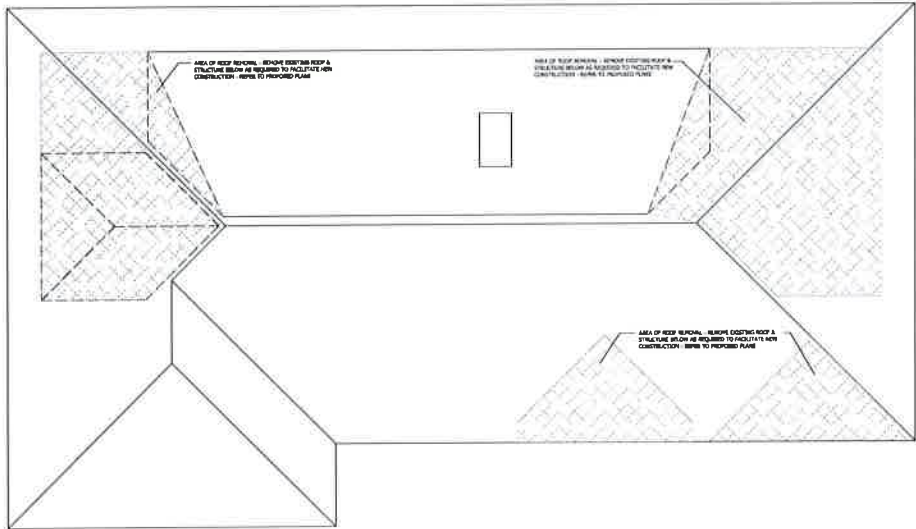
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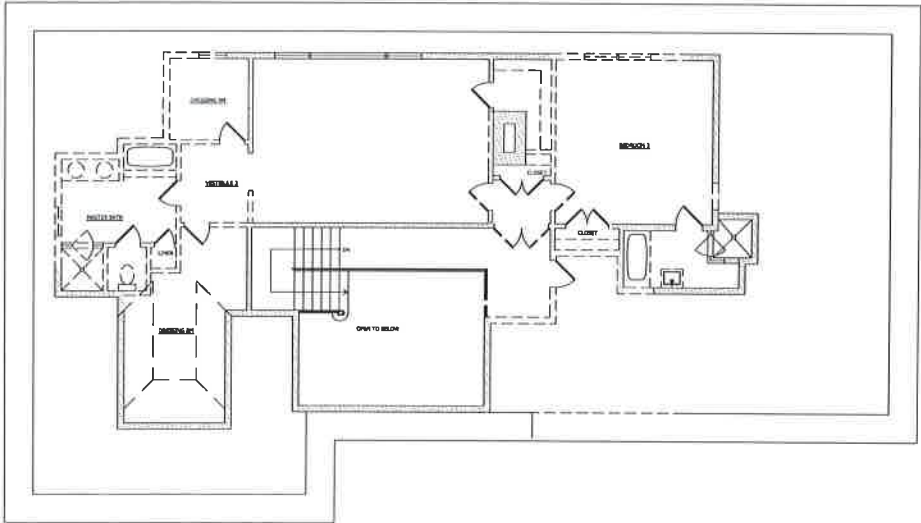
SHEET DESCRIPTION:
**DEMOLITION
PLANS**

SHEET No.
A-1.1

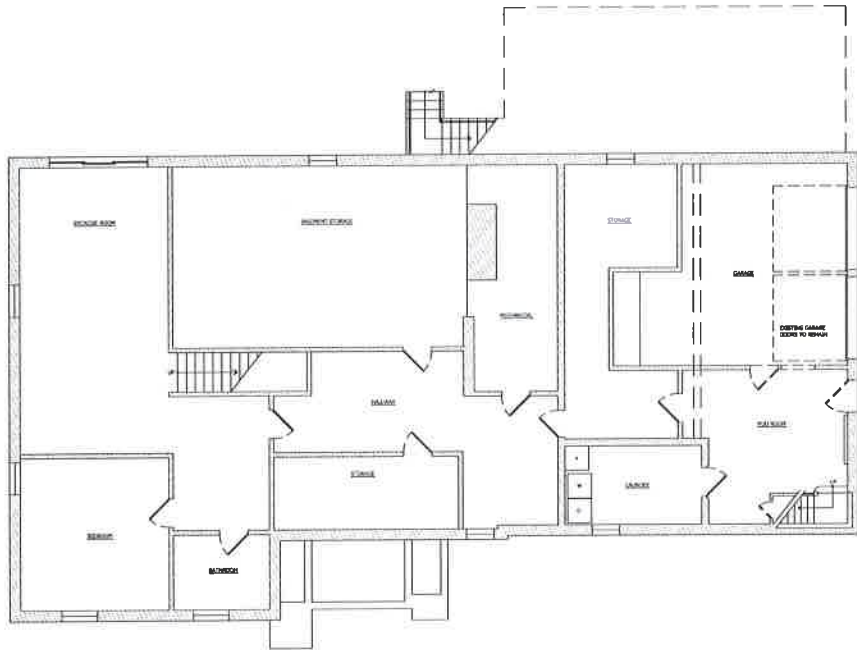
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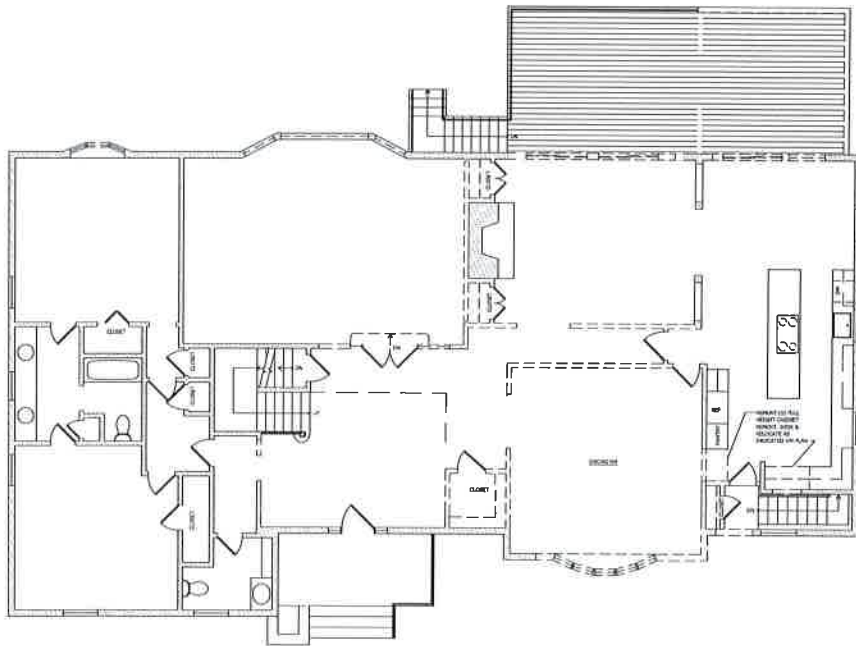
ROOF DEMOLITION PLAN
SCALE : 1 / 8" = 1'-0"



SECOND FLOOR DEMOLITION PLAN
SCALE : 1 / 8" = 1'-0"



BASEMENT DEMOLITION PLAN
SCALE : 1 / 8" = 1'-0"



FIRST FLOOR DEMOLITION PLAN
SCALE : 1 / 8" = 1'-0"

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ISSUED FOR BAR	03.24.17

BOILLOT
RESIDENCE

810 Pirates Cove
Mamaroneck
New York 10543

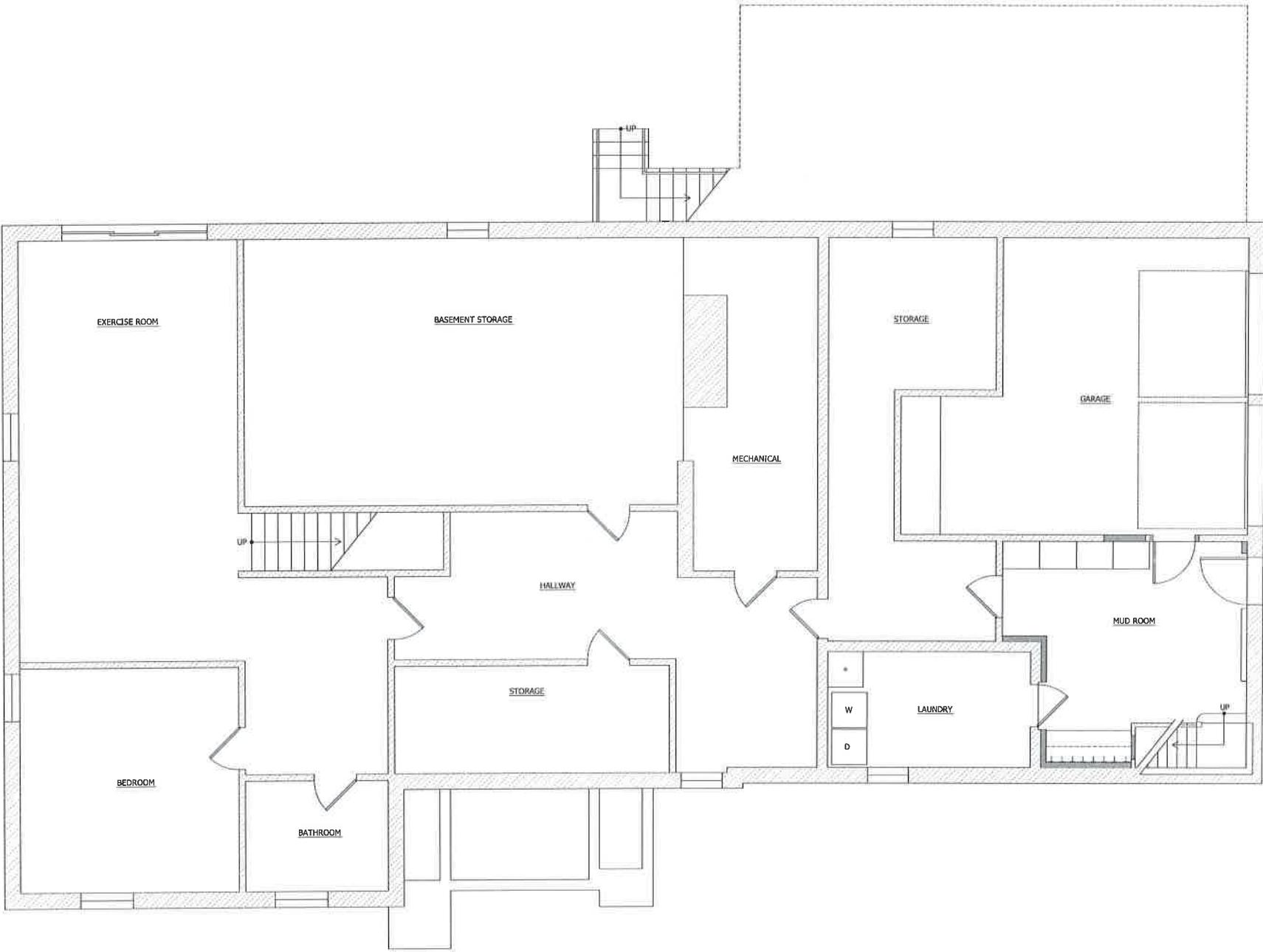
NOTES



SHEET DESCRIPTION:
PROPOSED
BASEMENT FLOOR
PLAN

SHEET No:
A-2.0

PHASE:
ISSUED FOR BIDS/BAR



PROPOSED BASEMENT FLOOR PLAN
SCALE : 1 / 4" = 1'-0"

STRUCTURAL GENERAL NOTES

1. PROVIDE (2)2X10 HEADERS AT ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED.
2. FRAMING PLANS FOR ILLUSTRATIVE PURPOSES ONLY. NOT ALL MEMBERS SHOWN.
3. PROVIDE 3" MINIMUM BEARING AT ALL BEAMS.
4. PROVIDE 1 1/2" MINIMUM BEARING AT ALL HEADERS.
5. ALL EXTERIOR WALLS TO BE 2X6 STUDS AT 16" O.C. (2X4 AT INTERIOR WALLS U.N.D.)
6. NOTCH COLUMNS AT EXTERIOR BEAMS (OR PROVIDE SIMPSON CONNECTORS).
7. MAINTAIN 6'-8" MINIMUM HEAD CLEARANCE AT ALL STAIRS
8. FIRE CAULK AT ALL FLOOR PENETRATIONS
9. ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR #2 (OR BETTER).
10. PROVIDE SIMPSON CONNECTORS AS REQUIRED AT BEAMS/COLUMNS
11. PROVIDE CONTINUOUS BRIDGING AT ALL FLOOR JOIST (AT MIDSPAN)
12. FUR-OUT/PATCH/PAINT NEW WALLS ABUTTING EXISTING WALLS FOR A SMOOTH, SEAMLESS FINISH.
13. CONTRACTOR TO INSTALL BATT INSULATION & SOLID FIREBLOCKING AT ALL OPENED WALLS.
14. PROVIDE SISTERED JOISTS & NEW 3/4" PLYWOOD AT ALL BATHROOM RENOVATIONS.
15. PROVIDE HURRICANE CLIPS @ 32" O.C. AT ALL NEW RAFTERS (TO TOP PLATE).

FLOOR PLAN SYMBOL LEGEND

- (X) DOOR SYMBOL-SEE DOOR SCHEDULE
- (X) WINDOW SYMBOL-SEE WINDOW SCHEDULE
- EXISTING CONSTRUCTION
- NEW WOOD FRAMED WALLS
 - 2X4 @ 16" O.C. @ INTERIOR WALLS
 - 2X6 @ 16" O.C. @ EXTERIOR WALLS (R-19 OPEN CELL SPRAY FOAM INSULATION) - UNLESS NOTED OTHERWISE

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DESCRIPTION	DATE
ISSUED FOR BIDS	03.16.17
ISSUED FOR BAR	03.24.17

BOILLOT
RESIDENCE

810 Pirates Cove
Mamaroneck
New York 10543

NOTES



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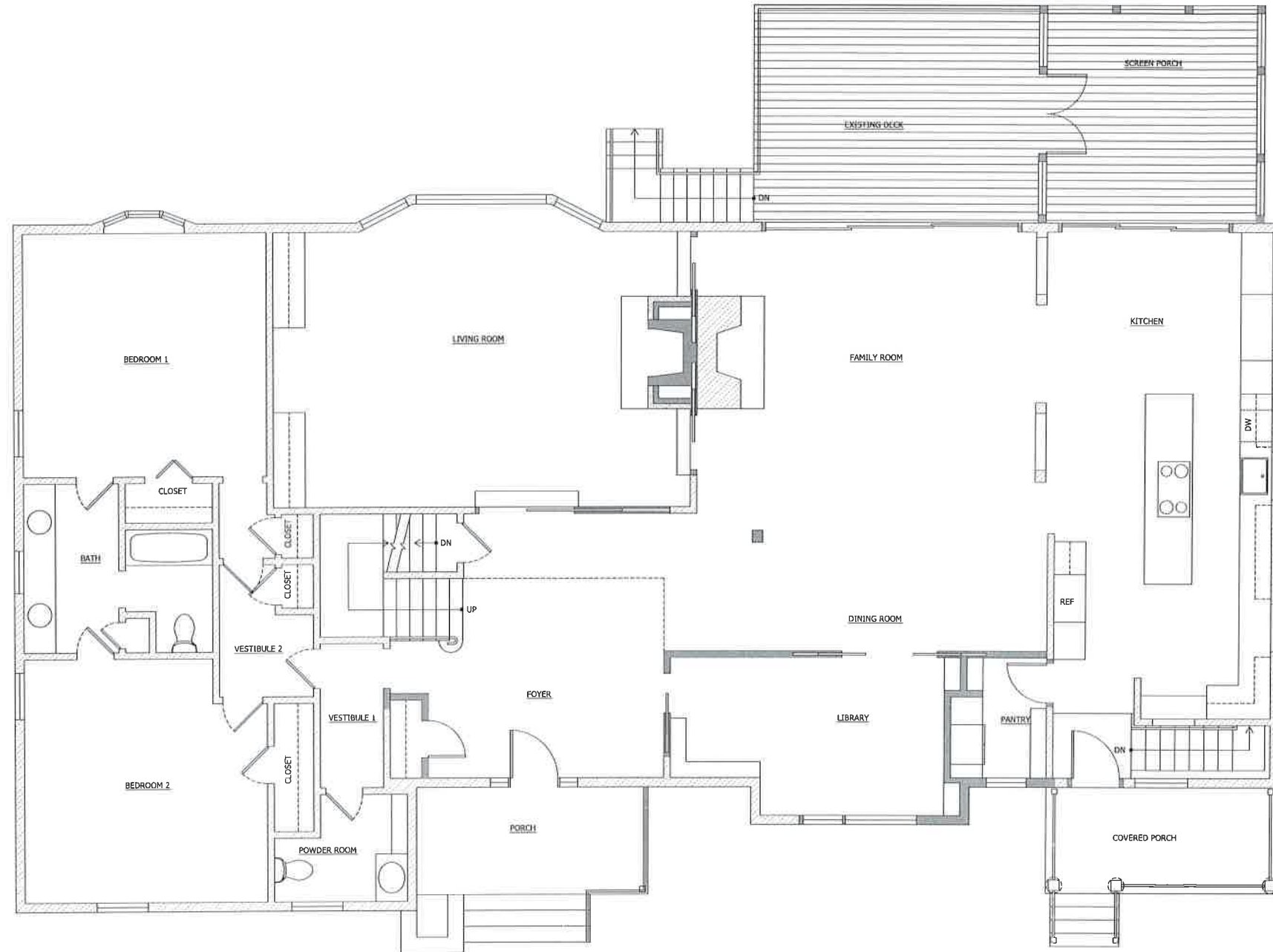
PROPOSED FIRST
FLOOR PLAN

SHEET No.

A-2.1

PHASE:

ISSUED FOR BIDS/BAR



PROPOSED FIRST FLOOR PLAN
SCALE : 1 / 4" = 1'-0"

STRUCTURAL GENERAL NOTES

1. PROVIDE (2)2X10 HEADERS AT ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED.
2. FRAMING PLANS FOR ILLUSTRATIVE PURPOSES ONLY. NOT ALL MEMBERS SHOWN.
3. PROVIDE 3" MINIMUM BEARING AT ALL BEAMS.
4. PROVIDE 1 1/2" MINIMUM BEARING AT ALL HEADERS.
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6. NOTCH COLUMNS AT EXTERIOR BEAMS (OR PROVIDE SIMPSON CONNECTORS).
7. MAINTAIN 6"-8" MINIMUM HEAD CLEARANCE AT ALL STAIRS
8. FIRE CAULK AT ALL FLOOR PENETRATIONS
9. ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR #2 (OR BETTER).
10. PROVIDE SIMPSON CONNECTORS AS REQUIRED AT BEAMS/COLUMNS
11. PROVIDE CONTINUOUS BRIDGING AT ALL FLOOR JOIST (AT MIDSPAN)
12. FUR-OUT/PATCH/PAINT NEW WALLS ABUTTING EXISTING WALLS FOR A SMOOTH, SEAMLESS FINISH.
13. CONTRACTOR TO INSTALL BATT INSULATION & SOLID FIREBLOCKING AT ALL OPENED WALLS.
14. PROVIDE SISTERED JOISTS & NEW 3/4" PLYWOOD AT ALL BATHROOM RENOVATIONS.
15. PROVIDE HURRICANE CLIPS @ 32" O.C. AT ALL NEW RAFTERS (TO TOP PLATE).

FLOOR PLAN SYMBOL LEGEND

- (X) DOOR SYMBOL-SEE DOOR SCHEDULE
(X) WINDOW SYMBOL-SEE WINDOW SCHEDULE
- EXISTING CONSTRUCTION
NEW WOOD FRAMED WALLS
2X4 @ 16" O.C. @ INTERIOR WALLS
2X6 @ 16" O.C. @ EXTERIOR WALLS (R-19 OPEN CELL
SPRAY FOAM INSULATION) - UNLESS NOTED OTHERWISE

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ISSUED FOR BAR	03.24.17

BOILLOT
RESIDENCE

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Mamaroneck
New York 10543

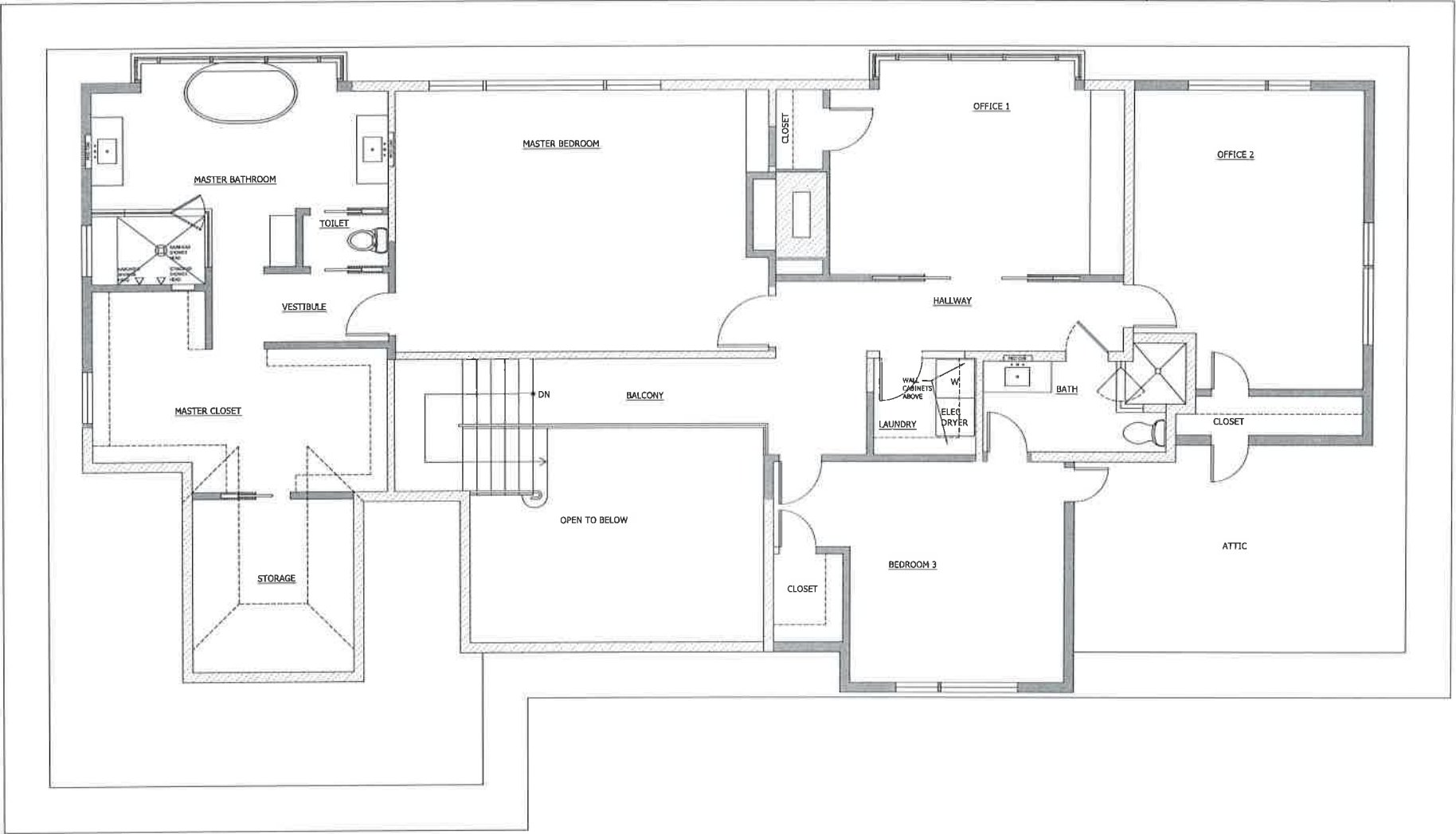
NOTES



PROPOSED SECOND
FLOOR PLAN

SHEET No.
A-2.2

PHASE:
ISSUED FOR BIDS/BAR



PROPOSED SECOND FLOOR PLAN
SCALE : 1 / 4" = 1'-0"

STRUCTURAL GENERAL NOTES

1. PROVIDE (2)2X10 HEADERS AT ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED.
2. FRAMING PLANS FOR ILLUSTRATIVE PURPOSES ONLY. NOT ALL MEMBERS SHOWN.
3. PROVIDE 3" MINIMUM BEARING AT ALL BEAMS.
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7. MAINTAIN 6"-8" MINIMUM HEAD CLEARANCE AT ALL STAIRS
8. FIRE CAULK AT ALL FLOOR PENETRATIONS
9. ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR #2 (OR BETTER)
10. PROVIDE SIMPSON CONNECTORS AS REQUIRED AT BEAMS/COLUMNS
11. PROVIDE CONTINUOUS BRIDGING AT ALL FLOOR JOIST (AT MIDSPAN)
12. FUR-OUT/PATCH/PAINT NEW WALLS ABUTTING EXISTING WALLS FOR A SMOOTH, SEAMLESS FINISH.
13. CONTRACTOR TO INSTALL BATT INSULATION & SOLID FIREBLOCKING AT ALL OPENED WALLS.
14. PROVIDE SISTERED JOISTS & NEW 3/4" PLYWOOD AT ALL BATHROOM RENOVATIONS.
15. PROVIDE HURRICANE CUPS @ 32" O.C. AT ALL NEW RAFTERS (TO TOP PLATE).

FLOOR PLAN SYMBOL LEGEND

- (X) DOOR SYMBOL-SEE DOOR SCHEDULE
- (X) WINDOW SYMBOL-SEE WINDOW SCHEDULE
- EXISTING CONSTRUCTION
- NEW WOOD FRAMED WALLS
 - 2X4 @ 16" O.C. @ INTERIOR WALLS
 - 2X6 @ 16" O.C. @ EXTERIOR WALLS (R-19 OPEN CELL SPRAY FOAM INSULATION) - UNLESS NOTED OTHERWISE

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New York 10543

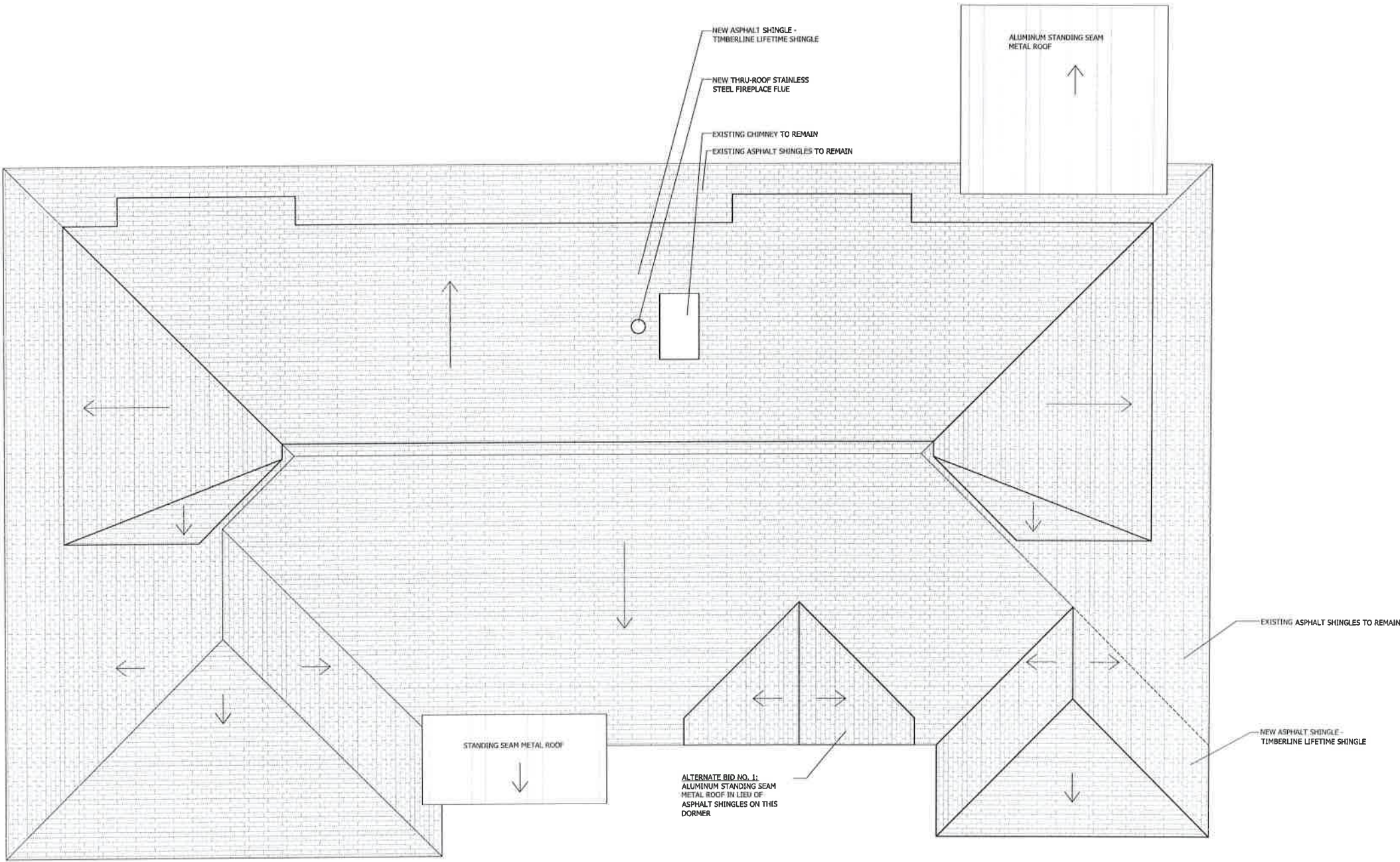
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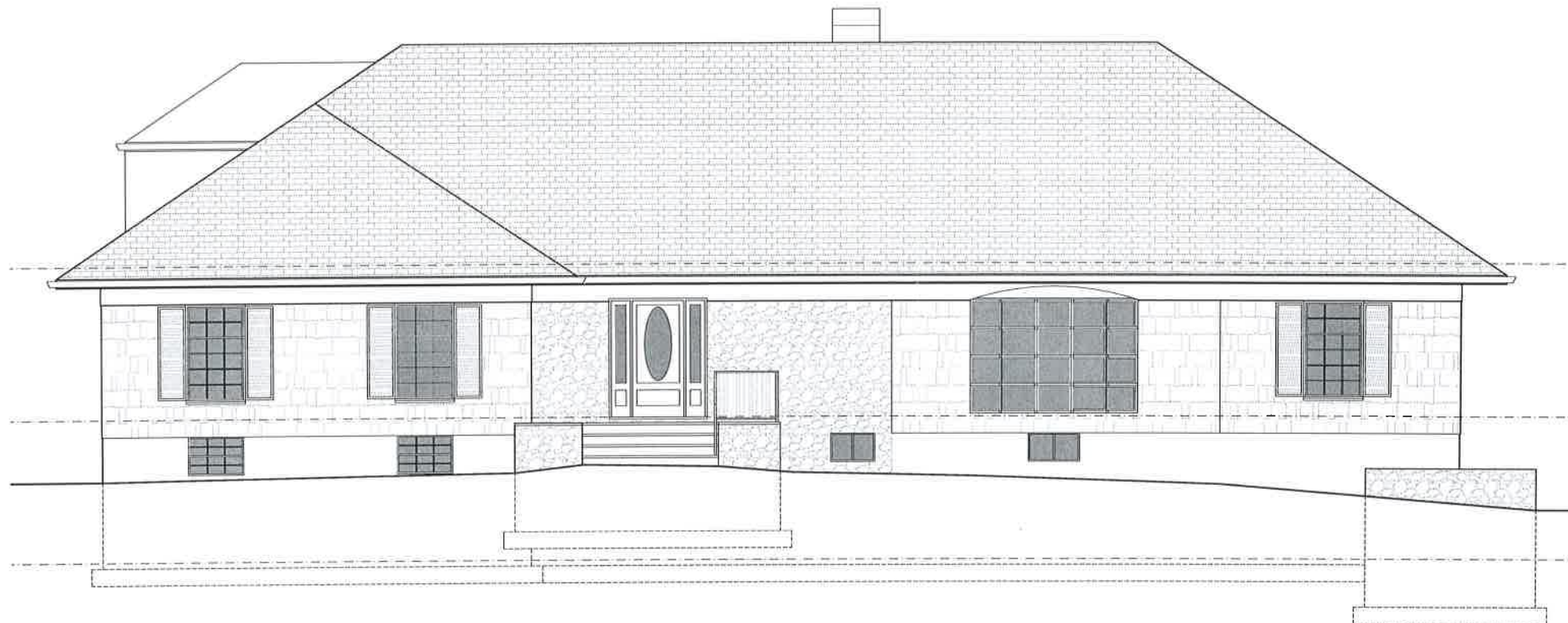
SHEET DESCRIPTION:
PROPOSED ROOF
PLAN

SHEET NO.
A-2.3

PHASE:
ISSUED FOR BIDS/BAR



PROPOSED ROOF PLAN
SCALE : 1 / 4" = 1'-0"



EXISTING FRONT ELEVATION
SCALE : 1 / 4" = 1'-0"



EXISTING REAR ELEVATION
SCALE : 1 / 4" = 1'-0"

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New York 10543

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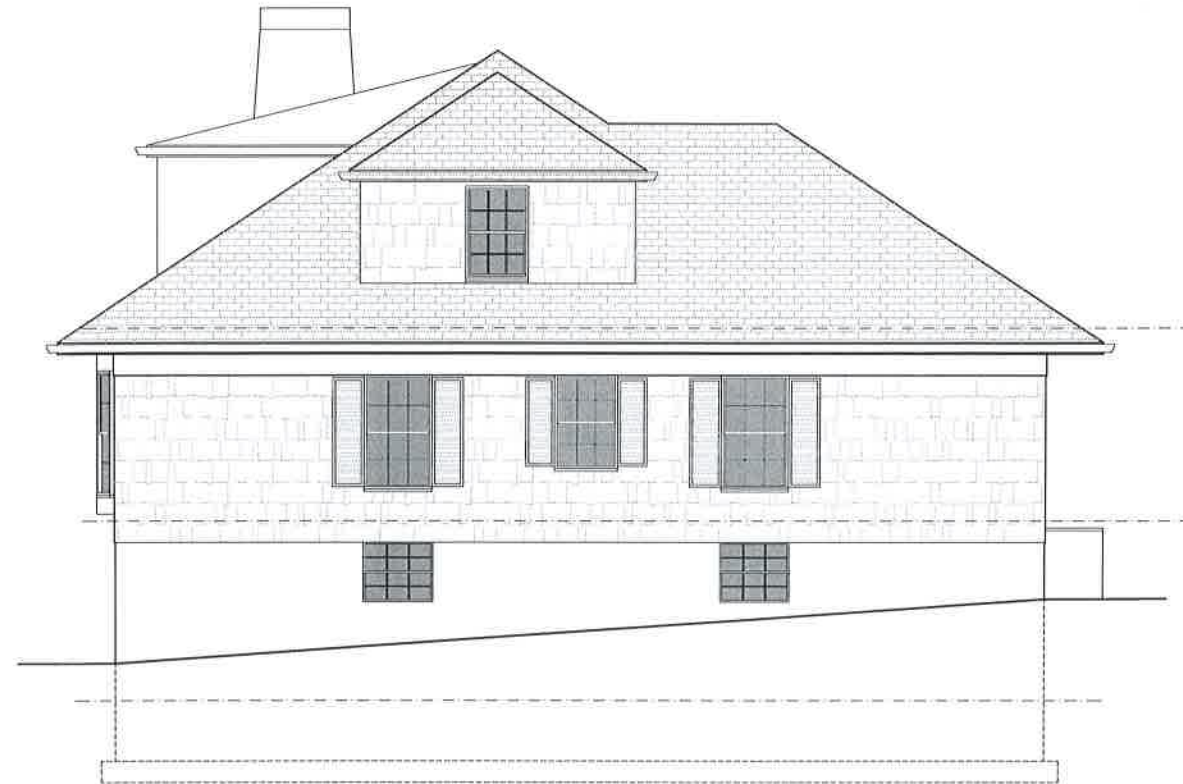
SHEET DESCRIPTION:
EXISTING
ELEVATIONS

SHEET No.
A-4.0

PHASE:
ISSUED FOR BIDS/BAR



EXISTING RIGHT ELEVATION
SCALE : 1 / 4" = 1'-0"



EXISTING LEFT ELEVATION
SCALE : 1 / 4" = 1'-0"

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RESIDENCE

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New York 10543

NOTES



SHEET DESCRIPTION:
EXISTING
ELEVATIONS

SHEET No:
A-4.1

PHASE:
ISSUED FOR BIDS/BAR

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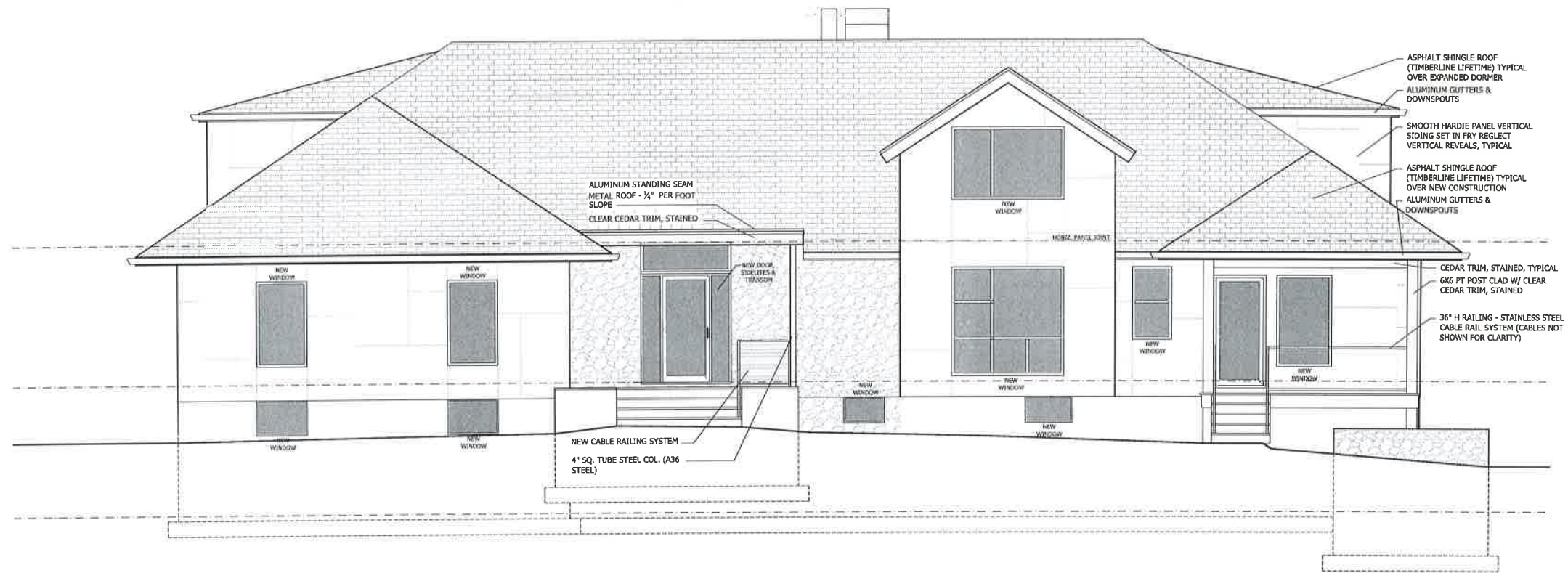
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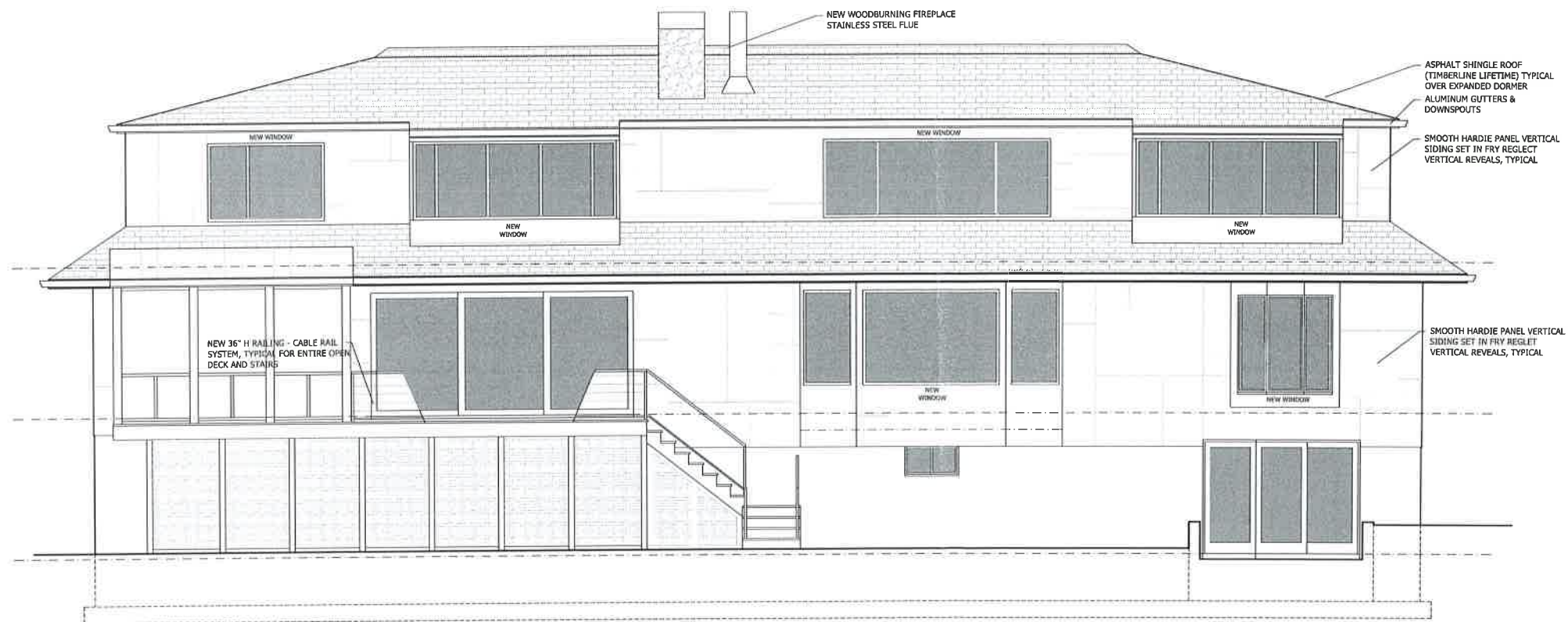
NOTES



SHEET DESCRIPTION:
PROPOSED ELEVATIONS
SHEET No.
A-5.0
PHASE:
ISSUED FOR BIDS/BAR



PROPOSED FRONT ELEVATION
SCALE : 1 / 4" = 1'-0"



PROPOSED REAR ELEVATION
SCALE : 1 / 4" = 1'-0"

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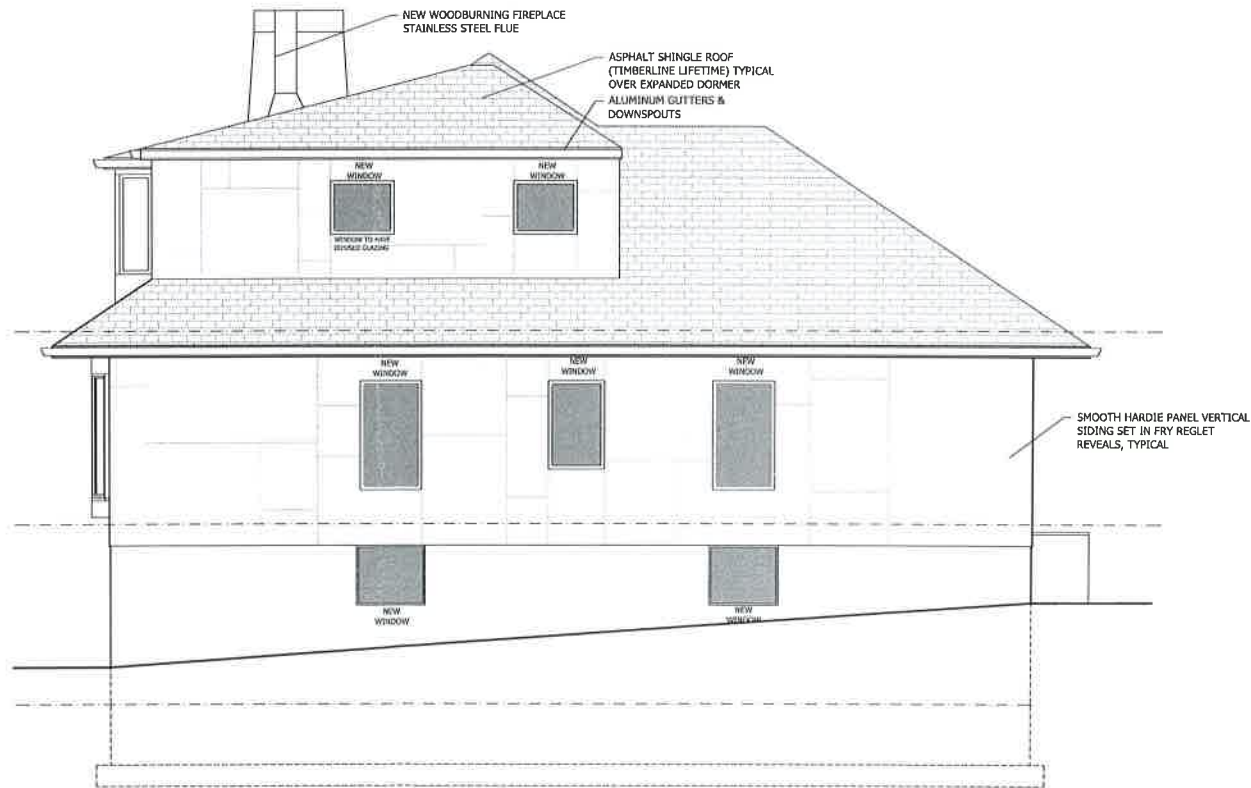
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SHEET DESCRIPTION:
**PROPOSED
ELEVATIONS**
SHEET No.:
A-5.1
PHASE:
ISSUED FOR BIDS/BAR



PROPOSED RIGHT ELEVATION
SCALE : 1 / 8" = 1'-0"



PROPOSED LEFT ELEVATION
SCALE : 1 / 4" = 1'-0"

Village of Mamaroneck, NY

Item Title: 776 N. Barry Avenue

Item Summary: 776 N. BARRY AVENUE - SOLAR PANELS
APPLICANT: VANGUARD ENERGY

Fiscal Impact:

ATTACHMENTS:

<u>Description</u>	<u>Upload Date</u>	<u>Type</u>
776 N. Barry	9/20/2017	Presentation

INSTALLATION OF NEW
ROOF MOUNTED PV SOLAR SYSTEM
776 NORTH BARRY AVENUE
MAMARONECK, NY 10543

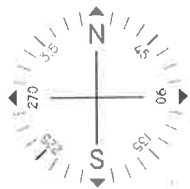
NORTH BARRY AVENUE



VICINITY MAP
SCALE: NTS

SITE

RICHARD B. GORDON, P.E.
N.Y.P.E. LIC. # 079309-1



Issued / Revisions

NO.	DESCRIPTION	DATE
P1	ISSUED TO TOWNSHIP FOR PERMIT	8/18/2017

Project Title:

GOLLE, MARTIN
TRINITY ACCT #: 2017-07-170721

Project Address:

776 NORTH BARRY AVENUE
MAMARONECK, NY 10543

Drawing Title:

PROPOSED PV SOLAR SYSTEM

Drawing Information

DRAWING DATE: 8/18/2017
DRAWN BY: JC
REVISED BY:

System Information:

DC SYSTEM SIZE: 2.95kW
AC SYSTEM SIZE: 2.5kW
TOTAL MODULE COUNT: 10
MODULES USED: TRINA 295
MODULE SPEC #: TSM-295 DD05A.05
UTILITY COMPANY: CON EDISON
UTILITY ACCT #:
UTILITY METER #:
DEAL TYPE: SUNRUN

Rev. No.

P1

Sheet

PV - 1

Trinity
SOLAR

2211 Allenwood Road
Wall, New Jersey 07719
877-797-2978
www.Trinity-Solar.com

GENERAL NOTES

1. THE INSTALLATION CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL EQUIPMENT AND FOLLOWING ALL DIRECTIONS AND INSTRUCTIONS CONTAINED IN THE DRAWING PACKAGE AND INFORMATION RECEIVED FROM TRINITY.
2. THE INSTALLATION CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL EQUIPMENT AND FOLLOWING ALL DIRECTIONS AND INSTRUCTION CONTAINED IN THE COMPLETE MANUAL.
3. THE INSTALLATION CONTRACTOR IS RESPONSIBLE FOR READING AND UNDERSTANDING ALL DRAWINGS, COMPONENT AND INVERTER MANUALS PRIOR TO INSTALLATION. THE INSTALLATION CONTRACTOR IS ALSO REQUIRED TO HAVE ALL COMPONENT SWITCHES IN THE OFF POSITION AND FUSES REMOVED PRIOR TO THE INSTALLATION OF ALL FUSE BEARING SYSTEM COMPONENTS.
4. ONCE THE PHOTOVOLTAIC MODULES ARE MOUNTED, THE INSTALLATION CONTRACTOR SHOULD HAVE A MINIMUM OF ONE ELECTRICIAN WHO HAS ATTENDED A SOLAR PHOTOVOLTAIC INSTALLATION COURSE ON SITE.
5. FOR SAFETY, IT IS RECOMMENDED THAT THE INSTALLATION CREW ALWAYS HAVE A MINIMUM OF TWO PERSONS WORKING TOGETHER AND THAT EACH OF THE INSTALLATION CREW MEMBERS BE TRAINED IN FIRST AID AND CPR.
6. THIS SOLAR PHOTOVOLTAIC SYSTEM IS TO BE INSTALLED FOLLOWING THE CONVENTIONS OF THE NATIONAL ELECTRICAL CODE, ANY LOCAL CODE WHICH MAY SUPERSEDE THE NEC SHALL GOVERN.
7. ALL SYSTEM COMPONENTS TO BE INSTALLED WITH THIS SYSTEM ARE TO BE "UL" LISTED. ALL EQUIPMENT WILL BE NEMA 3R OUTDOOR RATED UNLESS INDOORS.

GENERAL NOTES

IF ISSUED DRAWING IS MARKED WITH A REVISION CHARACTER OTHER THAN "A", PLEASE BE ADVISED THAT FINAL EQUIPMENT AND/OR SYSTEM CHARACTERISTICS ARE SUBJECT TO CHANGE DUE TO AVAILABILITY OF EQUIPMENT.

GENERAL NOTES CONTINUED

8. THE DC VOLTAGE FROM THE PANELS IS ALWAYS PRESENT AT THE DC DISCONNECT ENCLOSURE AND THE DC TERMINALS OF THE INVERTER DURING DAYLIGHT HOURS. ALL PERSONS WORKING ON OR INVOLVED WITH THE PHOTOVOLTAIC SYSTEM ARE WARNED THAT THE SOLAR MODULES ARE ENERGIZED WHENEVER THEY ARE EXPOSED TO LIGHT.
9. ALL PORTIONS OF THIS SOLAR PHOTOVOLTAIC SYSTEM SHALL BE MARKED CLEARLY IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE ARTICLE 690 & 705.
10. PRIOR TO THE INSTALLATION OF THIS PHOTOVOLTAIC SYSTEM, THE INSTALLATION CONTRACTOR SHALL ATTEND A PRE-INSTALLATION MEETING FOR THE REVIEW OF THE INSTALLATION PROCEDURES, SCHEDULES, SAFETY AND COORDINATION.
11. PRIOR TO THE SYSTEM START UP THE INSTALLATION CONTRACTOR SHALL ASSIST IN PERFORMING ALL INITIAL HARDWARE CHECKS AND DC WIRING CONDUCTIVITY CHECKS.
12. FOR THE PROPER MAINTENANCE AND ISOLATION OF THE INVERTERS REFER TO THE ISOLATION PROCEDURES IN THE OPERATION MANUAL.
13. THE LOCATION OF PROPOSED ELECTRIC AND TELEPHONE UTILITIES ARE SUBJECT TO FINAL APPROVAL OF THE APPROPRIATE UTILITY COMPANIES AND OWNERS.
14. ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREIN SHALL BE IN ACCORDANCE WITH:
A) CURRENT PREVAILING MUNICIPAL AND/OR COUNTY SPECIFICATIONS, STANDARDS AND REQUIREMENTS

GENERAL NOTES CONTINUED

14. B) CURRENT PREVAILING UTILITY COMPANY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS
15. THIS SET OF PLANS HAVE BEEN PREPARED FOR THE PURPOSE OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DRAWINGS UNTIL REVISED TO INDICATE "ISSUED FOR CONSTRUCTION".
16. ALL INFORMATION SHOWN MUST BE CERTIFIED PRIOR TO USE FOR CONSTRUCTION ACTIVITIES.

ABBREVIATIONS

AMP AMPERE
AC ALTERNATING CURRENT
AL ALUMINUM
AF AMP. FRAME
AFF ABOVE FINISHED FLOOR
AFG ABOVE FINISHED GRADE
AWG AMERICAN WIRE GAUGE
C CONDUIT (GENERIC TERM OF SPECIFIED)
CB COMBINER BOX
CKT CIRCUIT
CT CURRENT TRANSFORMER
CU COPPER
DC DIRECT CURRENT
DISC DISCONNECT SWITCH
DWG DRAWING
EC ELECTRICAL SYSTEM INSTALLER
EMT ELECTRICAL METALLIC TUBING
FS FUSIBLE SWITCH
FU FUSE
GND GROUND
GFI GROUND FAULT INTERRUPTER
HZ FREQUENCY (CYCLES PER SECOND)

ABBREVIATIONS CONTINUED

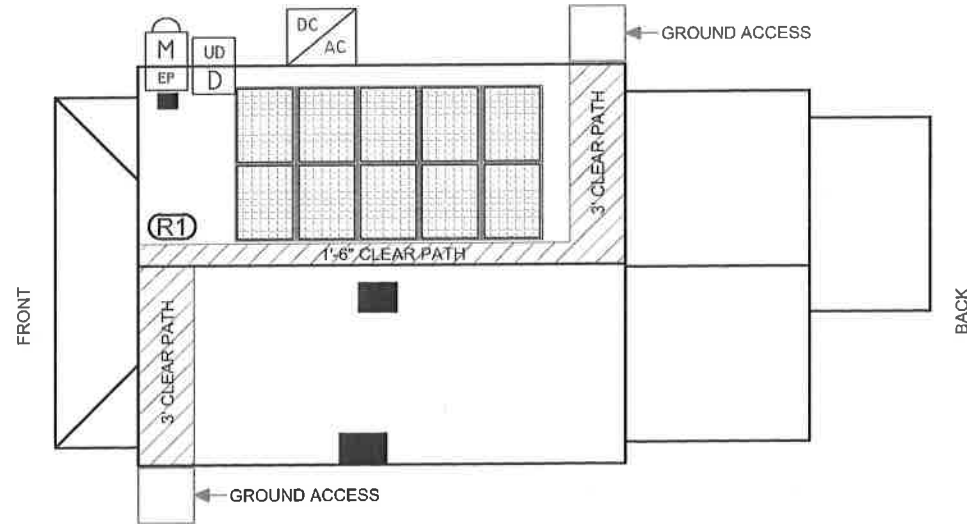
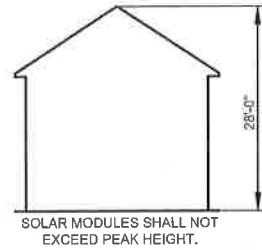
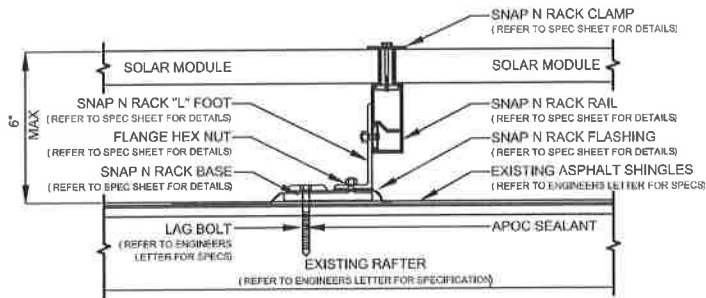
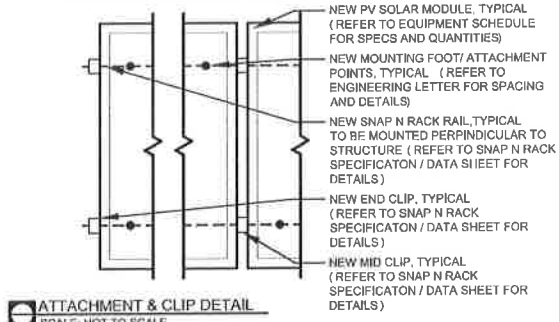
JB JUNCTION BOX
KCMIL THOUSAND CIRCULAR MILS
KVA KILO-VOLT AMPERE
KW KILO-WATT
KWH KILO-WATT HOUR
L LINE
MCB MAIN CIRCUIT BREAKER
MDP MAIN DISTRIBUTION PANEL
MLO MAIN LUG ONLY
MTD MOUNTED
MTG MOUNTING
N NEUTRAL
NEC NATIONAL ELECTRICAL CODE
NIC NOT IN CONTRACT
NO # NUMBER
NTS NOT TO SCALE
OCP OVER CURRENT PROTECTION
P POLE
PB PULL BOX
PH Ø PHASE
PVC POLY-VINYL CHLORIDE CONDUIT
PWR POWER
QTY QUANTITY
RGS RIGID GALVANIZED STEEL
SN SOLID NEUTRAL
JSWBD SWITCHBOARD
TYP TYPICAL
U.O.I. UNLESS OTHERWISE INDICATED
WP WEATHERPROOF
XFMR TRANSFORMER
+72 MOUNT 72 INCHES TO BOTTOM OF ABOVE FINISHED FLOOR OR GRADE

SHEET INDEX

PV-1 COVER SHEET W/ SITE INFO & NOTES
PV-2 ROOF PLAN W/ MODULE LOCATIONS
PV-3 ELECTRICAL 3 LINE DIAGRAM
AP APPENDIX



NOTES: *REFER TO MODULE SPECS FOR ACTUAL MODULE DIMENSIONS
*DEPICTED MODULES MAY BE PORTRAIT OR LANDSCAPE



NOTES:

- 1.) ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 2.) ARRAY BONDING TO COMPLY WITH MANUFACTURER SPECIFICATION.
- 3.) ALL LOCATIONS ARE APPROXIMATE AND REQUIRE FIELD VERIFICATION.
- 4.) AN AC DISCONNECT SHALL BE GROUPED WITH INVERTER (S) NEC 690.13 (E).
- 5.) ALL OUTDOOR EQUIPMENT SHALL BE RAIN TIGHT WITH MINIMUM NEMA 3R RATING.
- 6.) ROOFTOP SOLAR INSTALLATION ONLY PV ARRAY SHALL NOT EXTEND BEYOND THE EXISTING ROOF EDGE.

ARRAY SCHEDULE		SYMBOL LEGEND		PLUMBING SCHEDULE	EQUIPMENT SCHEDULE	
R1 ARRAY ORIENTATION = 128° MODULE PITCH = 40°	(R1)	INDICATES ROOF DESIGNATION. REFER TO ARRAY SCHEDULE FOR MORE INFORMATION.	UD		QTY	SPEC #
	(M)	INDICATES EXISTING METER LOCATION			10	TRINA 295 (TSM-295 DD05A.05)
	(EP)	INDICATES EXISTING ELECTRICAL PANEL LOCATION: INSIDE	P	OTHER OBSTRUCTIONS		
	(D)	INDICATES NEW MAIN DISCONNECT	IN AC		10	ENPHASE M250 MICROINVERTERS (M250-60-2LL-S22/S23/S24)
		INDICATES NEW UTILITY DISCONNECT TO BE INSTALLED OUTSIDE				
		INDICATES NEW PV SOLAR MODULE. RED MODULES INDICATE PANELS THAT USE MICRO INVERTERS. REFER TO EQUIPMENT SCHEDULE FOR SPECS.				
		INDICATES NEW PRODUCTION METER TO BE INSTALLED OUTSIDE.				
		INDICATES NEW INVERTER TO BE INSTALLED OUTSIDE. REFER TO EQUIPMENT SCHEDULE FOR SPECS.				



RICHARD B. GORDON, P.E.
N.Y.P.E. LIC. # 079309-1



Issued / Revisions

NO.	DESCRIPTION	DATE
P1	ISSUED TO TOWNSHIP FOR PERMIT	8/18/2017

Project Title:

GOLLE, MARTIN
TRINITY ACCT #: 2017-07-170721

Project Address:

776 NORTH BARRY AVENUE
MAMARONECK, NY 10543

Drawing Title:

PROPOSED PV SOLAR SYSTEM

Drawing Information

DRAWING DATE: 8/18/2017
DRAWN BY: JC
REVISED BY:

System Information:

DC SYSTEM SIZE: 2.95kW
AC SYSTEM SIZE: 2.5kW
TOTAL MODULE COUNT: 10
MODULES USED: TRINA 295
MODULE SPEC #: TSM-295 DD05A.05
UTILITY COMPANY: CON EDISON
UTILITY ACCT #:
UTILITY METER #:
DEAL TYPE: SUNRUN

Rev. No.

P1

Sheet

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ARRAY CIRCUIT WIRING NOTES
1.) LICENSED ELECTRICIAN ASSUMES ALL RESPONSIBILITY FOR DETERMINING ONSITE CONDITIONS AND EXECUTING INSTALLATION IN ACCORDANCE WITH NEC 2014

2.) LOWEST EXPECTED AMBIENT TEMPERATURE BASED ON ASHRAE MINIMUM MEAN EXTREME DRY BULB TEMPERATURE FOR ASHRAE LOCATION MOST SIMILAR TO INSTALLATION LOCATION. LOWEST EXPECTED AMBIENT TEMP = -16°C

3.) HIGHEST CONTINUOUS AMBIENT TEMPERATURE BASED ON ASHRAE HIGHEST MONTH 2% DRY BULB TEMPERATURE FOR ASHRAE LOCATION MOST SIMILAR TO INSTALLATION LOCATION. HIGHEST CONTINUOUS TEMP = 33°C

4.) 2005 ASHRAE FUNDAMENTALS 2% DESIGN TEMPERATURES DO NOT EXCEED 47°C IN THE UNITED STATES (PALM SPRINGS, CA IS 44.1°C). FOR LESS THAN 9 CURRENT-CARRYING CONDUCTORS IN A ROOF-MOUNTED SUNLIT CONDUIT AT LEAST 0.5" ABOVE ROOF AND USING THE OUTDOOR DESIGN TEMPERATURE OF 47°C OR LESS (ALL OF UNITED STATES)

5.) PV SYSTEM CIRCUITS INSTALLED ON OR IN BUILDINGS SHALL INCLUDE A RAPID SHUTDOWN FUNCTION THAT CONTROLS SPECIFIC CONDUCTORS IN ACCORDANCE WITH NEC 690.12(1) THROUGH (5)

6.) PHOTOVOLTAIC POWER SYSTEMS SHALL BE PERMITTED TO OPERATE WITH UNGROUNDED PHOTOVOLTAIC SOURCE AND OUTPUT CIRCUIT AS PER NEC 690.35

7.) UNGROUNDED DC CIRCUIT CONDUCTORS SHALL BE IDENTIFIED WITH THE FOLLOWING OUTER FINISH:
POSITIVE CONDUCTORS = RED
NEGATIVE CONDUCTORS = BLACK
NEC 210.5(C)(2)

8.) ARRAY AND SUB ARRAY CONDUCTORS SHALL BE #10 PV WIRE TYPE RHW-2 OR EQUIVELANT AND SHALL BE PROTECTED BY CONDUIT WHERE EXPOSED TO DIRECT SUNLIGHT. SUB ARRAY CONDUIT LONGER THAN 24" SHALL CONTAIN ≤ 20 CURRENT CARRYING CONDUCTORS AND WHERE EXPOSED TO DIRECT SUNLIGHT SHALL CONTAIN ≤ 9 CURRENT CARRYING CONDUCTORS.

9.) ALL WIRE LENGTHS SHALL BE LESS THAN 100' UNLESS OTHERWISE NOTED

10.) FLEXIBLE CONDUIT SHALL NOT BE INSTALLED ON ROOFTOP AND SHALL BE LIMITED TO 12" IF USED OUTDOORS

11.) OVERCURRENT PROTECTION FOR CONDUCTORS CONNECTED TO THE SUPPLY SIDE OF A SERVICE SHALL BE LOCATED WITHIN 10' OF THE POINT OF CONNECTION NEC 705.31

12.) WHERE TWO SOURCES FEED A BUSSBAR, ONE A UTILITY AND THE OTHER AN INVERTER, PV BACKFEED BREAKER(S) SHALL BE LOCATED OPPOSITE FROM UTILITY NEC 705.12(D)(2)(9)(b)

13.) ALL SOLAR SYSTEM LOAD CENTERS TO CONTAIN ONLY GENERATION CIRCUITS AND NO UNUSED POSITIONS OR LOADS

14.) ALL EQUIPMENT INSTALLED OUTDOORS SHALL HAVE A NEMA 3R RATING

CALCULATIONS FOR CURRENT CARRYING CONDUCTORS
REQUIRED CONDUCTOR AMPACITY PER STRING
[NEC 690.8(B)(1)]: $(1.04 \times 1.25)10 = 13.02A$

AWG #10, DERATED AMPACITY
AMBIENT TEMP: 33°C, TEMP DERATING FACTOR: .96
RACEWAY DERATING = 2 CCC: 1.00
 $(40 \times .96)1.00 = 38.40A$

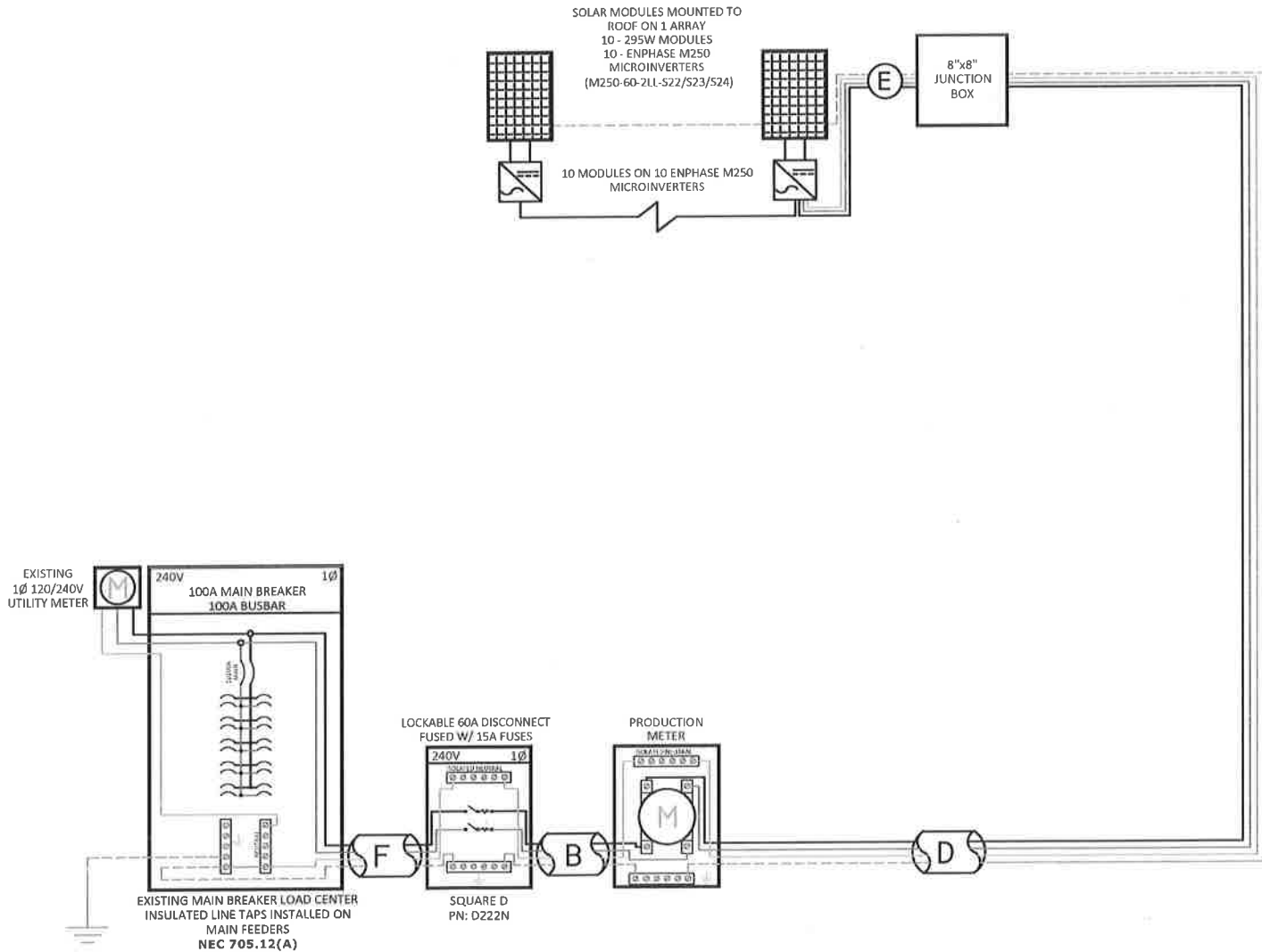
38.40A > 13.02A, THEREFORE WIRE SIZE IS VALID

TOTAL AC REQUIRED CONDUCTOR AMPACITY
 $10.42A \times 1.25 = 13.02A$

AWG #10, DERATED AMPACITY
AMBIENT TEMP: 30°C, TEMP DERATING: 1.0
RACEWAY DERATING ≤ 3 CCC: N/A
 $40A \times 1.0 = 40A$

40A > 13.02A, THEREFORE AC WIRE SIZE IS VALID

CALCULATION FOR PV OVERCURRENT PROTECTION
TOTAL INVERTER CURRENT: 10.42A
 $10.42A \times 1.25 = 13.02A$
→ 15A OVERCURRENT PROTECTION IS VALID



PV MODULE SPECIFICATIONS	
TRINA 295 (TSM-295 DD05A.05)	
I _{mp}	9.08
V _{mp}	32.5
V _{oc}	39.7
I _{sc}	9.55

NOTE: CONDUIT TYPE SHALL BE CHOSEN BY THE INSTALLATION CONTRACTOR TO MEET OR EXCEED NEC AND LOCAL AHD REQUIREMENTS

A	#6 THWN-2 GEC TO EXISTING GROUND ROD
B	3/4" CONDUIT W/ 3-#10 THWN-2, 1-#10 THWN-2 GROUND
D	3/4" CONDUIT W/ 3-#10 THWN-2, 1-#10 THWN-2 GROUND
E	#10 PV WIRE (FREE AIR) W/ #6 BARE COPPER BOND TO ARRAY
F	3/4" CONDUIT W/ 3-#6 THWN-2, 1-#8 THWN-2 GROUND

Engineer / License Holder:

RICHARD B. GORDON, P.E.
N.Y.P.E. LIC. # 079309-1



Issued / Revisions

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P1	ISSUED TO TOWNSHIP FOR PERMIT	8/16/2017

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TRINITY ACCT #: 2017-07-170721

Project Address:

776 NORTH BARRY AVENUE
MAMARONECK, NY 10543

Drawing Title:

PROPOSED PV SOLAR SYSTEM

Drawing Information

DRAWING DATE:	8/18/2017
DRAWN BY:	JC
REVISED BY:	

System Information:

DC SYSTEM SIZE:	2.95kW
AC SYSTEM SIZE:	2.5kW
TOTAL MODULE COUNT:	10
MODULES USED:	TRINA 295
MODULE SPEC #:	TSM-295 DD05A.05
UTILITY COMPANY:	CON EDISON
UTILITY ACCT #:	
UTILITY METER #:	
DEAL TYPE:	SUNRUN

Rev. No.

P1

Sheet

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MATERIAL LIST

(FOR INTERNAL USE ONLY)



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www.Trinity-Solar.com

JOB NAME: GOLLE, MARTIN
ADDRESS: 776 NORTH BARRY AVENUE
MAMARONECK, NY 10543

0.87 DAYS (3 MEN)

0.65 DAYS (4 MEN)

0.44 DAYS (6 MEN)

- 20.88 ESTIMATED MAN HOURS
- 10 TRINA 295's (2.95KW)
 - 1 ARRAY
 - 28' PEAK TO GROUND
 - 10 PORTRAIT & 0 LANDSCAPED
 - NO PIPES OR VENTS BEINGS RELOCATED OR REMOVED
 - MICROINVERTERS
 - NO TRENCH

	ESTIMATED	SENT TO JOB	USED
<input type="checkbox"/> TRINA 295 (TSM-295 DD05A.05)	10	—	—
<input type="checkbox"/> ENVY MONITORING	1	—	—
<input type="checkbox"/> M250 MICROINVERTERS	10	—	—
<input type="checkbox"/> 60A INDOOR FUSED DISCONNECT W/ (2) 15A FUSES	1	—	—
<input type="checkbox"/> 2p15A BREAKER	1	—	—
<input type="checkbox"/> SOLADECK BOX(ES) & HAYCO CONNECTOR(S)	1	—	—
<input type="checkbox"/> 14' SECTIONS OF RAIL	6	—	—
<input type="checkbox"/> INSULATED BUG BITES (LINE TAPS)	2	—	—
<input type="checkbox"/> FLASHINGS	20	—	—
<input type="checkbox"/> CASE(S) OF BLACK SPRAY PAINT	1	—	—
<input type="checkbox"/> CASE(S) OF TAR	1	—	—
<input type="checkbox"/> PV LEAD WIRE	0'	—	—
<input type="checkbox"/> TRUNK CABLE	—	—	—
<input type="checkbox"/> END CAPS	—	—	—
<input type="checkbox"/> SEALING CAPS	—	—	—
<input type="checkbox"/> T-BOLTS	—	—	—
<input type="checkbox"/> MID CLIPS	—	—	—
<input type="checkbox"/> END CLIPS	—	—	—
<input type="checkbox"/> SPLICE KITS	—	—	—
<input type="checkbox"/> GROUND LUGS	—	—	—

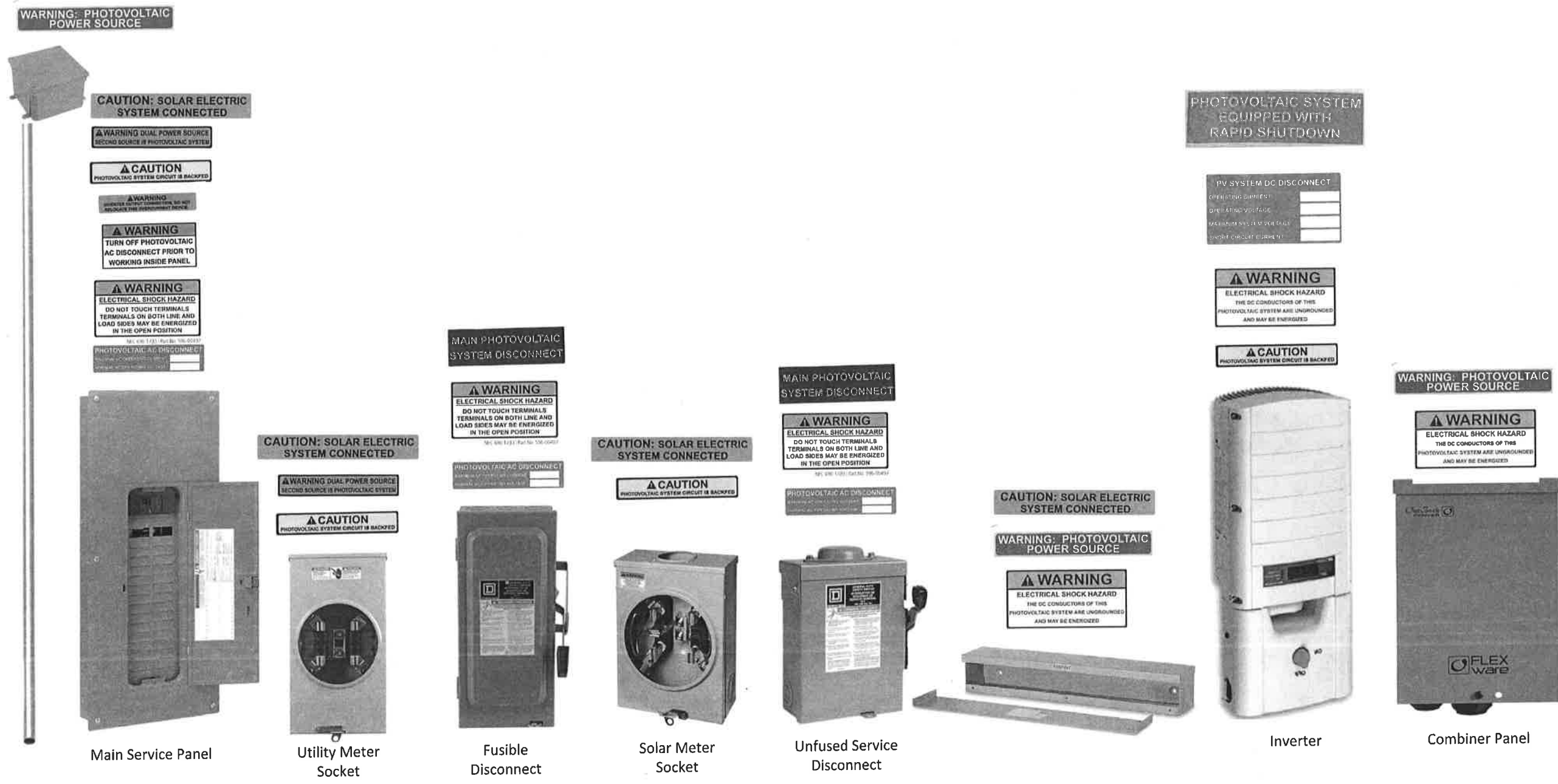


INSTALLATION OF NEW
ROOF MOUNTED PV SOLAR SYSTEM

GOLLE, MARTIN
776 NORTH BARRY AVENUE
MAMARONECK, NY 10543

APPENDIX

CONTENTS
LABELS, STICKERS, AND PLACARDS
EQUIPMENT DATA SHEETS



NOTES:
 1.) REFER TO SHEET PV-3 FOR SITE SPECIFIC VALUES REQUIRED BY NEC 690
 2.) STICKERS, LABELS, AND PLACARDS SHALL BE OF SUFFICIENT DURABILITY TO WITHSTAND THE ENVIRONMENT INVOLVED.

Mono Multi Solutions

THE Honey^M plus⁺

FRAMED 60-CELL MODULE

60 CELL
MONOCRYSTALLINE MODULE

275-305W
POWER OUTPUT RANGE

18.6%
MAXIMUM EFFICIENCY

0~+5W
POSITIVE POWER TOLERANCE

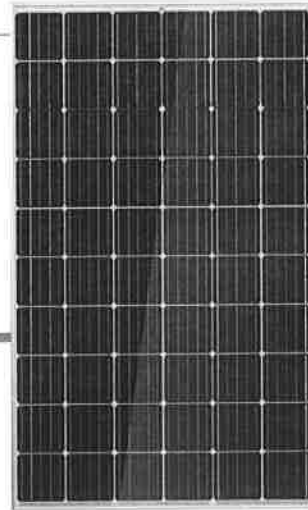
Founded In 1997, Trina Solar is the world's leading comprehensive solutions provider for solar energy. We believe close cooperation with our partners is critical to success. Trina Solar now distributes its PV products to over 60 countries all over the world. Trina is able to provide exceptional service to each customer in each market and supplement our innovative, reliable products with the backing of Trina as a strong, bankable partner. We are committed to building strategic, mutually beneficial collaboration with installers, developers, distributors and other partners.

Comprehensive Products And System Certificates

IEC61215/IEC61730/UL1703/IEC61701/IEC62716
ISO 9001: Quality Management System
ISO 14001: Environmental Management System
ISO 14064: Greenhouse gases Emissions Verification
CHSAS 18901: Occupation Health and Safety Management System



Trina solar



Excellent low light performance on cloudy days, mornings and evenings

- Advanced surface texturing
- Back surface field
- Selective emitter



Maximize limited space with top-end efficiency

- Up to 186 W/m² power density
- Low thermal coefficients for greater energy production at high operating temperatures



Highly reliable due to stringent quality control

- Over 30 in-house tests (UV, TC, HF, and many more)
- In-house testing goes well beyond certification requirements
- PID resistant
- 100% EL double inspection

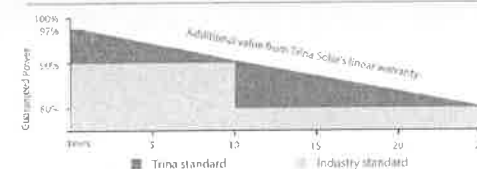


Certified to withstand the most challenging environmental conditions

- 2400 Pa wind load
- 5400 Pa snow load
- 35 mm hail stones at 97 km/h

LINEAR PERFORMANCE WARRANTY

10 Year Product Warranty - 25 Year Linear Power Warranty

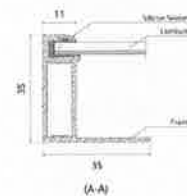
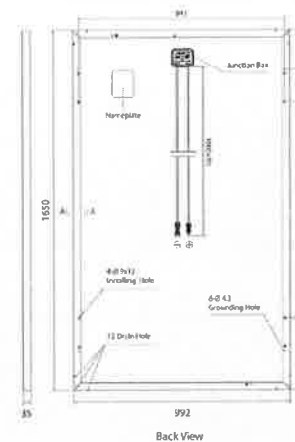


Honey^M plus⁺

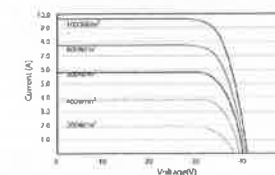
FRAMED 60-CELL MODULE

PRODUCTS	POWER RANGE
TSM-DD05A(I)	280-305W
TSM-DD05A.08(II)	280-305W
TSM-DD05A.05(II)	275-300W

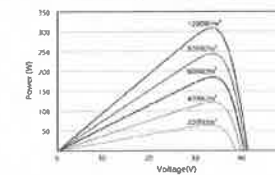
DIMENSIONS OF PV MODULE(mm)



I-V CURVES OF PV MODULE(305W)



P-V CURVES OF PV MODULE(305W)



ELECTRICAL DATA (STC)

Peak Power Watts-P _{max} (Wp)*	275	280	285	290	295	300	305
Power Output Tolerance-P _{max} (W)	0~+5						
Maximum Power Voltage-V _{mp} (V)	31.4	31.7	31.8	32.2	32.5	32.6	32.9
Maximum Power Current-I _{mp} (A)	8.76	8.84	8.97	9.01	9.08	9.19	9.28
Open Circuit Voltage-V _{oc} (V)	38.7	39.0	39.3	39.5	39.7	39.9	40.2
Short Circuit Current-I _{sc} (A)	9.26	9.35	9.45	9.50	9.55	9.64	9.72
Module Efficiency η (%)	18.8	17.1	17.4	17.7	18.0	18.3	18.6

STC: Irradiance 1000W/m², Cell Temperature \pm 25°C, Air Mass AM1.5
*Measuring tolerance: \pm 2%

ELECTRICAL DATA (NOCT)

Maximum Power-P _{max} (Wp)	205	209	212	216	220	223	227
Maximum Power Voltage-V _{mp} (V)	29.2	29.4	29.6	29.9	30.2	30.4	30.6
Maximum Power Current-I _{mp} (A)	7.02	7.10	7.17	7.23	7.28	7.35	7.42
Open Circuit Voltage-V _{oc} (V)	36.0	36.3	36.6	36.7	36.9	37.1	37.3
Short Circuit Current-I _{sc} (A)	7.48	7.55	7.63	7.67	7.71	7.78	7.84

NOCT: Irradiance at 800W/m², Ambient Temperature 25°C, Wind Speed 1m/s

MECHANICAL DATA

Solar Cells	Monocrystalline 156.75 x 156.75 mm (6 Inches)
Cell Orientation	60 cells (6 x 10)
Module Dimensions	1650 x 992 x 35 mm (65.0 x 39.1 x 1.38 Inches)
Weight	18.6 kg (41.0 lb)
Glass	3.2 mm (0.13 inches), High Transmission, AR Coated Tempered Glass
Backsheet	White [DD05A(I)], DD05A.08(II); Black [DD05A.05(II)]
Frame	Silver Anodized Aluminium Alloy [DD05A(I)]; Black Anodized Aluminium Alloy [DD05A.08(II), DD05A.05(II)]
J-Box	IP 67 or IP 68 rated
Cables	Photovoltaic Technology Cable 4.0mm ² (0.006 Inches ²), 1000 mm (39.4 inches)
Connector	MC4

TEMPERATURE RATINGS

NOCT (Nominal Operating Cell Temperature)	44°C (\pm 2°C)
Temperature Coefficient of P _{max}	-0.39%/°C
Temperature Coefficient of V _{oc}	-0.29%/°C
Temperature Coefficient of I _{sc}	0.05%/°C

MAXIMUM RATINGS

Operational Temperature	-40~+85°C
Maximum System Voltage	1000V DC (IEC) 1000V DC (UL)
Max Series Fuse Rating	15A
(DO NOT connect Fuse in Combiner Box with two or more strings in parallel connection)	

WARRANTY

- 10 year Product Workmanship Warranty
- 25 year Linear Power Warranty

(Please refer to product warranty for detail)

PACKAGING CONFIGURATION

- Modules per box: 30 pieces
- Modules per 40' container: 840 pieces

CAUTION: READ SAFETY AND INSTALLATION INSTRUCTIONS BEFORE USING THE PRODUCT.

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Version number: TSM_EN_2017_Aus_A www.trinasolar.com

Trina solar



SolarEdge Single Phase Inverters
for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US /
SE7600H-US



INVERTERS

Optimized installation with HD-Wave technology

- Specifically designed to work with power optimizers
- Record-breaking efficiency
- Fixed voltage inverter for longer strings
- Integrated Arc Fault protection and Rapid Shutdown for NEC 2014 and 2017, per article 690.11 and 690.12
- UL1741 SA certified, for CPUC Rule 21 grid compliance
- Extremely small and easy to install outdoors or indoors
- High reliability without any electrolytic capacitors
- Built-in module-level monitoring
- Optional: Revenue grade data, ANSI C12.20 Class 0.5 (0.5% accuracy)



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Single Phase Inverters for North America

SE3000H-US / SE3800H-US / SE5000H-US / SE6000H-US / SE7600H-US

	SE3000H-US	SE3800H-US	SE5000H-US	SE6000H-US	SE7600H-US	
OUTPUT						
Rated AC Power Output	3000	3800	5000	6000	7600	VA
Max. AC Power Output	3000	3800	5000	6000	7600	VA
AC Output Voltage Min.-Nom.-Max. (183 - 208 - 229)			✓			Vac
AC Output Voltage Min.-Nom.-Max. (211 - 240 - 264)	✓	✓	✓	✓	✓	Vac
AC Frequency (Nominal)			59.3 - 60 - 60.5 ⁽¹⁾			Hz
Maximum Continuous Output Current 208V	-	-	24			A
Maximum Continuous Output Current 240V	12.5	16	21	25	32	A
GFDI Threshold			1			A
Utility Monitoring, Islanding Protection, Country Configurable Thresholds			Yes			
INPUT						
Maximum DC Power	4650	5900	7750	9300	11800	W
Transformer-less, Ungrounded			Yes			
Maximum Input Voltage			480			Vdc
Nominal DC Input Voltage			380		400	Vdc
Maximum Input Current 208V ⁽²⁾	-	-	13.5	-	-	Adc
Maximum Input Current 240V ⁽²⁾	8.5	10.5	13.5	16.5	20	Adc
Max. Input Short Circuit Current			45			Adc
Reverse-Polarity Protection			Yes			
Ground-Fault Isolation Detection			600k Ω Sensitivity			
Maximum Inverter Efficiency	99		99.2			%
CEC Weighted Efficiency			99			%
Nighttime Power Consumption			< 2.5			W
ADDITIONAL FEATURES						
Supported Communication Interfaces	RS485, Ethernet, ZigBee (optional), Cellular (optional)					
Revenue Grade Data, ANSI C12.20	Optional ⁽³⁾					
Rapid Shutdown - NEC 2014 and 2017 690.12	Automatic Rapid Shutdown upon AC Grid Disconnect					
STANDARD COMPLIANCE						
Safety	UL1741, UL1741 SA, UL1699B, CSA C22.2, Canadian AFCI according to T.I.L. M 07					
Grid Connection Standards	IEEE1547, Rule 21, Rule 14 (H)					
Emissions	FCC Part 15 Class B					
INSTALLATION SPECIFICATIONS						
AC Output Conduit Size / AWG Range	0.75-1" Conduit / 14-6 AWG					
DC Input Conduit Size / # of Strings / AWG Range	0.75-1" Conduit / 1-2 Strings / 14-6 AWG					
Dimensions with Safety Switch (HxWxD)	17.7 x 14.6 x 6.8 / 450 x 370 x 174					In / mm
Weight with Safety Switch	22 / 10		25.1 / 11.4		26.2 / 11.9	lb / kg
Noise	< 25					< 50 dBA
Cooling	Natural Convection					Natural convection and internal fan (user replaceable)
Operating Temperature Range	-13 to +140 / -25 to +60 ⁽⁴⁾ (-40°F / -40°C option) ⁽⁵⁾					°F / °C
Protection Rating	NEMA 3R (Inverter with Safety Switch)					

⁽¹⁾ For other regional settings please contact SolarEdge support
⁽²⁾ A higher current source may be used; the inverter will limit its input current to the values stated
⁽³⁾ Revenue grade inverter P/N: SExxxxH-US0000NSC2
⁽⁴⁾ Power derating from 50 °C
⁽⁵⁾ -40 version P/N: SExxxxH-US0000NH14



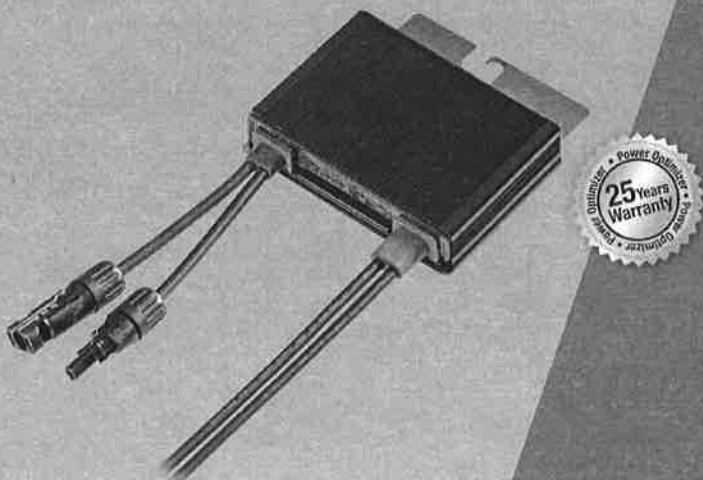
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SolarEdge Power Optimizer

Module Add-On For North America

P300 / P320 / P370 / P400 / P405



POWER OPTIMIZER

PV power optimization at the module-level

- Up to 25% more energy
- Superior efficiency (99.5%)
- Mitigates all types of module mismatch losses, from manufacturing tolerance to partial shading
- Flexible system design for maximum space utilization
- Fast installation with a single bolt
- Next generation maintenance with module-level monitoring
- Module-level voltage shutdown for installer and firefighter safety

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SolarEdge Power Optimizer

Module Add-On for North America

P300 / P320 / P370 / P400 / P405

	P300 (for 60-cell modules)	P320 (for high-power 60-cell modules)	P370 (for higher-power 60 and 72-cell modules)	P400 (for 72 & 96-cell modules)	P405 (for thin film modules)	
INPUT						
Rated Input DC Power ⁽¹⁾	300	320	370	400	405	W
Absolute Maximum Input Voltage (Voc at lowest temperature)	48		60	80	125	Vdc
MPPT Operating Range	8 - 48		8 - 60	8 - 80	12.5 - 105	Vdc
Maximum Short Circuit Current (Isc)	10		11		10.1	Adc
Maximum DC Input Current	12.5		13.75		12.63	Adc
Maximum Efficiency			99.5			%
Weighted Efficiency			98.8			%
Overvoltage Category			II			
OUTPUT DURING OPERATION (POWER OPTIMIZER CONNECTED TO OPERATING SOLAREGE INVERTER)						
Maximum Output Current			15			Adc
Maximum Output Voltage			60		85	Vdc
OUTPUT DURING STANDBY (POWER OPTIMIZER DISCONNECTED FROM SOLAREGE INVERTER OR SOLAREGE INVERTER OFF)						
Safety Output Voltage per Power Optimizer			1			Vdc
STANDARD COMPLIANCE						
EMC		FCC Part15 Class B, IEC61000-6-2, IEC61000-6-3				
Safety		IEC62109-1 (class II safety), UL1741				
RoHS		Yes				
INSTALLATION SPECIFICATIONS						
Maximum Allowed System Voltage			1000			Vdc
Compatible inverters		All SolarEdge Single Phase and Three Phase Inverters				
Dimensions (W x L x H)		128 x 152 x 27.5 / 5 x 5.97 x 1.08		128 x 152 x 35 / 5 x 5.97 x 1.37	128 x 152 x 50 / 5 x 5.97 x 1.96	mm / in
Weight (including cables)		630 / 1.4		750 / 1.7	845 / 1.9	g / lb
Input Connector	MC4 Compatible		MC4 / Amphenol AH4 Double Insulated;	MC4 Compatible		
Output Wire Type / Connector	Double Insulated; MC4 Compatible		MC4 / Amphenol AH4	Double Insulated; MC4 Compatible		
Output Wire Length	0.95 / 3.0			1.2 / 3.9		m / ft
Operating Temperature Range			-40 - +85 / -40 - +185			°C / °F
Protection Rating			IP68 / NEMA6P			
Relative Humidity			0 - 100			%

⁽¹⁾ Rated STC power of the module. Module of up to +5% power tolerance allowed.

PV SYSTEM DESIGN USING A SOLAREGE INVERTER ⁽²⁾⁽³⁾	SINGLE PHASE HD-WAVE	SINGLE PHASE	THREE PHASE 208V	THREE PHASE 480V	
Minimum String Length (Power Optimizers)	8		10	18	
Maximum String Length (Power Optimizers)	25		25	50	
Maximum Power per String	5700 (6000 with SE7600H-US)	5250	6000	12750	W
Parallel Strings of Different Lengths or Orientations		Yes			

⁽²⁾ For detailed string sizing information refer to http://www.solaredge.com/usa/default/files/string_sizing_na.pdf.

⁽³⁾ It is not allowed to mix P405 with P300/P370/P400/PC00/P700 in one string.



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POWER DISTRIBUTION

BUG•BITES™

Insulation Piercing Connectors

Eliminates need for conductor insulation stripping

No taping required after installation

For copper to copper, copper to aluminum, or aluminum to aluminum applications

For use on insulated conductor only



CU9AL
90°C



CAUTION
Use Bug•Bites on
insulated cable only!
Do not install on bare cable

IPC SERIES

NAED NUMBER	CATALOG NUMBER	WIRE RANGE		VOLTS	BOLTS	TORQUE FT-LBS	CTN QTY	EST. SHIPPING	
		MAIN	TAP					WEIGHT (lbs)	UNIT
13110	IPC 1002	1/0 - 8	2 - 8	300	1	16	12	2.63	CTN
13107	*IPC 4006	4/0 - 4	6 - 14	600	1	13	12	1.90	CTN
13108	*IPC 4020	4/0 - 2	2/0 - 6	600	1	25	12	4.08	CTN
13109	*IPC 2540	250 - 1	4/0 - 6	600	1	30	6	4.17	CTN
13113	IPC 3540	350 - 4/0	4/0 - 10	300	1	25	6	4.17	CTN
13114	IPC 3535	350 - 4/0	350 - 4/0	300	2	25	6	7.63	CTN
13116	†IPC 5012	500 - 250	10 - 12	300	1	25	4	2.85	CTN
13104	*IPC 5025	500 - 250	250 - 4	600	1	55	4	4.06	CTN
13105	*IPC 5050	500 - 300	500 - 250	600	1	75	1	2.64	EA
13106	*IPC 7550	750 - 500	500 - 350	600	1	75	1	2.62	EA

*600 Volts, balance 300 Volts (for 480V grounded Y systems)
† Not CSA certified

GUTTER TAP CONNECTORS

High strength aluminum alloy 6061-T6, tin-plated

Lay-in designed main conductor remains continuous

Tap parallel or perpendicular to main



GP SERIES

NAED NUMBER	CATALOG NUMBER	CONDUCTOR RANGE		APPROX. DIMENSIONS (IN)			CTN QTY	EST. SHIPPING	
		MAIN	TAP	H	W	L		WEIGHT (lbs)	UNIT
13117	GP 2"	2 - 12	4 - 12 SOL	7/8	5/8	1 ¹⁵ / ₁₆	24	1.43	CTN
13118	GP 10	1/0 - 2	1/0 - 12 SOL	1	3/4	1 ¹ / ₄	12	1.19	CTN
13119	GP 250	250 - 1/0	250 - 6	1 ¹ / ₁₆	1 ¹ / ₈	2 ¹ / ₃₂	12	2.54	CTN
13121	GP 350	350 - 4/0	350 - 6	1 ¹ / ₁₆	1 ¹ / ₄	2 ¹ / ₁₆	6	2.75	CTN
13122	GP 500	500 - 350	500 - 2	1 ¹ / ₄	1 ¹ / ₂	3 ¹ / ₄	6	3.10	CTN
13123	GP 750	750 - 500	500 - 2	2	1 ¹ / ₂	3 ³ / ₈	3	2.5	CTN

*GP2 has slotted screws.
Oxide-inhibitor is recommended for added corrosion protection.

Snap-on insulating covers for use with GP connectors

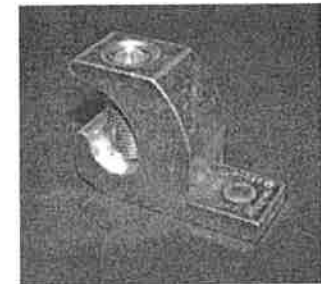
GPC SERIES

NAED NUMBER	CATALOG NUMBER	FOR USE WITH CONNECTOR	COLOR	APPROX. DIMENSIONS (IN)			CTN QTY	EST. SHIPPING	
				H	W	L		WEIGHT (lbs)	UNIT
13137	GPC 2	GP2	YELLOW	1 ¹ / ₆₄	1 ⁷ / ₃₂	1 ¹ / ₃₂	12	0.46	CTN
13138	GPC 10	GP1/0	GRAY	1 ¹ / ₈	2 ¹ / ₃₂	2 ¹ / ₈	6	0.36	CTN
13140	GPC 250	GP250	RED	1 ¹ / ₈	2 ¹ / ₈	3 ¹ / ₁₆	6	0.40	CTN
13141	GPC 350	GP350	YELLOW	1 ¹ / ₈	3 ¹ / ₁₆	3 ¹ / ₈	3	0.42	CTN
13142	GPC 500	GP500	BLUE	2 ¹ / ₃₂	3 ¹ / ₁₆	4 ¹ / ₈	3	0.46	CTN
13134	GPC 750	GP750	ORANGE	2 ¹ / ₃₂	3 ¹ / ₁₆	4 ¹ / ₈	3	0.65	CTN

www.greaves-usa.com
11 Heritage Park, Clinton, CT 06413 • Phone 860-664-4505 • Fax 860-664-4540
TOLL FREE 1-800-243-1130 (Outside CT)

Grounding Connectors

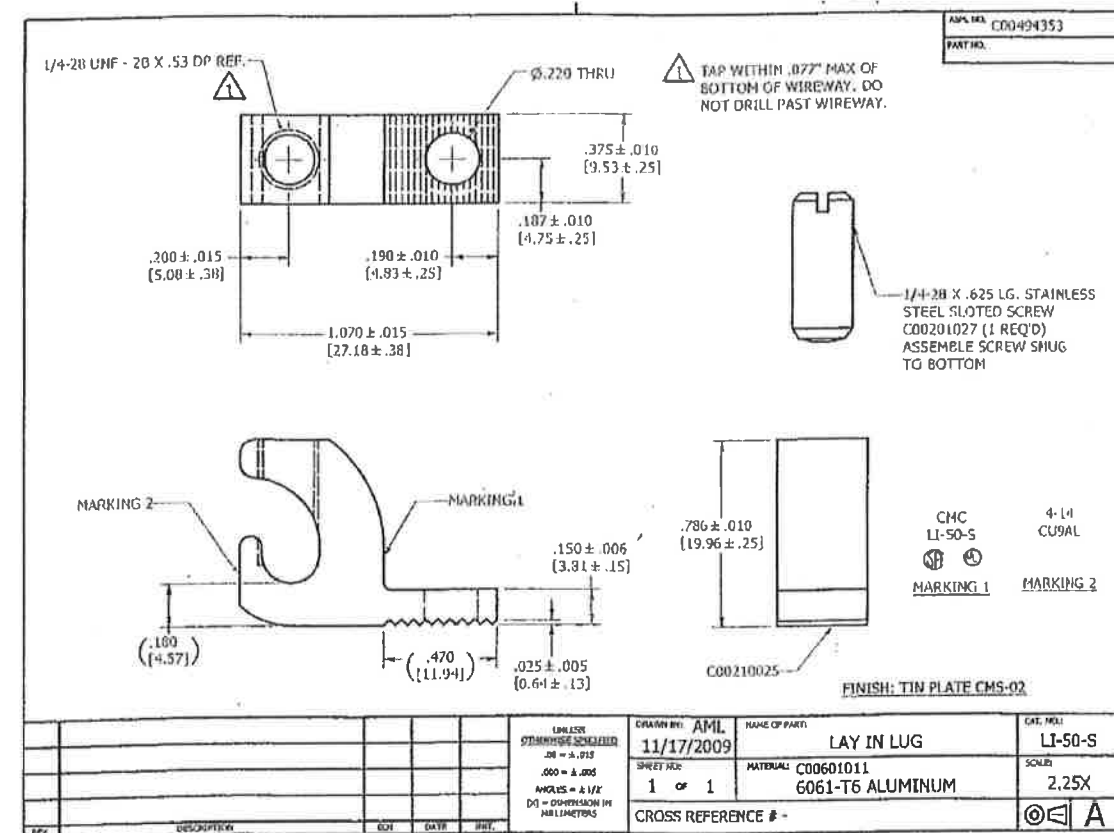
TYPE: LI Lay-In Connector



90°C RATING (4868 LISTED)

CMC® LI-S ground connectors are manufactured from high strength 6061-T6 aluminum alloy to insure both maximum strength and conductivity. They are dual rated for both copper and aluminum conductors and are electro tin plated to provide low contact resistance and protection against corrosion. They are designed for use on conduit grounding bushings. The open-faced design allows the installer to quickly lay-in the grounding conductor as a jumper to multiple conduits with no break in the ground conductor.

Catalog Number	Fig. No.	Cond. Range AWG	Stud Size*	Dimensions, Inches		
				H	W	L
LI-50S	1	4 - 14	0.22	0.78	0.38	1.07
LI-112S	1	1/0 - 14	0.27	1.17	0.6	1.5
LI-200S	2	3/0 - 6	0.33	1.56	0.8	2
LI-252S	2	250 - 6	0.33	1.79	0.8	2.2



Series 100 Residential Roof Mount System

The SnapNrack Series 100 Roof Mount System is engineered to optimize material use, labor resources and aesthetic appeal. This innovative system simplifies the process of installing solar modules, shortens installation times, and lowers installation costs; maximizing productivity and profits.

The Series 100 Roof Mount System boasts unique, pre-assembled, stainless steel “Snap-In” hardware and watertight flash attachments. This system is installed with a single tool. No cutting or drilling means less rail waste. It is fully integrated with built-in wire management, solutions for all roof types, one-size-fits-all features, and can withstand extreme environmental conditions. Series 100 is listed to UL Standard 2703 for Grounding/Bonding, Fire Classification and Mechanical Loading. UL 2703 Certification and Compliance ensures that SnapNrack installers can continue to provide the best in class installations in quality, safety and efficiency.

- Appealing design with built-in aesthetics
- No grounding lugs required for modules
- All bonding hardware is fully integrated
- Rail splices bond rails together, no rail jumpers required
- No drilling of rail or reaching for other tools required
- Class A Fire Rating for Type 1 and 2 modules



System Features Include



Snap in Hardware



Single Tool Installation



Easy Leveling



No Cutting or Drilling



Integrated Wire Management



Preassembled hardware



Integrated bonding

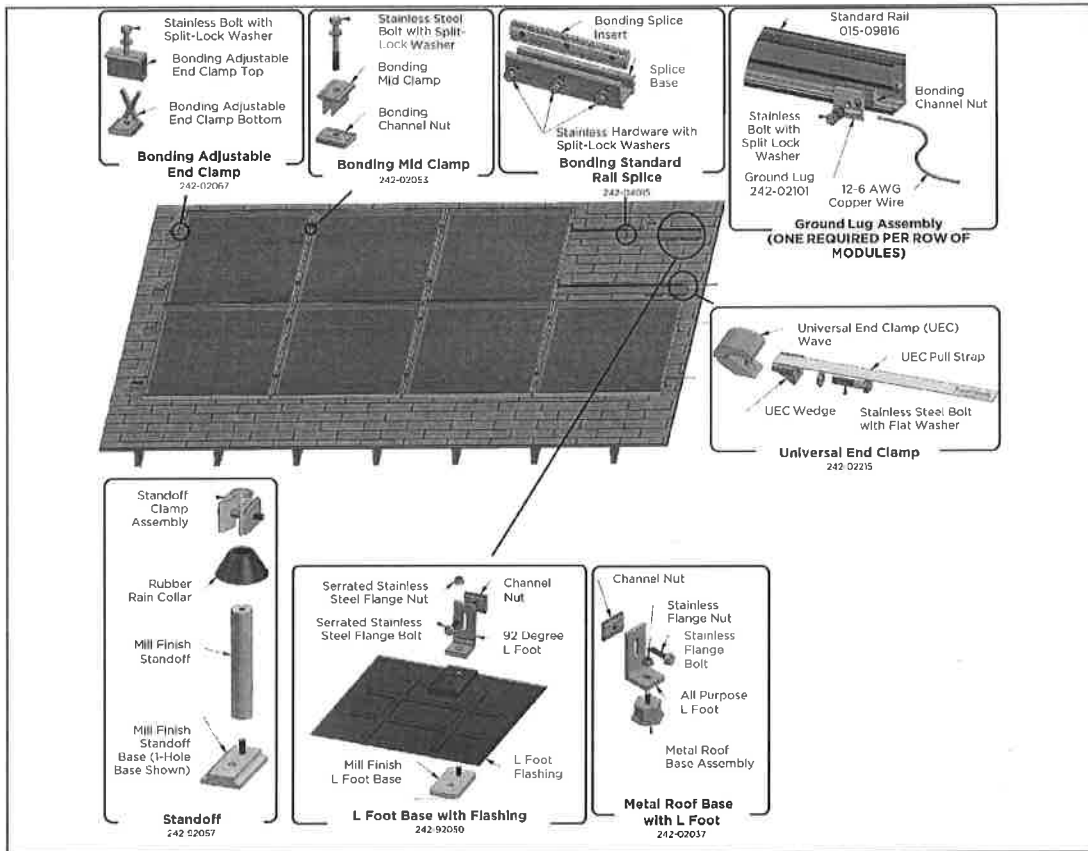


UL 2703 Certified

Resources snapnrack.com/resources

Design snapnrack.com/configurator

Where to Buy snapnrack.com/where-to-buy



SERIES 100 TECHNICAL DATA

Materials

- 6000 Series aluminum
- Stainless steel
- Galvanized steel and aluminum flashing
- Silver and black anodized aluminum
- Mill finish on select products
- Silver or black coated hardware

Note: Appearance of mill finish products may vary and change over time.

Wind Loads

110 - 190 mph (ASCE 7-10)

Snow Loads

0 - 120 psf

Array Pitch

0 - 60 degrees

877-732-2860

www.snapnrack.com

contact@snapnrack.com

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SnapNrack Series 100 Brochure 2.1

Village of Mamaroneck, NY

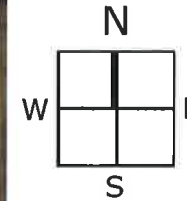
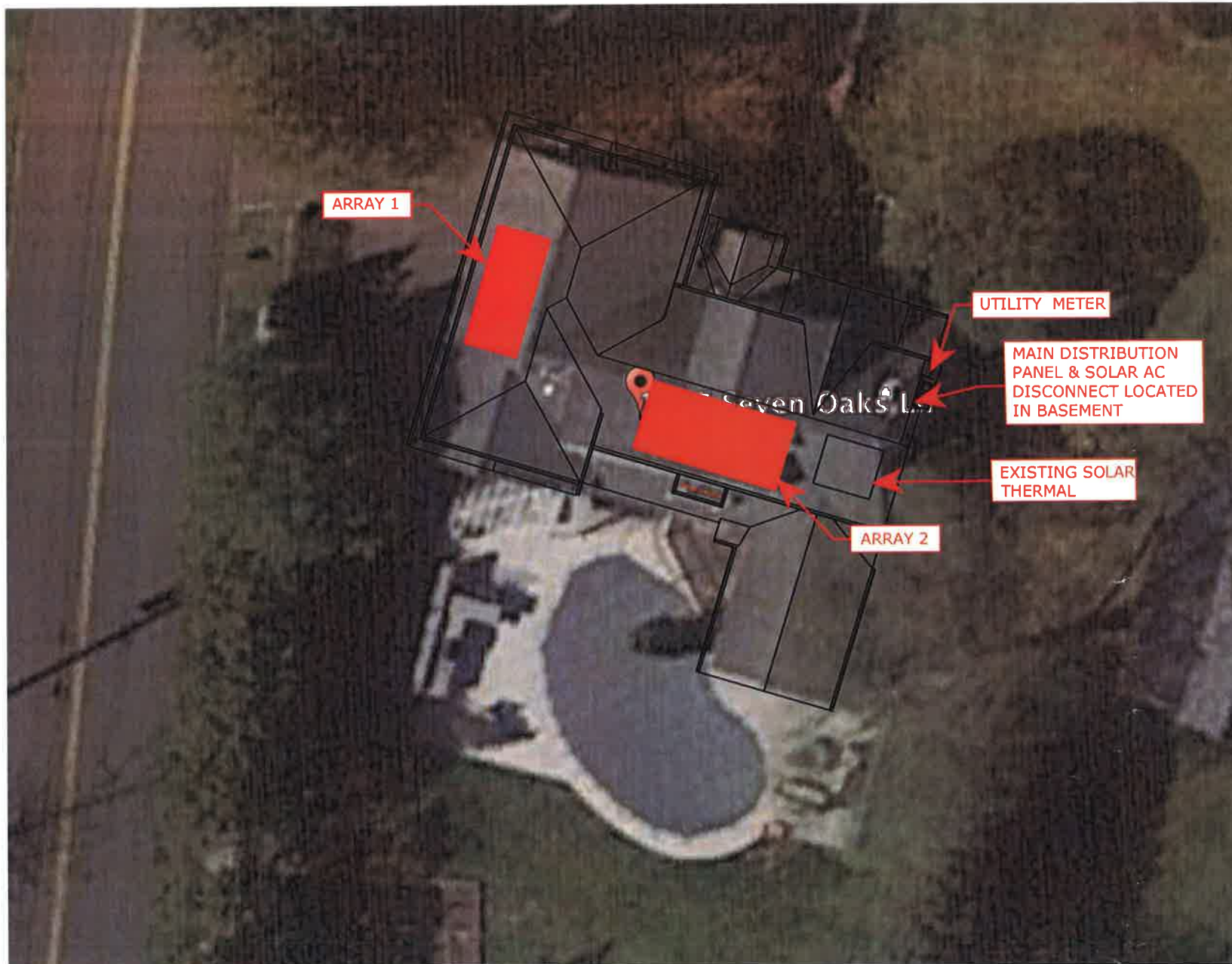
Item Title: 1005 Seven Oaks Lane

Item Summary: 1005 SEVEN OAKS LANE - SOLAR PANELS
APPLICANT: SUNRISE SOLAR

Fiscal Impact:

ATTACHMENTS:

<u>Description</u>	<u>Upload Date</u>	<u>Type</u>
1005 Seven Oaks	9/20/2017	Presentation



Wind and Snow Load

Wind Speed: 110 m.p.h.
Snow Load: 20 p.s.f.

General Notes

1. Modules to be SunPower 327 Watt BOB and to be installed per SunPower Electronics Installation Manual
2. Inverters to be SunPower AC UL.
3. Racking to be InvisiMount and to be installed as per InvisiMount Manufacturer's Specifications.

To all plans, specifications, plats and reports to which the seal of a professional engineer or land surveyor has been applied, there shall also be applied a stamp with appropriate wording warning that it is a violation of this law for any person, unless he is acting under the direction of a licensed professional engineer or land surveyor, to alter an item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his seal and notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.
Article 145, Professional Engineering and Land Surveying 7209 (2)

RECEIVED

SEP 18 2017

VILLAGE OF MAMARONECK
BUILDING DEPARTMENT



Site Plan

Zoland Residence
1005 Seven Oaks Lane
Mamaroneck, NY 10543
Sect. 9 Block 109 Lot 14

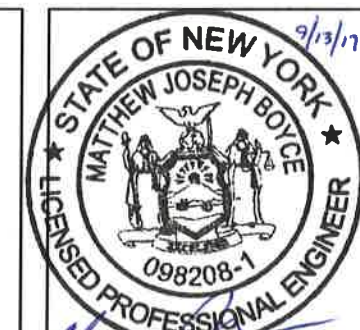
DATE	VER.	DRAWN BY	CHECKED BY
07/25/2017	V1	BP	DH
09/12/2017	R1	BP	
JOB #17-123			

SYSTEM DESCRIPTION:

-24 Photovoltaic Panels
-SunPower 327 Watt BOB
-System size -7.84 kW DC SYSTEM
-7.68 kW AC

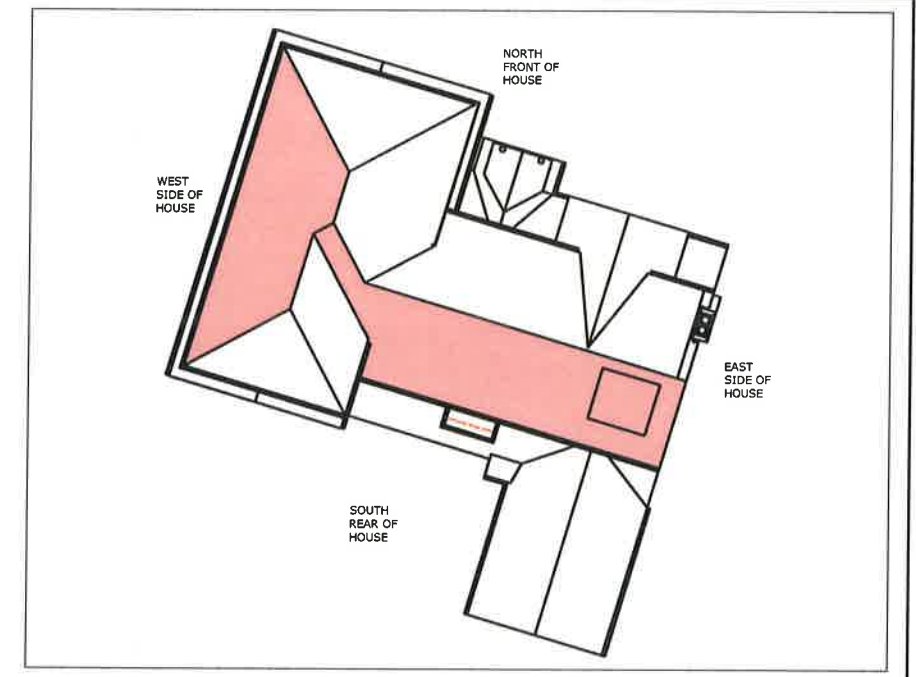
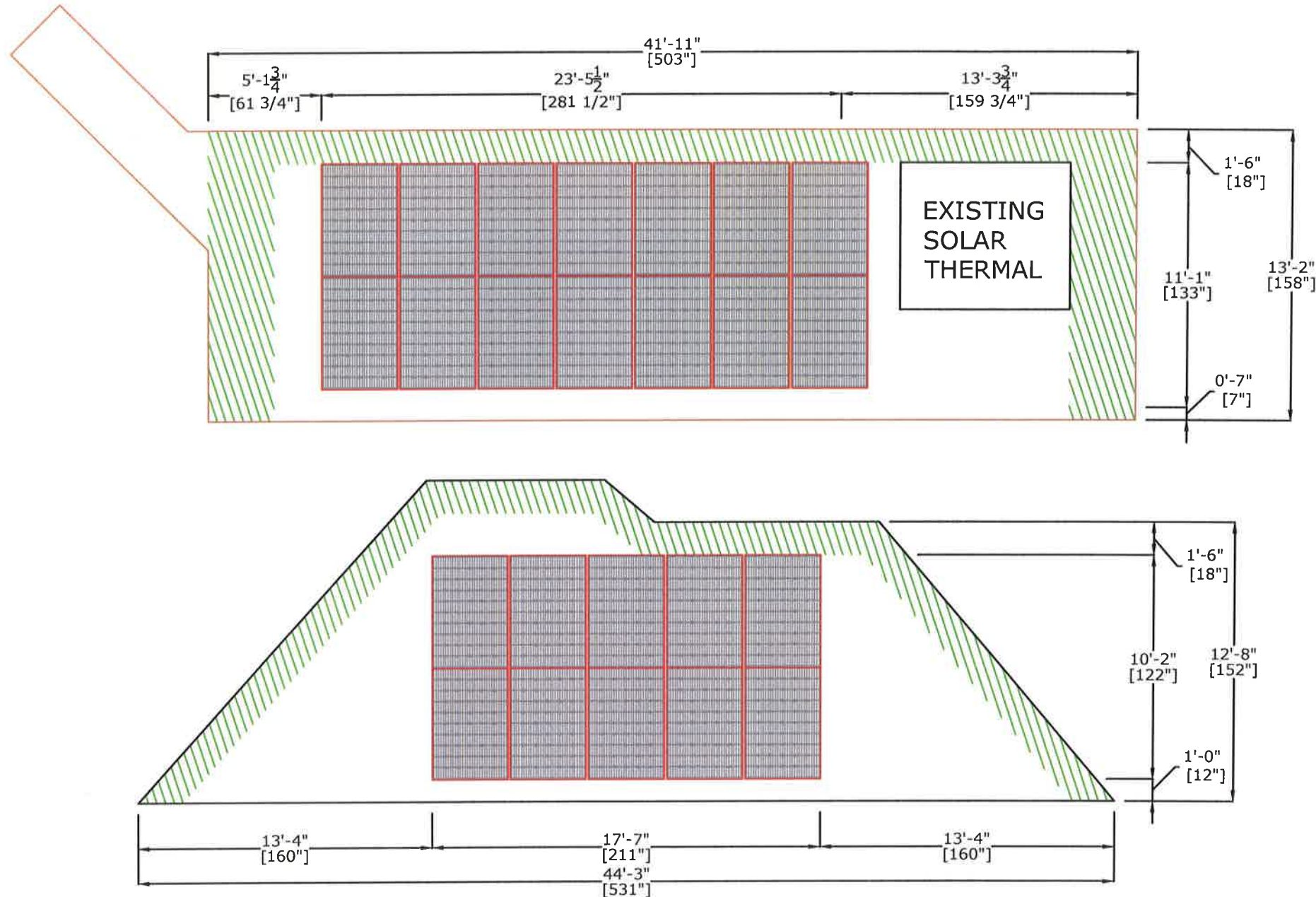
Array 1
-Azimuth: 284°
-Tilt: 28°

Array 2
-Azimuth: 194°
-Tilt: 28°



S-1

SITE PLAN



Setback Requirements

 Fire Clearance Path

Solar Arrays must maintain a 18" setback from all ridges, hips and valleys or surface that abuts another adjacent roof.

Solar Arrays must maintain a 36" setback from all single isles such as gable ends.



510 N. State Rd.
Briarcliff Manor, NY
914.762.7622
sunrisesolarllc.com

Panel Layout Construction

Zoland Residence
1005 Seven Oaks Lane
Mamaroneck, NY 10543
Sect. 9 Block 109 Lot 14

DATE	VER.	DRAWN BY	CHECKED BY
07/25/2017	V1	BP	
09/12/2017	R1	BP	

JOB #17-123

SYSTEM DESCRIPTION:

- 24 Photovoltaic Panels
- SunPower 327 Watt BOB
- System size -7.84 kW DC SYSTEM
- 7.68 kW AC

Array 1	Array 2
-Azimuth: 284°	-Azimuth: 194°
-Tilt: 28°	-Tilt: 28°



9/13/17

S-2

PANEL LAYOUT CONSTRUCTION PLAN

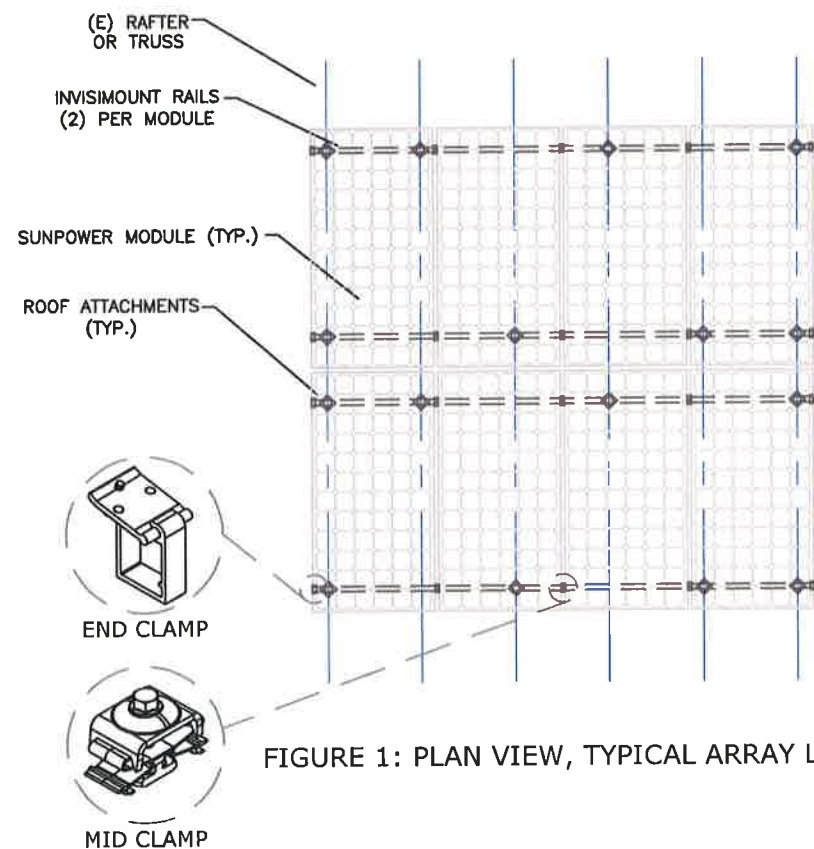
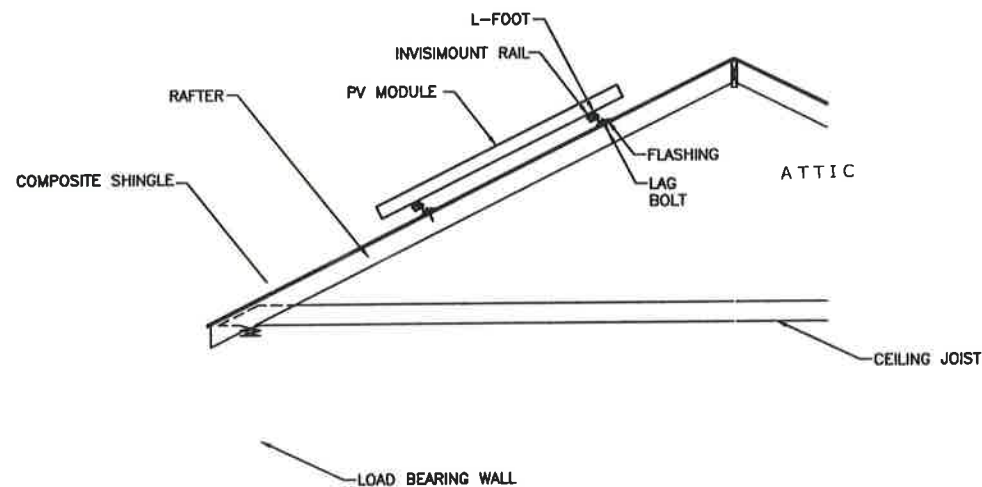
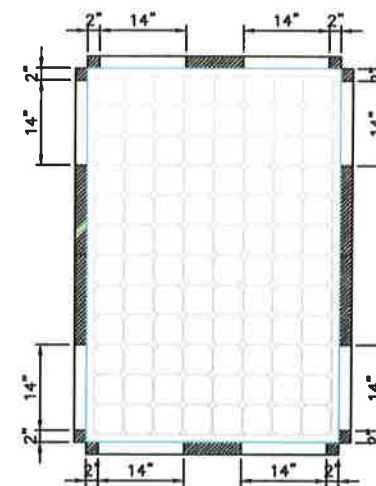


FIGURE 1: PLAN VIEW, TYPICAL ARRAY LAYOUT



96 CELL MODULE

ØINVISIMOUNT RAILS SHALL BE POSITIONED IN THE NON-CROSS HATCHED REGIONS

FIGURE 2: INVISIMOUNT MOUNTING CLAMP POSITIONING DETAILS

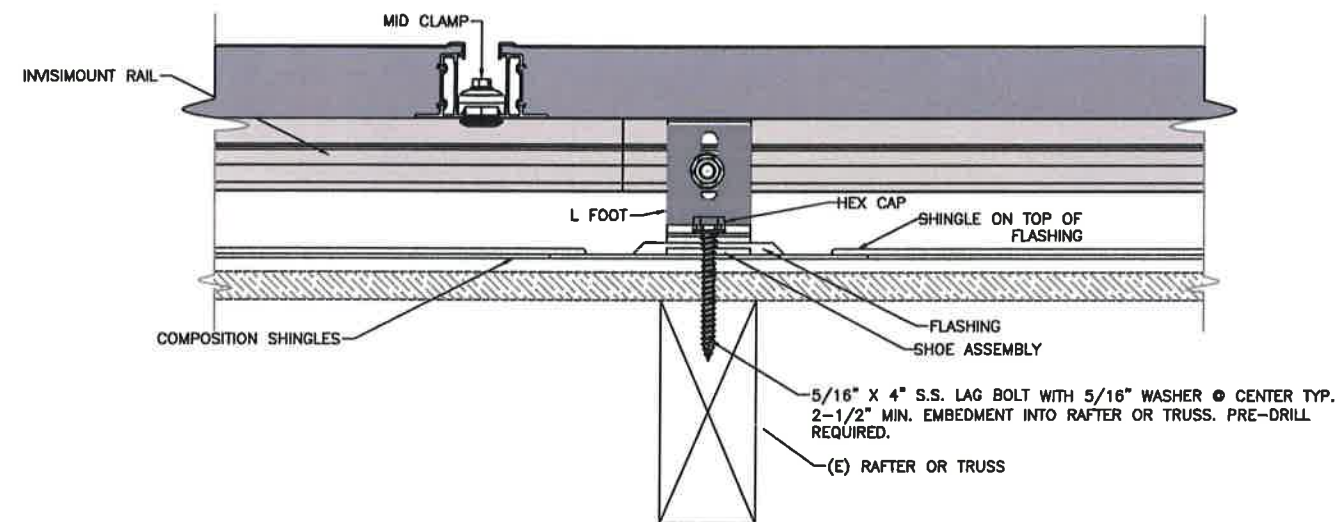


FIGURE 3: INVISIMOUNT ROOF ATTACHMENT DETAILS @ RAFTER OR TRUSS



510 N. State Rd.
Briarcliff Manor, NY
914.762.7622
sunrisesolarllc.com

Racking Layout Plan
Zoland Residence
1005 Seven Oaks Lane
Mamaroneck, NY 10543
Sect. 9 Block 109 Lot 14

DATE	VER.	DRAWN BY	CHECKED BY
07/25/2017	V1	BP	
09/12/2017	R1	BP	

JOB #17-123

SYSTEM DESCRIPTION:

-26 Photovoltaic Panels
-SunPower 327 Watt BOB
-System size -8.50 kW DC SYSTEM
-8.32 kW AC

Array 1
-Azimuth: 284°
-Tilt: 28°

Array 2
-Azimuth: 194°
-Tilt: 28°



S-3

**RACKING
LAYOUT
PLAN**

Village of Mamaroneck, NY

Item Title: 621 Lorraine St.

Item Summary: 621 LORRAINE STREET - REMOVE AND REPLACE GARAGE
APPLICANT: COSTANTINO FRAGALE - OWNER

Fiscal Impact:

ATTACHMENTS:

<u>Description</u>	<u>Upload Date</u>	<u>Type</u>
621 Lorraine	9/20/2017	Presentation

AT
THE FRAGALE RESIDENCE

AREA MAP:

SCALE: N.T.S.

PROPOSED SITE PLAN:

SCALE: 1" = 10'-0"

VILLAGE OF MAMARONECK
BUILDING DEPARTMENT

**RECONSTRUCTION OF
EXISTING DAMAGED
GARAGE
AT
THE FRAGALE
RESIDENCE
621 LORRAINE STREET,
MAMARONECK, NY 10543**

Job No. _____

Project No. _____

025-17

Project Date _____

AUGUST 2017

Scale _____

AS NOTED

Drawn By: _____

FVB

Checked By: _____

FVB / JSS

Seal _____

drawing number:

SP1.0

drawing title:

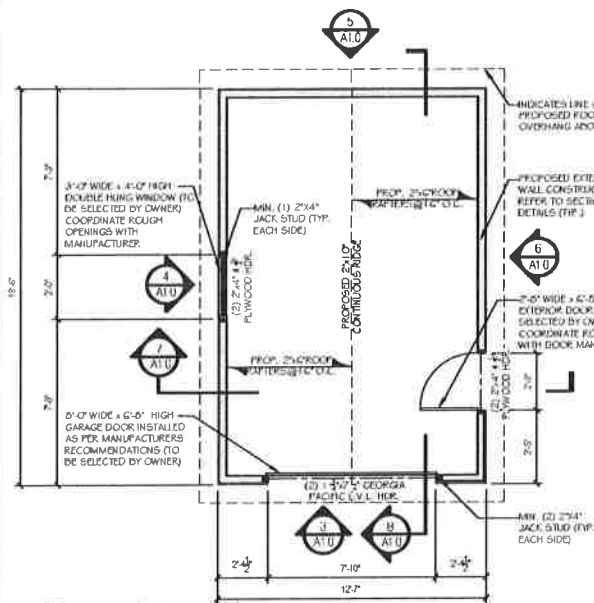
**PROPOSED SITE
PLANS**

PROPOSED SITE PLANS

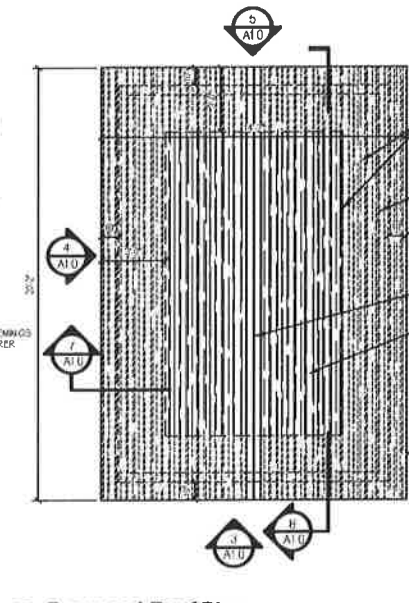
- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect The Marks
- Dig With Care

1-800-272-4480

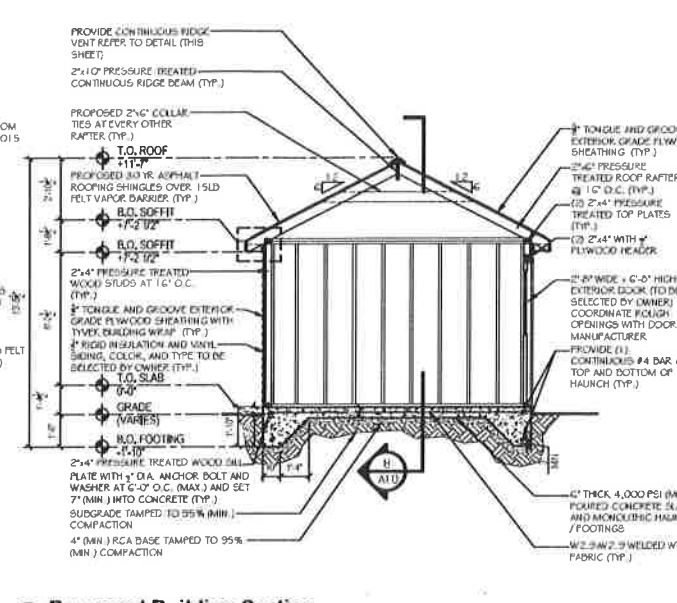
ZONING CONFORMANCE CHART DISTRICT RESIDENCE - 5:																	
MINIMUM LOT AREA		MINIMUM LOT WIDTH		MINIMUM YARD SETBACKS (ACCESSORY STRUCTURES)						MAXIMUM BUILDING HEIGHT (ACCESSORY STRUCTURES)				MAXIMUM GROSS LAND COVERAGE		MAXIMUM REAR YARD COVERAGE	
REQUIRED	EXISTING	REQUIRED	EXISTING	REQUIRED			PROPOSED			ALLOWED		PROPOSED		ALLOWED	PROPOSED	ALLOWED	PROPOSED
				FRONT	SIDE	REAR	FRONT	SIDE	REAR	STORIES	HEIGHT	STORIES	HEIGHT				
5,000 S.F.	5,000 S.F.	50'-0"	50'-0"	50'-0"	6'-0"	6'-0"	NO CHANGE	NO CHANGE	NO CHANGE	1	12'-0"	NO CHANGE	NO CHANGE	5,000 S.F. + 35% = 1,750.5 S.F.	NO CHANGE	N/A	N/A
DESIGN CRITERIA:										PROJECT INFO. & SCOPE OF WORK:					PROPERTY INFORMATION:		
GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	<div>PROJECT NAME: RECONSTRUCTION OF EXISTING DAMAGED GARAGE STRUCTURE</div> <div>PROJECT SCOPE: 1. COMPLETE REMOVAL OF EXISTING DAMAGED / DETERIORATING AND STRUCTURALLY UNSTABLE GARAGE, CONCRETE SLAB, DOORS, WINDOWS, AND ASSOCIATED FOOTINGS / FOUNDATIONS. 2. RECONSTRUCTION OF GARAGE (SAME SIZE) INCLUDING FRAMING, ROOFING, CONCRETE SLAB, AND MONOLITHIC FOOTINGS / RAILINGS.</div>					<div>OWNER/APPLICANT: COSTANTINO FRAGALE</div> <div>ADDRESS: 621 LORRAINE STREET MAMARONECK, NY</div> <div>COUNTY: WESTCHESTER</div> <div>SCHOOL DIST.: RYE NECK</div> <div>ZONING: RES-DONCH-5</div> <div>SECTION: 154.26</div> <div>BLOCK: 2</div> <div>LOT: 36</div> <div>LOT S.F.: 5,000 S.F.</div>				
			WEATHERING	FROST LINE DEPTH	TERMITE												
30 LBS. / S.F.	115 MPH	D - 17	SEVERE	3'-0" BELOW GRADE	MODERATE TO HEAVY	REQUIRED	MULTI-FLOOD PLAN										
DRAWING LIST:								VILLAGE INFORMATION:									
SP1.0 PROPOSED SITE PLANS, AREA MAP, AND NOTES A1.0 PROPOSED FLOOR PLANS, ELEVATIONS, SECTIONS, AND DETAILS																	
GENERAL NOTES:								VILLAGE: INCORPORATE VILLAGE OF MAMARONECK ADDRESS: 163 ML PLEASANT AVENUE, MAMARONECK, NY 10543 TELEPHONE: 914.777.7731									
1. ALL LUMBER TO BE PRESSURE TREATED EXTERIOR GRADE LUMBER. 2. PROVIDE CONTINUOUS TERMITE SHIELD AT SKILL PLATE AT ENTIRE PERIMETER OF STRUCTURE. 3. REMOVE / STRIP ALL TOPSOIL AND UNSUITABLE MATERIAL PRIOR TO CONCRETE PREPARATION.																	
4. TOPS OF ALL WINDOW AND DOOR HEADS SHALL ALIGN. 5. COORDINATE AND CONFIRM ALL FINISH MATERIALS, WINDOWS, AND DOORS WITH OWNER PRIOR TO PURCHASE AND INSTALLATION. 6. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING ALL BUILDING INSPECTIONS WITH LOCAL BUILDING AND PLANNING DEPARTMENT.																	



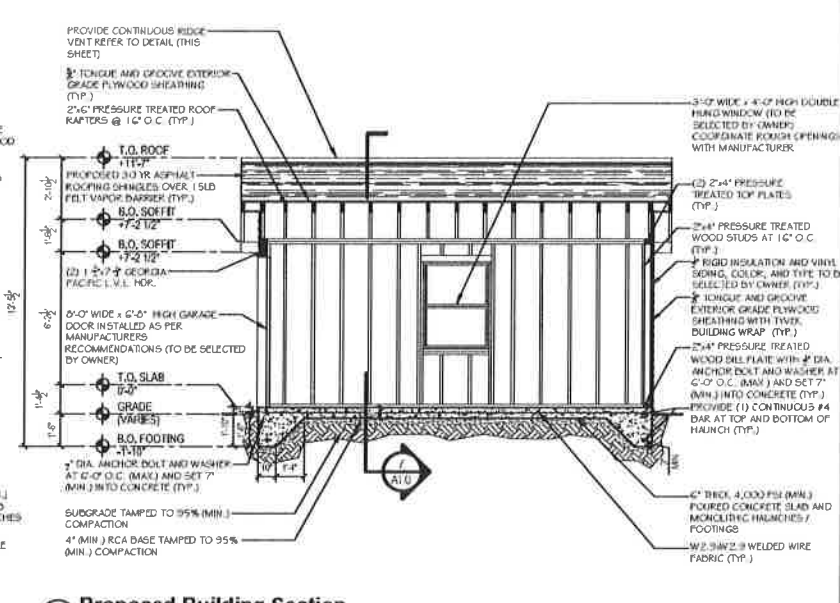
1 Proposed Floor Plan
SCALE: 1/4"=1'-0"



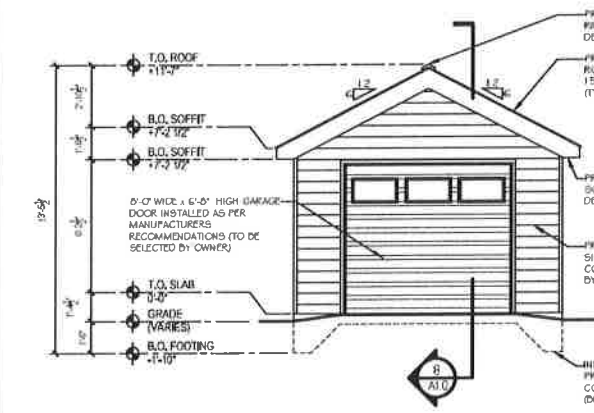
2 Proposed Roof Plan
SCALE: 1/4"=1'-0"



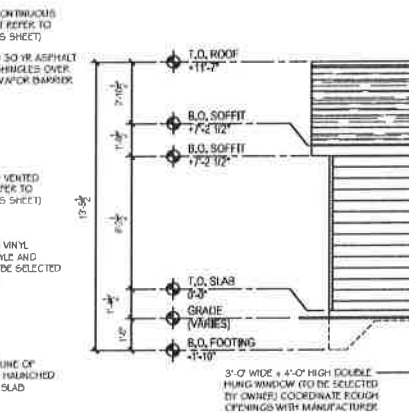
7 Proposed Building Section
SCALE: 1/4"=1'-0"



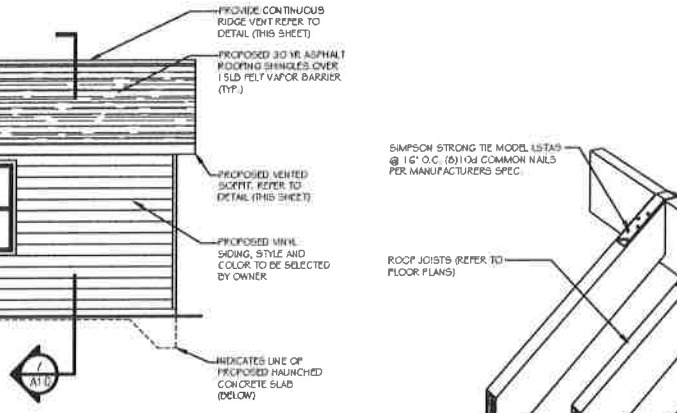
8 Proposed Building Section
SCALE: 1/4"=1'-0"



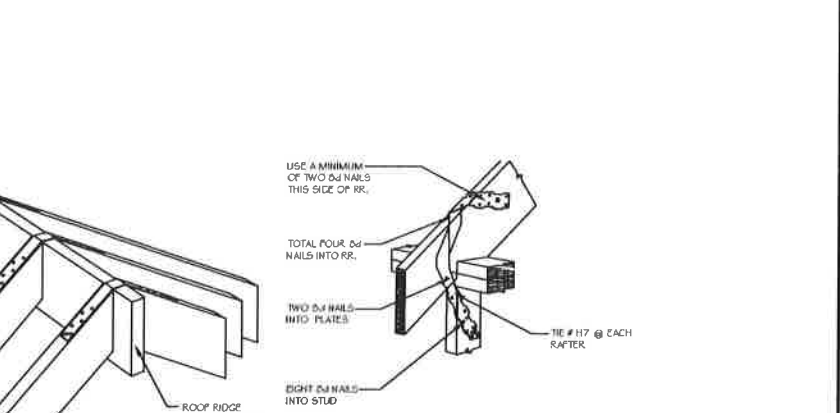
3 Proposed Front (West Facing) Elevation
SCALE: 1/4"=1'-0"



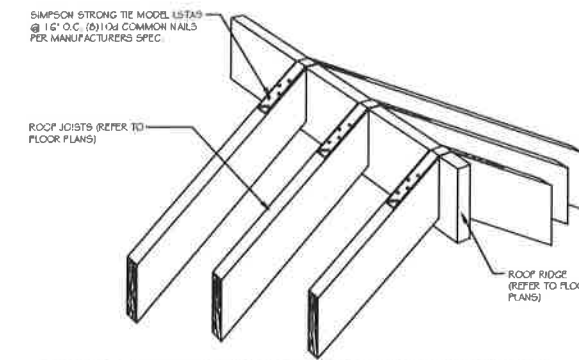
4 Proposed Side (North Facing Elevation)
SCALE: 1/4"=1'-0"



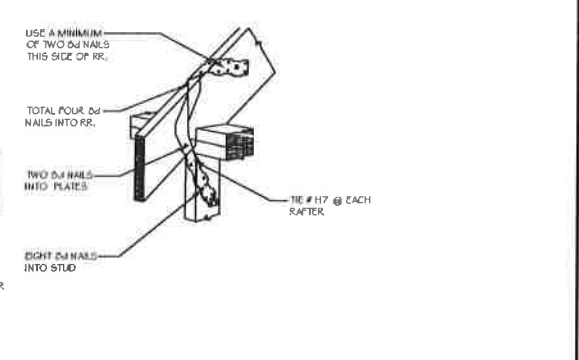
6 Proposed Side (South Facing Elevation)
SCALE: 1/4"=1'-0"



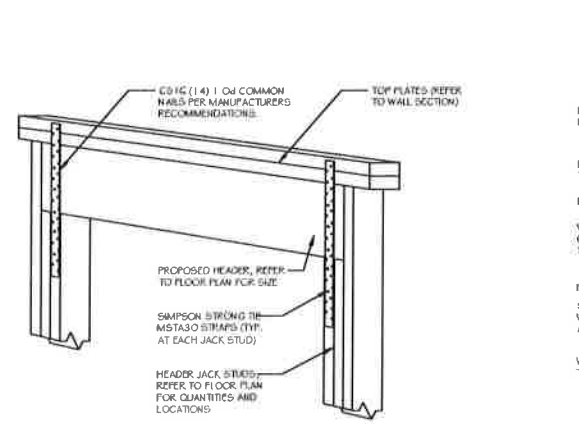
5 Proposed Rear (East Facing) Elevation
SCALE: 1/4"=1'-0"



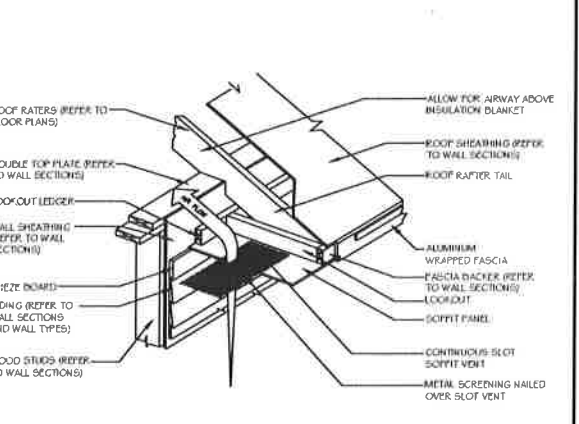
9 Typical Rafter to Ridge to Rafter Strapping Detail
SCALE: NTS



10 Typical Rafter Tie Detail
SCALE: NTS



11 Typical Header to Stud Strapping Detail
SCALE: NTS



12 Typical Soffit Vent Detail
SCALE: NTS

JS Drafting
1521 Westervet Avenue
Baldwin, New York

Francesco V. Borgese
350 Cornwell Avenue
Malverne, New York

ISSUED / REVISION

No.	Date	Description
1		Checklist

08.11.17 - ISSUED TO BUILDING DEPT. FOR PERMIT

RECONSTRUCTION OF EXISTING DAMAGED GARAGE AT THE FRAGILE RESIDENCE

Project: **08-17**

Project Date: **AUGUST 2017**

Scale: **AS NOTED**

Drawn By: **FVB**

Checked By: **FVB / JSS**

Seal: **A1.0**

Drawing Title: **PROPOSED PLANS, ELEVATIONS, SECTIONS, AND DETAILS**

Village of Mamaroneck, NY

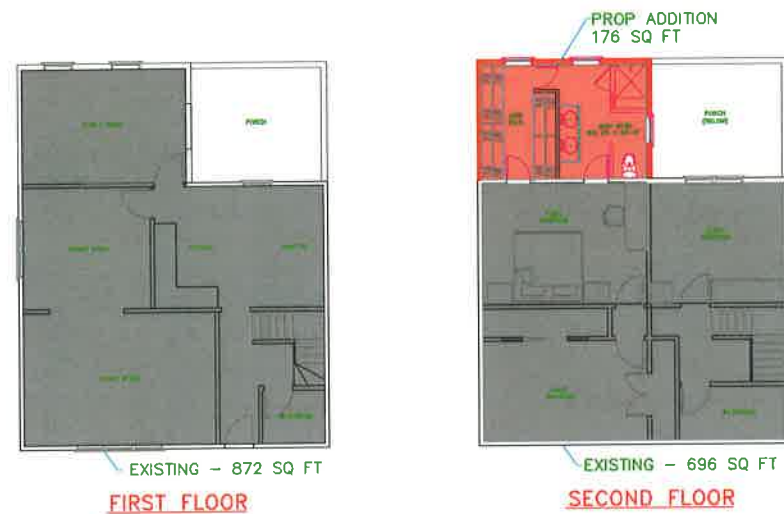
Item Title: 515 Greenhaven Road

Item Summary: 515 GREENHAVEN ROAD - 2ND FLOOR ADDITION
APPLICANT: WILLIAM BRANK - CONTRACTOR

Fiscal Impact:

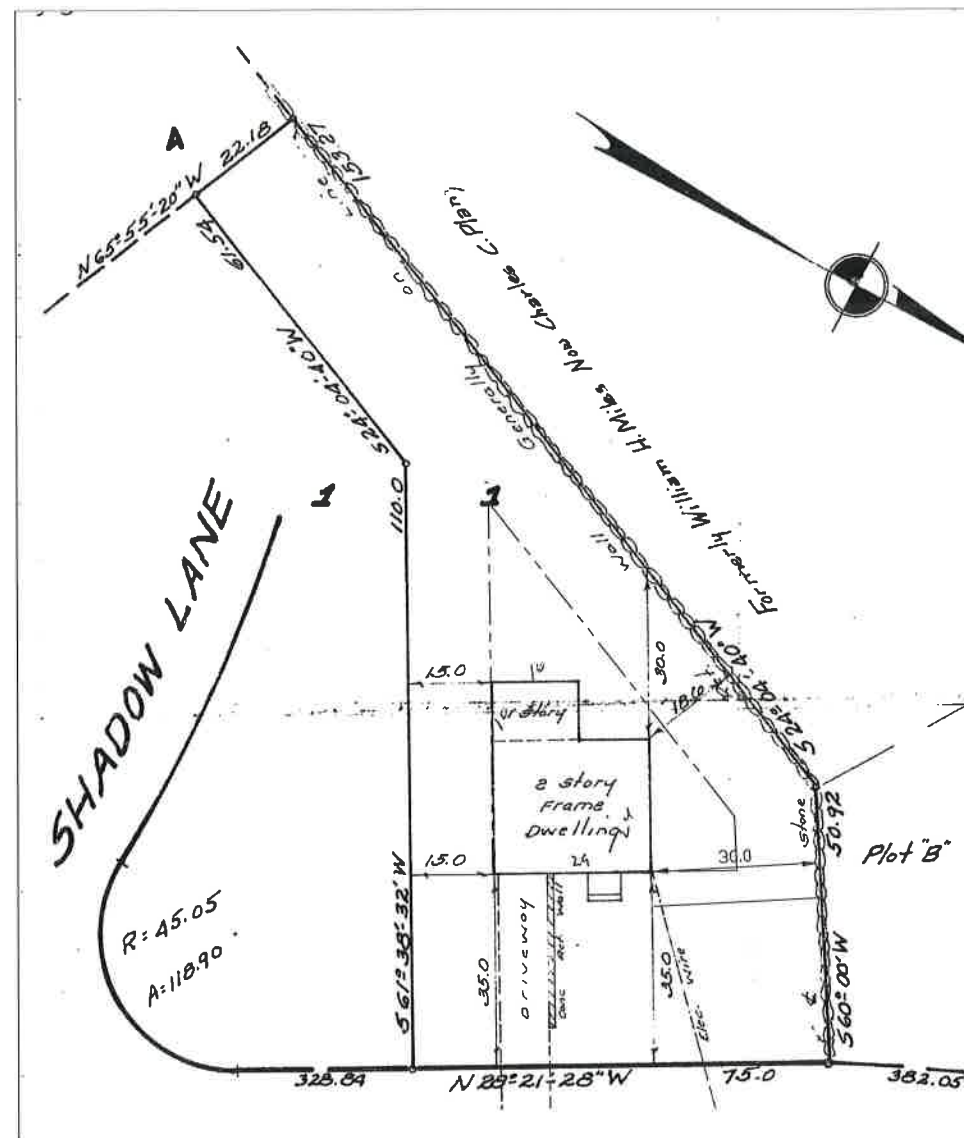
ATTACHMENTS:

<u>Description</u>	<u>Upload Date</u>	<u>Type</u>
515 Greenhaven	9/20/2017	Presentation



F.A.R. DIAGRAM

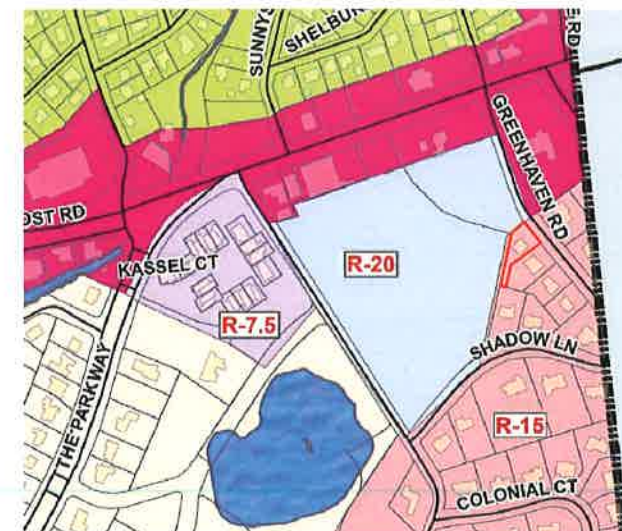
ZONING ANALYSIS			
TOWN OF MAMARONECK, WESTCHESTER NY			
ZONE	R-15	LOT	10
SECTION	4	BLOCK	79
ITEM	REQUIRED	EXISTING	PROPOSED
LOT DATA			
LOT SIZE	15,000	7,976	NO CHANGE
LOT WIDTH AND FRONTAGE	100	N/A	NO CHANGE
LOT DEPTH	100	N/A	NO CHANGE
SETBACKS			
FRONT YARD	25	N/A	NO CHANGE
ONE SIDE YARD	15	15	NO CHANGE
BOTH SIDES COMBINED	35	45	NO CHANGE
REAR	30	30	NO CHANGE
BUILDING HEIGHT			
HEIGHT-STORIES	2.0	2.0	NO CHANGE
HEIGHT- FEET	32	28	NO CHANGE
FLOOR AREA RATIO			
	0.4105	0.211	0.2318
BASEMENT		0	0
FIRST FLOOR		872	872
SECOND FLOOR		696	872
ATTIC		0	0
GARAGE		0	0
TOTAL FLOOR AREA	3,274 (MAX)	1,568	1,744



SITE PLAN



LOCATION MAP



ZONING MAP

RECEIVED

SEP 14 2017

VILLAGE OF MAMARONECK
BUILDING DEPARTMENT

REV.	DATE:	DESCRIPTION:
A	09/08/17	PERMIT SET

NOTES:

1. REFERENCED SURVEY MAP WAS TAKEN FROM SURVEY OF A PORTION OF LOT 1 ON "REVISED MAP OF FIRST ADDITION TO GREENHAVEN", TOWN OF RYE, WESTCHESTER COUNTY, NEW YORK BY CHASE A. HOLLISTER, SURVEYOR, FEB. 2, 1927 AND FILED IN THE COUNTY CLERKS OFFICE AS MAP NO. 3107 SURVEYED JUNE 18, 1964.

STAMP AND SIGNATURE

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IT IS THE REQUIREMENT OF THE OWNER AND/OR HIS/HER LEGAL REPRESENTATIVE TO ADVISE THE PLANNER/ENGINEER OF ANY AND/OR ALL DEED RESTRICTIONS ON THE PROPERTY WHICH MAY PRECLUDE FURTHER CONSTRUCTION ON THIS PROPERTY

PROJECT:

MONSON RESIDENCE
515 GREENHAVEN RD,
RYE, NY

DRAWING TITLE:

PROPOSED RESIDENCE
ADDITION
(COVER SHEET)

PROJECT MANAGER:

DRAWN BY: JANV CHECKED BY: JNV

SCALE: AS NOTED

PROJECT #: 17C0115

DATE: 06/12/17

DATUM: ASSUMED

DRAWING NO.

CAD FILE: MONSON/ARCH.DWG

APPROVED: PROJ. DIR.

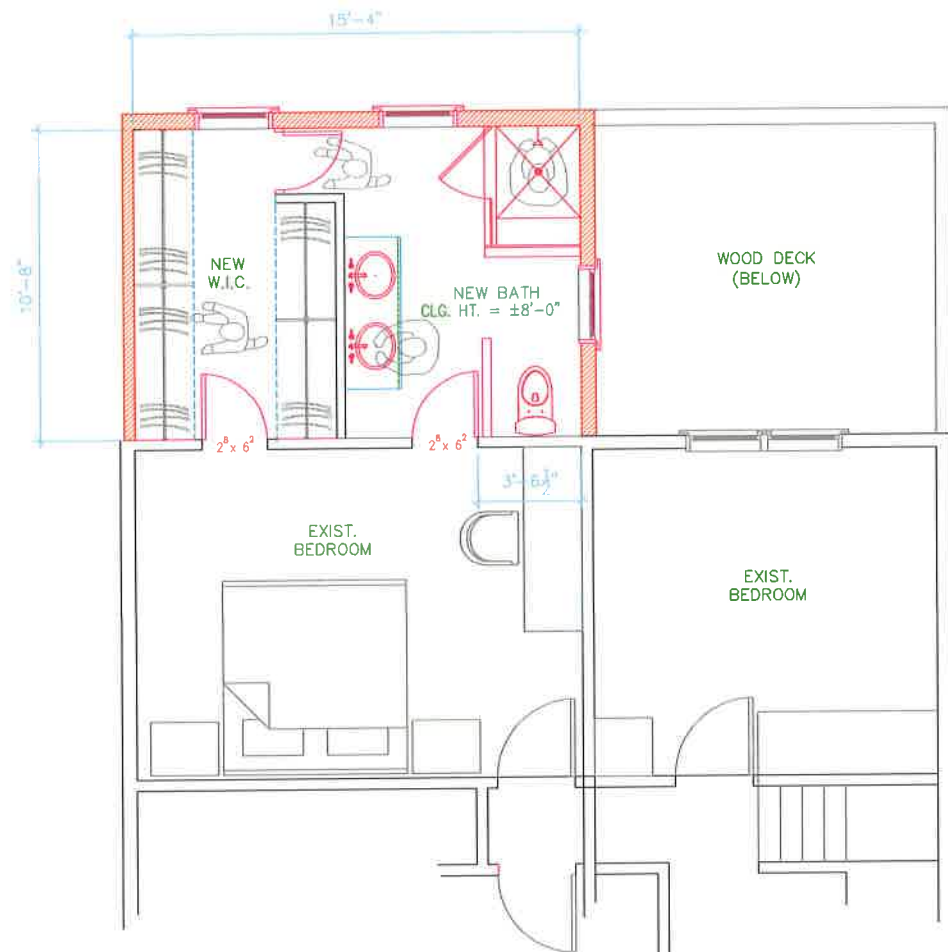
JANV

C1.0

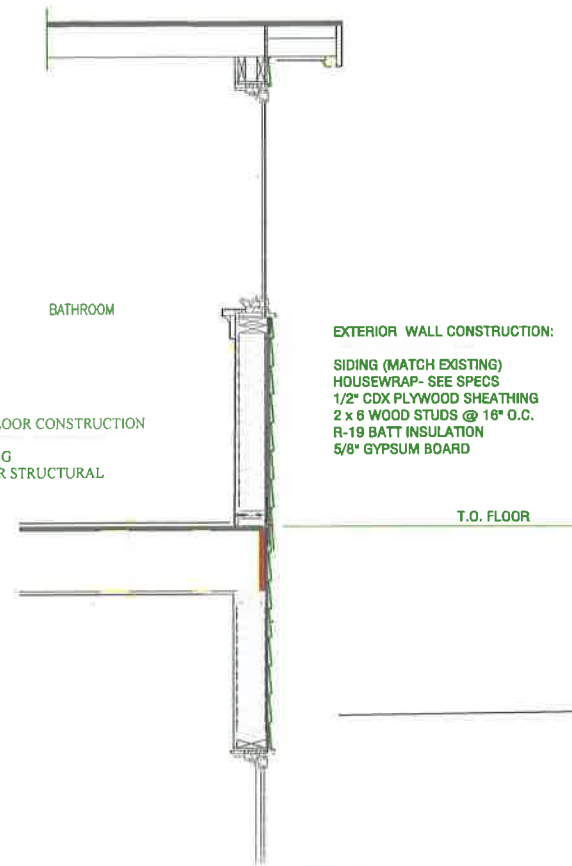


P-DELTA ENG, LLC
STRUCTURAL - CIVIL - TOPOGRAPHIC - LAND & 3D RENDERING
37 STATE STREET, ANSONIA, CT 06401
TEL: 203-971-8995

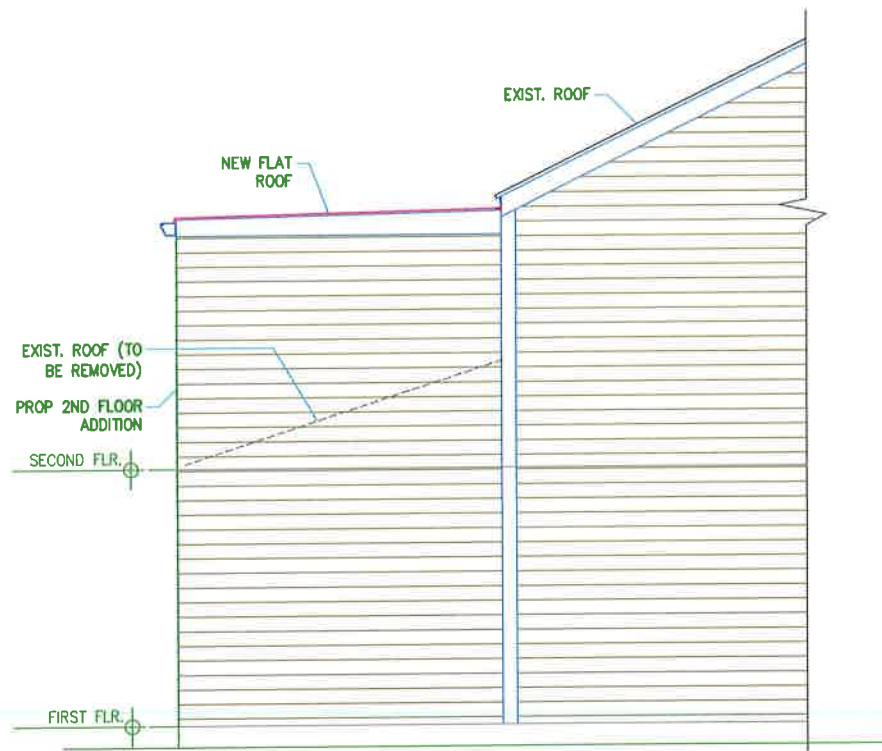
PENDING MUNICIPAL APPROVAL



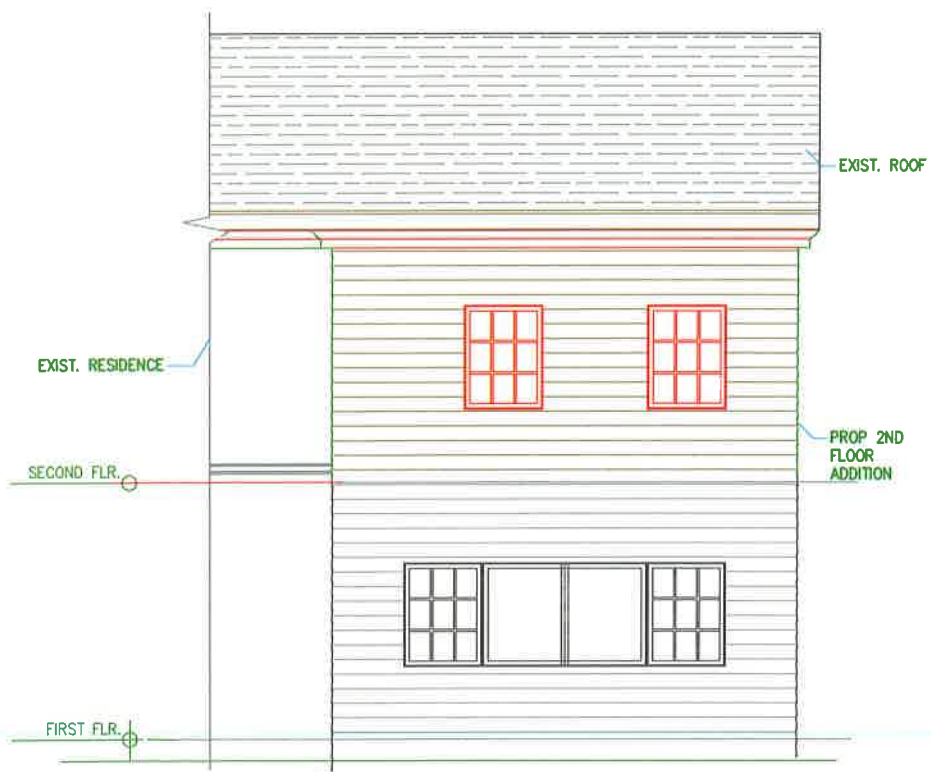
A PARTIAL SECOND FLOOR PLAN
1/4"=1'-0"



C TYP. WALL SECTION
1/4"=1'-0"



B LEFT ELEVATION
1/4"=1'-0"



D REAR ELEVATION
1/4"=1'-0"

GENERAL NOTES

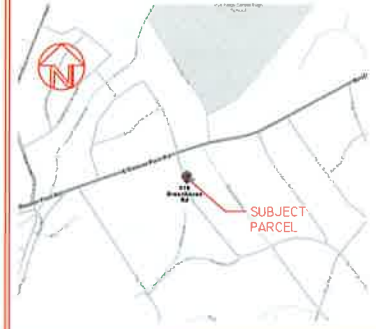
- 1) THE CONTRACTORS SHALL BE RESPONSIBLE FOR FILING ALL REQUIRED PERMITS INCLUDING BUT NOT LIMITED TO: ELECTRICAL, PLUMBING AND HVAC WORK UNDER SEPARATE PERMIT(S).
- 2) ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES.
- 3) THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY OF THE WORKER, OWNERS AND THE PUBLIC AS REQUIRED BY THE STATE OF CONNECTICUT AND OSHA.
- 4) ALL BRACING AND SHORING SHALL BE INSTALLED IN STRICT COMPLIANCE WITH THE LATEST EDITION OF THE BUILDING CODE OF THE STATE OF CONNECTICUT AND ALL OTHER APPLICABLE NATIONAL, STATE AND LOCAL CODES.
- 5) CONTRACTOR TO COORDINATE FRAMING WITH ELECTRICAL, LIGHTING & PLUMBING WORKS
- 6) CONTRACTOR TO CAP/EXTEND PLUMBING/ELECTRICAL AS REQUIRED
- 7) ALL WORK SHALL COMPLY WITH THE HIGHEST INDUSTRY STANDARDS.
- 8) CONTRACTOR TO COMPLY WITH THE RULES AND REGULATIONS IN THE 2010 EPA LEAD PAINT REMOVAL IN RESIDENTIAL RENOVATIONS.
- 9) ALL EXISTING DIMENSIONS AND CONDITIONS MUST BE FIELD VERIFIED PRIOR TO FABRICATION.

ANY ITEM TO WHICH A SEAL OF A PROFESSIONAL ENGINEER HAS BEEN APPLIED MAY NOT BE ALTERED BY ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, OR IS A LICENSED PROFESSIONAL ENGINEER. THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND THE SPECIFIC DESCRIPTION OF THE ALTERATION. NON-COMPLIANCE IS A VIOLATION OF NEW YORK STATE LAW

P-DELTA ENG, LLC WILL NOT CERTIFY OR MAKE INSPECTIONS DURING CONSTRUCTION UNLESS AN INSPECTION PROGRAM IS AGREED UPON PRIOR TO CONSTRUCTION.

DO NOT SCALE DRAWINGS.

LOCUS:



REV.	DATE:	DESCRIPTION:
A	09/08/17	PERMIT SET

NOTES:

STAMP AND SIGNATURE

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PROJECT:

MONSON RESIDENCE
515 GREENHAVEN RD,
RYE, NY

DRAWING TITLE:

**PROPOSED RESIDENCE
ADDITION
(FLOOR PLAN AND ELEVATION)**

PROJECT MANAGER:

DRAWN BY: JANV CHECKED BY: JNV

SCALE: AS NOTED

PROJECT #: 17C0115

DATE: 06/12/17

DATUM:

ASSUMED

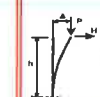
CAD FILE: MONSON\MARCH.DWG

APPROVED:

PROJ. DIR. JANV

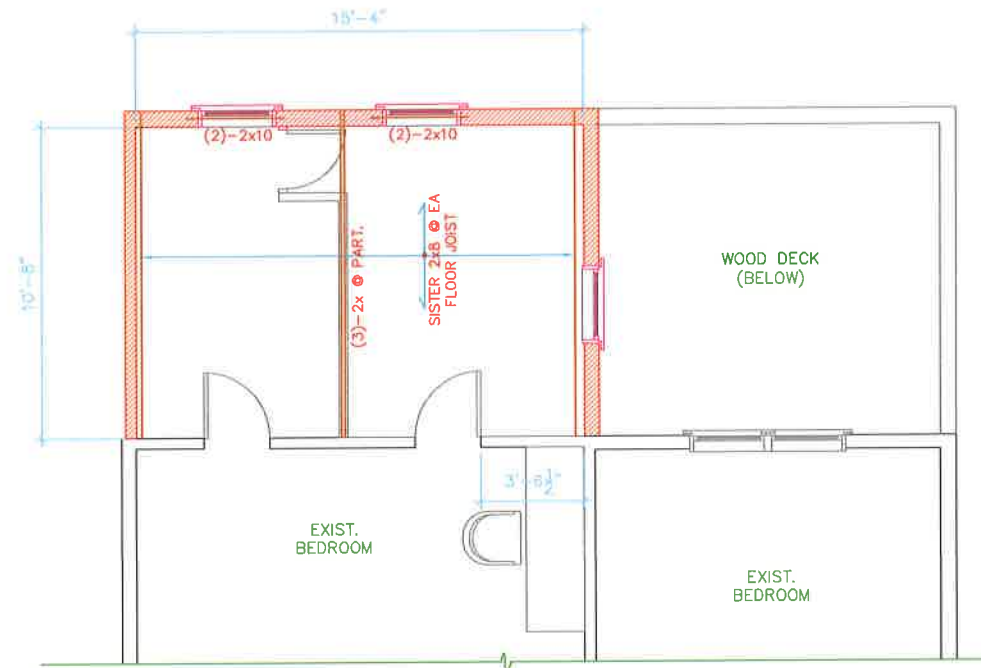
DRAWING NO.

A1.0

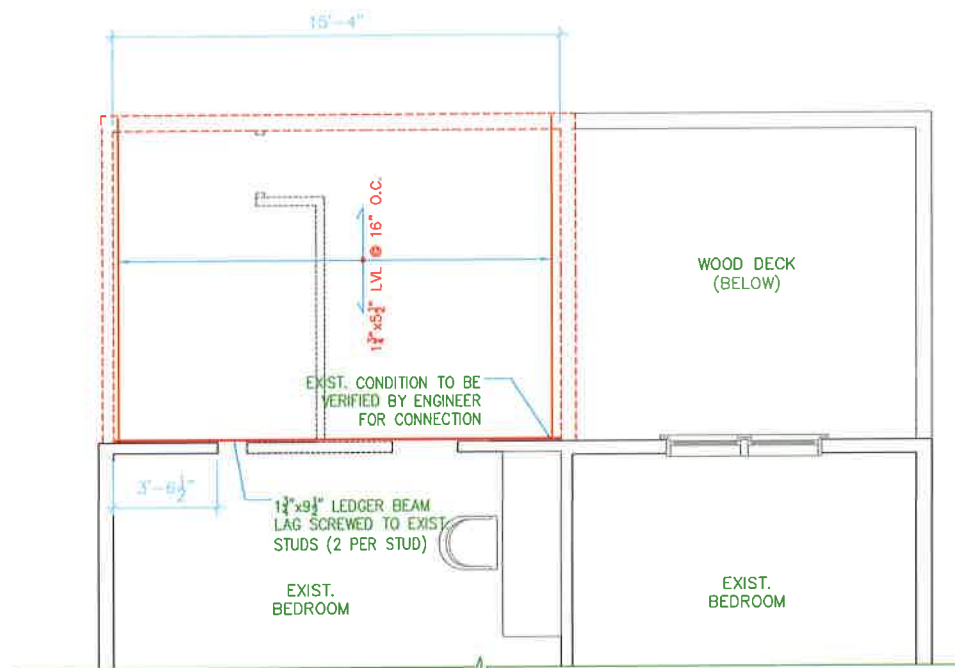


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37 STATE STREET, ANSONIA, CT 06401
TEL: 203-971-8995

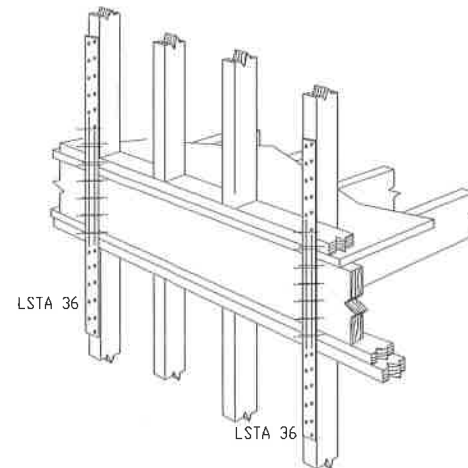
PENDING MUNICIPAL APPROVAL



A BATHROOM FRAMING PLAN
SCALE: 1/4"=1'-0"



B ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"



2 TYP. FLOOR TO FLOOR CONN.
SCALE: NTS
NOTES:
1. SIMPSON LSTA36 TO SPACED AT 48" O.C.
2. SIMPSON LTP5 TO BE LOCATED BETWEEN LSTA36

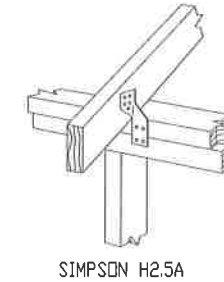
STRUCTURAL NOTES

WOOD

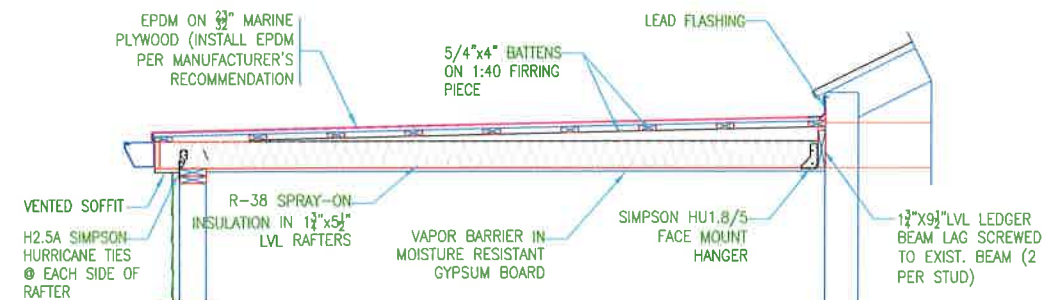
MINIMUM LUMBER STRESS GRADES SHALL BE AS FOLLOWS:
DOUGLAS-FIR LARCH NO. 1 OR SOUTHERN PINE NO. 1
MEDIUM GRAIN. MOISTURE CONTENT SHALL NOT BE GREATER THAN 19%.

LAMINATED MEMBERS TO BE DETAILED AND FABRICATED IN ACCORDANCE WITH U.S. COMMERCIAL STANDARD PS 56-B6, LATEST EDITION, "STRUCTURAL GLUED LAMINATED TIMBER". ALLOWABLE UNIT STRESSES FOR LAMINATED MEMBERS:

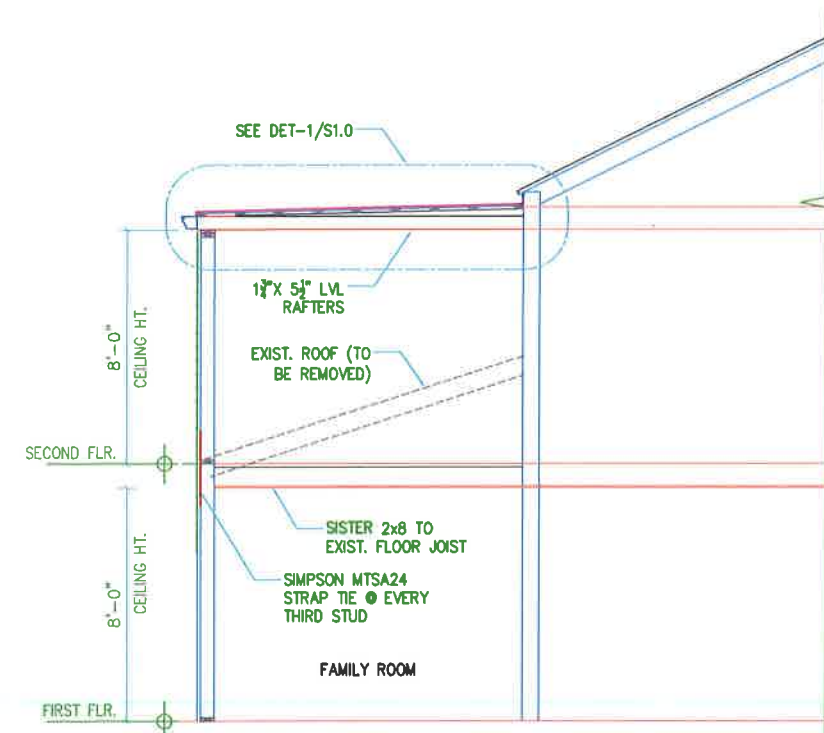
BENDING - 2400 PSI
HORIZONTAL SHEAR - 285 PSI



3 TYP. HURRICANE TIE FOR RAFTER
SCALE: NTS



1 DETAIL OF ROOF
SCALE: 1/2"=1'-0"



C SECTION
SCALE: 1/4"=1'-0"

REV.	DATE:	DESCRIPTION:
A	09/08/17	PERMIT SET

NOTES:

STAMP AND SIGNATURE

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PROJECT:

MONSON RESIDENCE
515 GREENHAVEN RD,
RYE, NY

DRAWING TITLE:

**PROPOSED RESIDENCE
ADDITION
(FLOOR PLAN AND ELEVATION)**

PROJECT MANAGER:

DRAWN BY: JANV

CHECKED BY: JNV

SCALE: AS NOTED

PROJECT #: 17C0115

DATE: 06/12/17

DATUM:

ASSUMED

DRAWING NO.

S1.0

CAD FILE: MONSON_VARCH.DWG

APPROVED:

PROJ. DIR. JANV

P-DELTA ENG, LLC
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37 STATE STREET, ANSONIA, CT 06401
TEL: 203-971-8995

PENDING MUNICIPAL APPROVAL

Village of Mamaroneck, NY

Item Title: 801 Jefferson Avenue

Item Summary: 801 JEFFERSON AVENUE - ADDITION
APPLICANT: MARK MUSTACATO - ARCHITECT
NOTE: ZBA APPROVAL GRANTED FOR REAR YARD SETBACK AND FAR

Fiscal Impact:

ATTACHMENTS:

<u>Description</u>	<u>Upload Date</u>	<u>Type</u>
801 Jefferson	9/20/2017	Presentation

GENERAL NOTES

ALL GENERAL CONSTRUCTION, ELECTRICAL, PLUMBING AND HEATING AND AIR CONDITIONING WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ALL APPLICABLE SECTIONS OF THE 2015 INTERNATIONAL RESIDENTIAL CODE, THE NEW YORK STATE 2016 UNIFORM CODE SUPPLEMENT, AND ALL CODES AND REGULATIONS OF THE VILLAGE OF MAMARONECK.

WORKMANSHIP SHALL BE FIRST CLASS IN EVERY RESPECT.

THE CONTRACTOR SHALL OBTAIN ALL CONSTRUCTION PERMITS AND INSPECTIONS AND APPROVALS AS REQUIRED. PERMIT FEES ARE TO BE PAID BY THE OWNER.

THE CONTRACTOR SHALL LAY OUT EACH STAGE OF THE WORK TO VERIFY ALL CONDITIONS AND DIMENSIONS AND SHALL NOTIFY THE ARCHITECT OF ANY SIGNIFICANT DISCREPANCIES, PRIOR TO BEGINNING SAID WORK.

THE CONTRACTOR SHALL PROTECT THE EXISTING STRUCTURE THROUGHOUT CONSTRUCTION AND SHALL NOTIFY THE ARCHITECT AND THE OWNER IMMEDIATELY UPON FINDING ANY STRUCTURAL DEFICIENCIES

THE ARCHITECT IS NOT RESPONSIBLE FOR THE PROTECTION OR CORRECTION OF CONCEALED PLUMBING, ELECTRICAL, OR HVAC COMPONENTS ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL EXAMINE ADJACENT AREAS EXPOSED DURING AND SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT AND OWNER OF SUCH COMPONENTS TO REVIEW CORRECTION AND/OR PROTECTION PRIOR TO CLOSING SUCH AREAS.

THE CONTRACTOR SHALL VISIT THE SITE AND BE FAMILIAR WITH THE EXISTING CONDITIONS PRIOR TO SUBMITTING THE BID.

MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER AND ACCEPTABLE CONSTRUCTION, INSTALLATION, OR OPERATION OF ANY PART OF THE WORK, SHALL BE INCLUDED IN THE WORK.

BUILDING SETBACKS ARE TO BE COMPUTED BY A STATE OF NEW YORK LICENSED SURVEYOR TO VERIFY CODE CONFORMANCE PRIOR TO BEGINNING ANY WORK. THE ARCHITECT HAS NO RESPONSIBILITY FOR THE ACCURACY OR CORRECTNESS OF SETBACKS.

MIN. SOIL BEARING CAPACITY: 2 TONS P.S.F.; IN COMPLIANCE WITH SECTION 401 AND TABLE 401.4.1 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE.

MINIMUM COMPRESSIVE STRENGTHS OF CONCRETE USED ARE TO BE IN COMPLIANCE WITH TABLE 402.2 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE AS FOLLOWS:
BASEMENT WALLS, FOUNDATION WALLS, FOOTINGS, INTERIOR SLABS ON GRADE (OTHER THAN GARAGE FLOOR SLAB), EXTERIOR AND OTHER WALLS EXPOSED TO THE WEATHER: 3000 PSI
PORCHES, AND STEPS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLAB: 3500 PSI.

ALL FOOTINGS MIN. 3'-6" BELOW GRADE OR TO SOLID ROCK.

CONNECT NEW LEADERS TO EXISTING SYSTEM.

PROVIDE WALL BRACING IN ACCORDANCE WITH SECTION R602.10 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE.

ALL FRAMING LUMBER TO BE DOUGLAS FIR #2.

ALL FRAMING LUMBER TO BE DOUGLAS FIR #2, PRE-ENGINEERED LUMBER TO BE BY TRUS-JOIST MC MILLAN, INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

DOUBLE JOISTS UNDER PARALLEL PARTITIONS.

DOUBLE END JOISTS DIRECTLY OVER SILLS RUNNING PARALLEL TO FLOOR SPANS.

PROVIDE 5/4" WOOD BRIDGING MAXIMUM 8 FT. O.C.

PROVIDE MIN. 2-2 x 4 POSTS UNDER EACH END OF HEADERS.

PROVIDE MIN. 2-2 x 10 HEADERS OVER OPENINGS IN BEARING WALLS 5'-0" OR LONGER.

ALL POSTS, BEAMS AND GIRDERS TO BE TAKEN TO SOLID FOUNDATION.

ALL WINDOWS TO BE ANDERSEN, WITH HIGH-PERFORMANCE LOW-E4 SUNSMART GLAZING.

PROVIDE TEMPERED GLAZING AT REQUIRED LOCATIONS AS PER SECTION R308 & R308.4 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE.

KITCHEN COOKTOP TO HAVE 150 C.F.M. EXHAUST FAN.

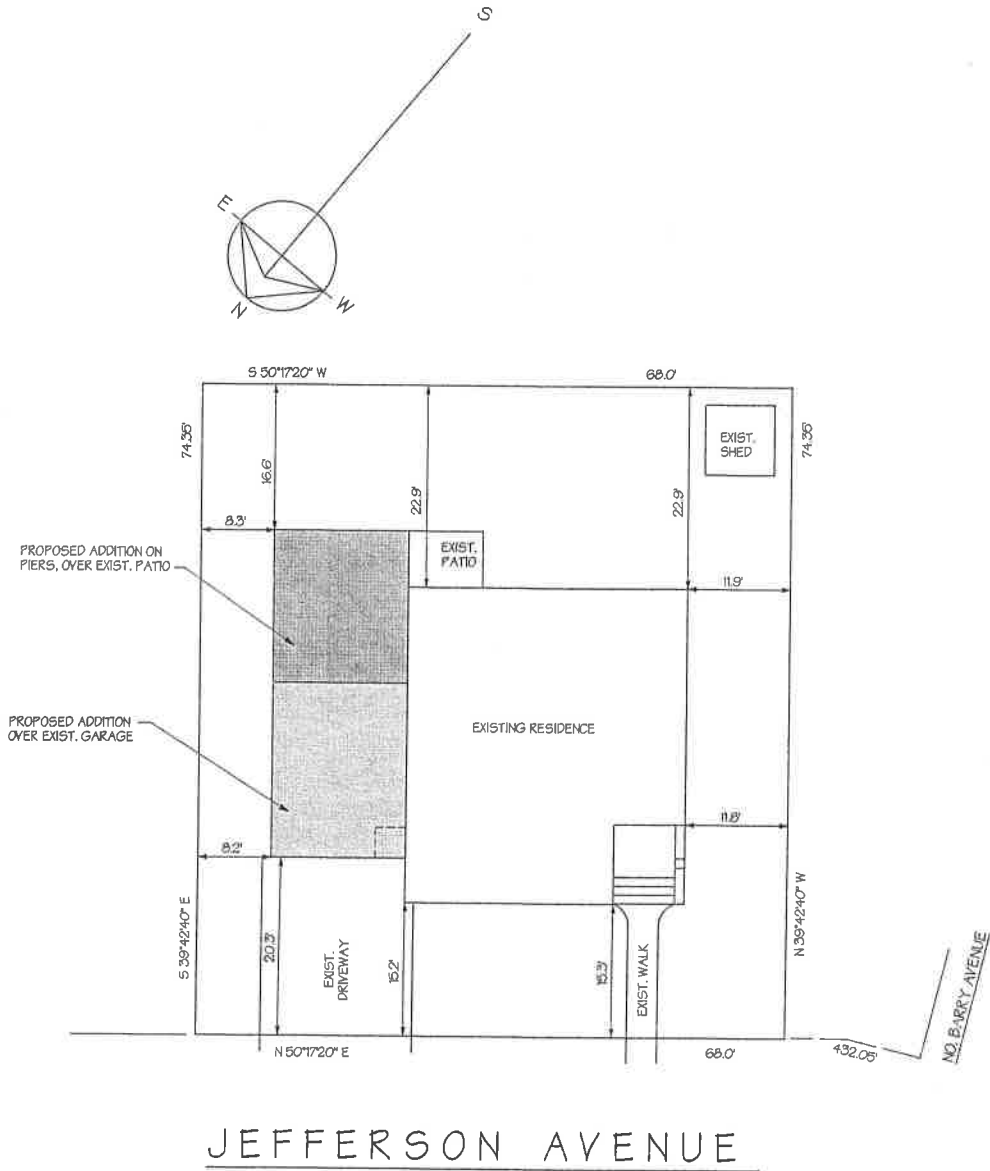
DRYWALL-1/2" AND 5/8" GYPSUM BOARD SHALL BE USED THROUGHOUT THE PROJECT AND FASTENED WITH DRYWALL SCREWS. DRYWALL SHALL BE TAPED WITH THREE COATS OF TAPING COMPOUND AND WHERE BUTT JOINTS ARE TAPED, IT SHALL BE FEATHERED OUT FOR TWO FEET.

PROVIDE FLASHING AT ALL ROOF/WALL JUNCTURES, ROOFING INTERSECTIONS, VALLEYS AS REQUIRED, CAPS AT FLAT/PITCHED ROOF INTERSECTIONS, CHIMNEYS, EXHAUST CAPS, GRILLES, STACKS, LEDGERS, WINDOW HEADS, DOORS AND ALL OTHER APPLICABLE AREAS AS PER GENERALLY ACCEPTED STANDARDS.

PROVIDE CAULKING AT ALL APPLICABLE AREAS AS PER GENERALLY ACCEPTED STANDARDS AND PRODUCT MANUFACTURER'S INSTALLATION SPECIFICATIONS.

REMOVE ALL DEBRIS DURING CONSTRUCTION AND AT THE COMPLETION OF THE PROJECT.

ZONING DATA:			
ZONE DISTRICT: R-5	REQUIRED	ACTUAL	PROPOSED
LOT AREA (SQ. FT.)	5000 MIN.	5055.8	5055.8
FLOOR AREA RATIO	0.5272 MAX.	0.43	0.54
LOT COVERAGE	35% MAX.	29%	34%
LOT WIDTH (FT.)	50 MIN.	68	68
LOT WIDTH (FT.)	100 MIN.	74.35	74.35
FRONT YARD (FT.)	20 MIN.	15.2	20.3
SIDE YARD (FT.), ONE SIDE	6 MIN.	8.2	8.2
SIDE YARD (FT.), TOTAL-TWO SIDES	14 MIN.	20	20
REAR YARD (FT.)	25 MIN.	22.9	16.6
BUILDING HEIGHT (FT.)	35 MAX.	20	20
BUILDING HEIGHT (STORIES)	2 1/2 MAX.	2	2



SITE PLAN

SCALE: 1" = 10'-0"

CLIMATIC & GEOGRAPHIC DESIGN CRITERIA									
SUBJECT TO DAMAGE FROM:									
GROUND-SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	WEATHERING CONCRETE	FROST LINE DEPTH	TERMITE	DECAY	WINTER DESIGN TEMP.	ICE SHEET UNDERLAYMENT REQUIRED	FLOOD HAZARDS
20 LBS. PSF	100/110	C	SEVERE	42"	MODERATE/HEAVY	SLIGHT/MODERATE	7°F	YES	(1) MAP NO. 3518CQ333F PANEL NO. 03533F EFF. DATE: 2/2/2007

DESIGN LOADS USED TO SAFELY SUPPORT ALL LOADS INCLUDING, DEAD LOADS, LIVE LOADS, ROOF LOADS, FLOOR LOADS, SNOW LOADS, WIND LOADS AND SEISMIC LOADS, ARE TO BE IN COMPLIANCE WITH SECTION R301.1 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE AND TABLE R301.2(1) AND FIGURE R301.2(5) OF THE 2016 NEW YORK STATE UNIFORM CODE SUPPLEMENT AS FOLLOWS:

DESIGN LOADS (PER SQ. FT.):

FLOORS: 40# LL/15# D.L.

INTERIOR WALLS: 12.5#

EXTERIOR WALLS: 15#

ATTIC: 20# LL/10# D.L.
(TO 4'-6" HEIGHT)
30# LL/15# D.L.
(4'-6" & HIGHER)

INSULATION & FENESTRATION REQUIREMENTS BY COMPONENT									
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH
4 REQUIRED	0.35	0.55	0.40	49	20	8/13	19	10/13	10, 2 FT.
PROVIDED	0.32	NA	0.23	49	21	NA	36	13	10, 2 FT.
COMPLIANCE	YES	NA	YES	YES	YES	NA	YES	YES	YES

THESE PLANS COMPLY WITH SECTION R402 OF THE 2015 INTERNATIONAL ENERGY CODE AND THE 2016 SUPPLEMENT TO THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE AS REVISED AUGUST 2016

MARK MUSTACATO, AIA
FREDERICK F. GRIPPI, AIA

REVISIONS:
5/14/17

PROPOSED ADDITION & ALTERATIONS
FOR Mr. & Mrs. A. MORGANTI
801 JEFFERSON AVENUE
SECTION: 4 BLOCK: 15A LOT: 5
VILLAGE OF MAMARONECK, NEW YORK

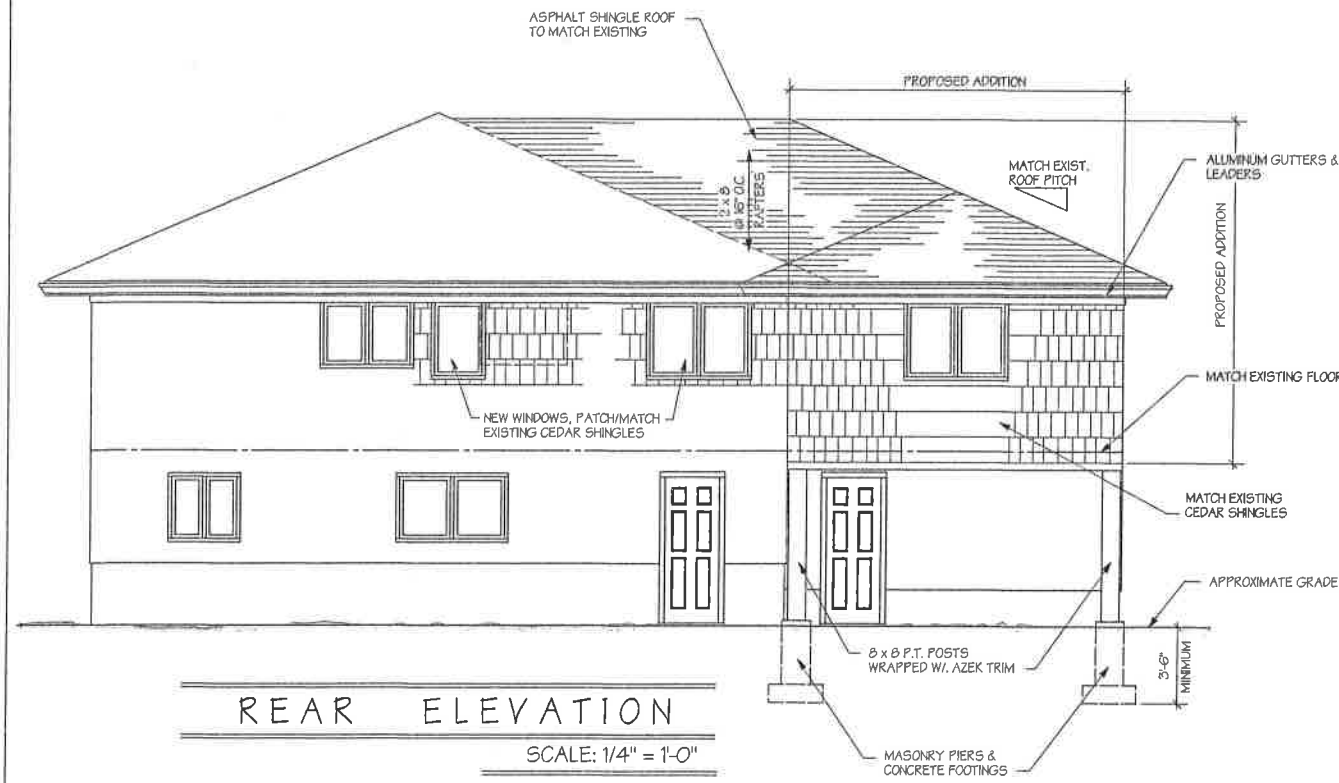
JOB #: 17-37

DATE: 5/26/17

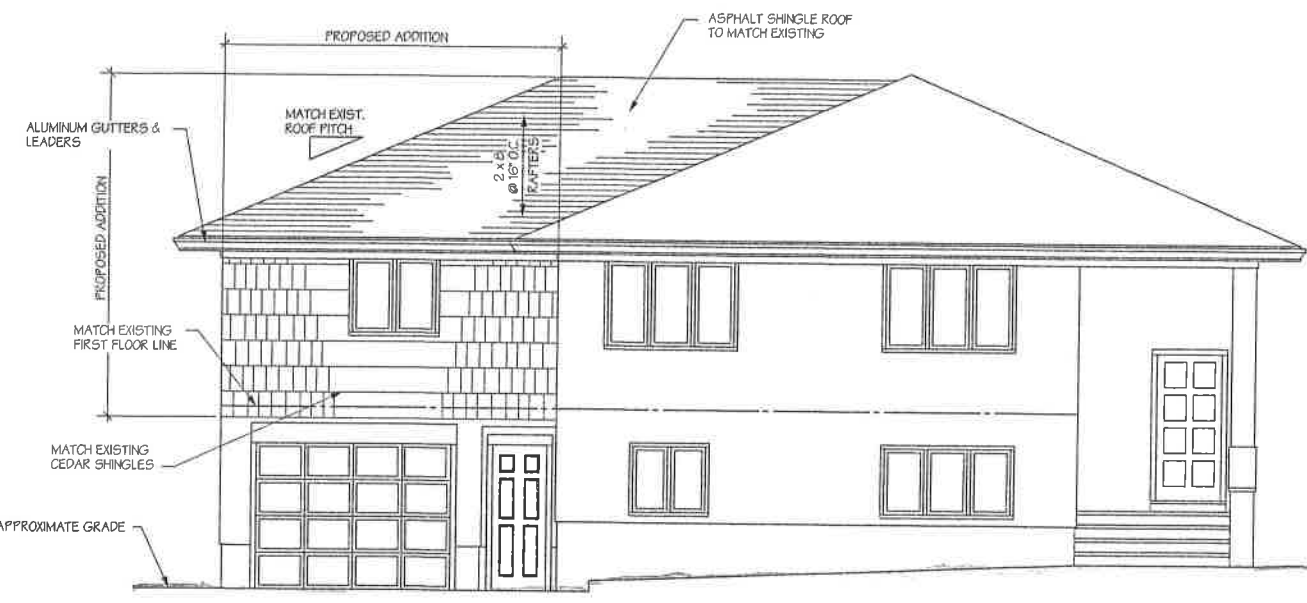
RICHAU MUSTACATO GRIPPI ASSOCIATES
350 Theodore Fremd Ave.
Rye, New York 10580
914-898-5589
www.rmgarchitects.com

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A-1



REAR ELEVATION
SCALE: 1/4" = 1'-0"

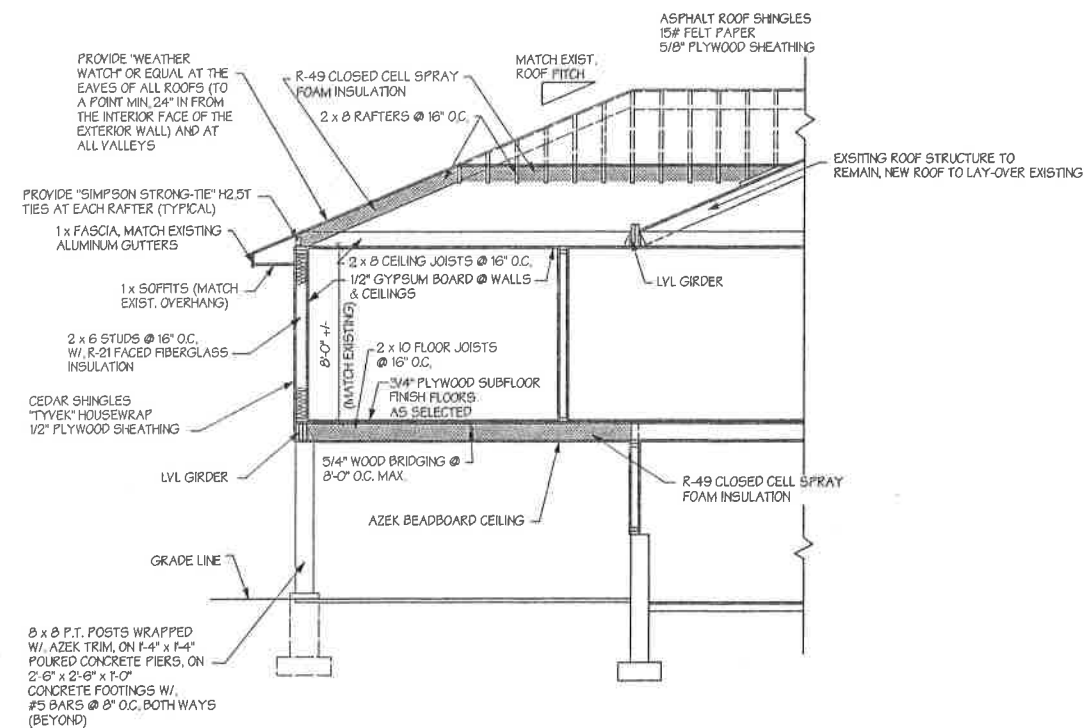


FRONT ELEVATION
SCALE: 1/4" = 1'-0"



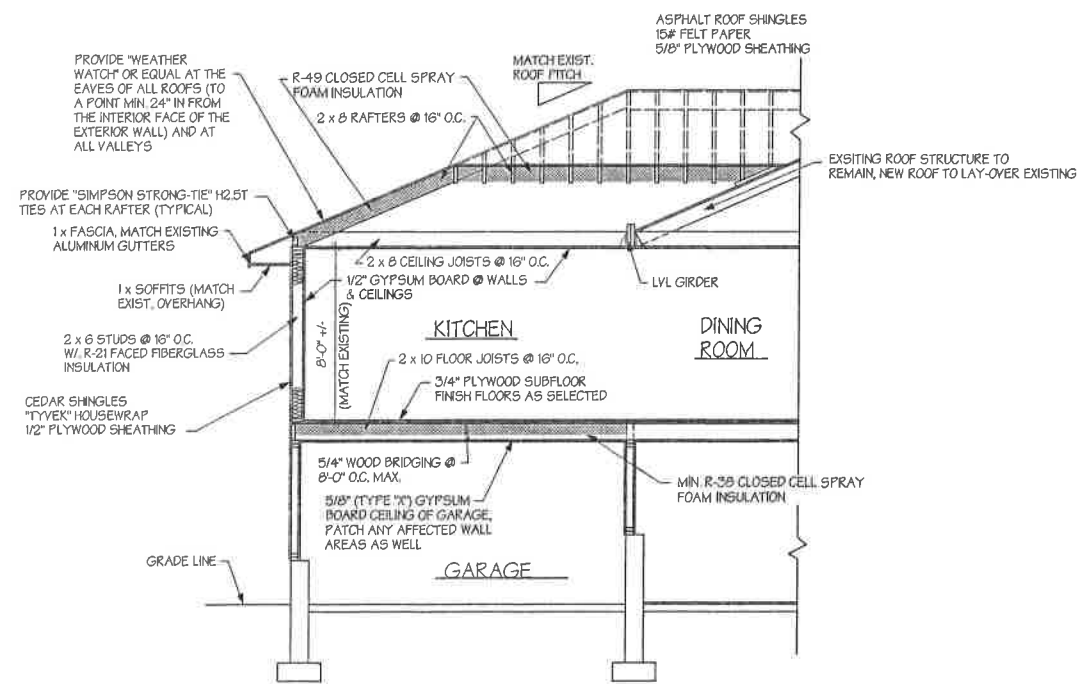
LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS: 9/11/17		A-2
PROPOSED ADDITION & ALTERATIONS FOR Mr. & Mrs. A. MORGANTI 801 JEFFERSON AVENUE SECTION: 4 BLOCK: 15A LOT: 5 VILLAGE OF MAMARONECK, NEW YORK		
JOB #: 17-37 DATE: 5/26/17		
RICHAU MUSTACATO GRIPPI ASSOCIATES ARCHITECTS www.rmgarchitects.com	350 Theodore Fremd Ave. Rye, New York 10580 914-698-5589	COPYRIGHT 2017 RICHAU MUSTACATO GRIPPI ASSOCIATES ALL RIGHTS RESERVED



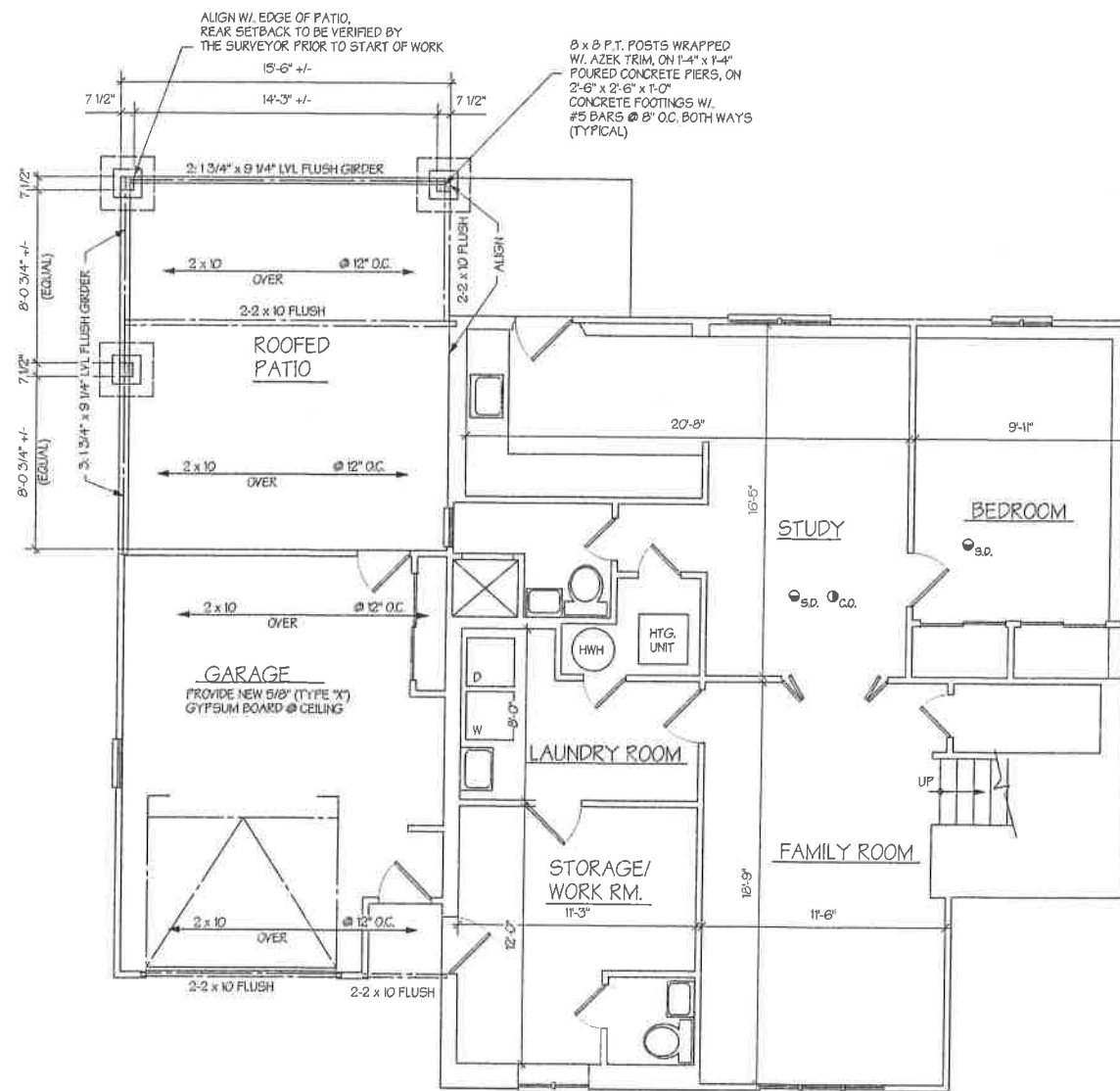
SECTION A at BEDROOM

SCALE: 1/4"=1'-0"



SECTION A at KITCHEN

SCALE: 1/4"=1'-0"



LOWER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

"PLUS OR MINUS" (+/-) DIMENSIONS ARE PROVIDED FOR REFERENCE ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION LAYOUT.

- S.D. DENOTES HARDWARE SMOKE ALARMS, INTERCONNECTED, W/ BATTERY BACK-UP, COMPLYING WITH SECTION R314.3.1 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE AND SECTION AJO2.1 OF THE 2016 NEW YORK STATE UNIFORM CODE SUPPLEMENT. LOCATIONS AS DENOTED ON PLANS (IN ALL SLEEPING ROOMS AND OUTSIDE ROOMS IN IMMEDIATE VICINITY OF SLEEPING ROOMS AND ON EACH LEVEL OF THE HOUSE)
- C.O. DENOTES HARDWARE CARBON MONOXIDE ALARMS, INTERCONNECTED, W/ BATTERY BACK-UP, COMPLYING WITH SECTION R315.2.2 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE AND SECTION AJO2.1 OF THE 2016 NEW YORK STATE UNIFORM CODE SUPPLEMENT. LOCATIONS AS DENOTED ON PLANS (ON EACH LEVEL WITH SLEEPING AREAS, IN THE VICINITY OF THE SLEEPING AREA AND ON ANY LEVEL THAT CONTAINS A CARBON MONOXIDE SOURCE).

REVISIONS:
9/14/17

PROPOSED ADDITION & ALTERATIONS
FOR Mr. & Mrs. A. MORGANTI
801 JEFFERSON AVENUE
SECTION: 4 BLOCK: 15A LOT: 5
VILLAGE OF MAMARONECK, NEW YORK

JOB #: 17-37

DATE: 5/26/17

RICHARD MUSTACATO
GRIPPI ASSOCIATES

350 Theodore Fremd Ave.
Rye, New York 10580

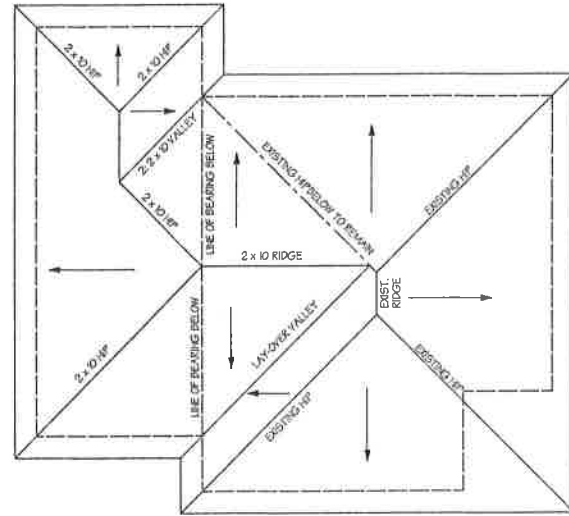
ARCHITECTS

914-698-5589

www.rmgarchitects.com

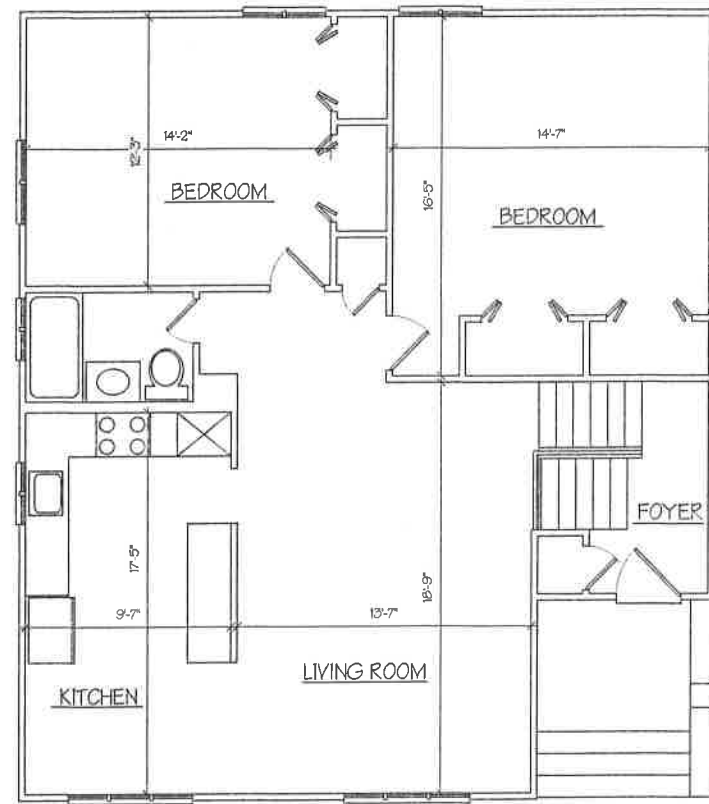
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A-3



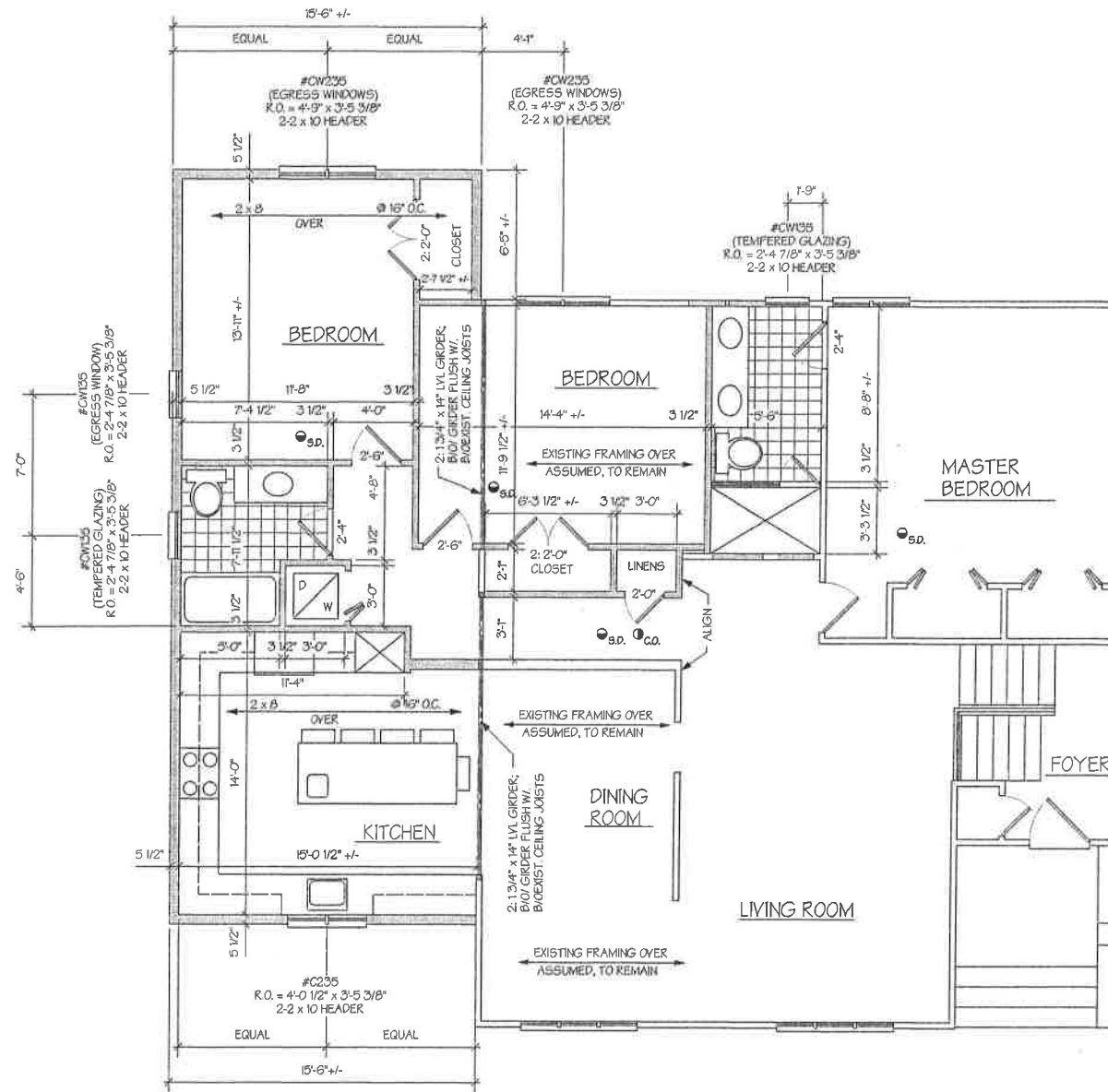
PROPOSED ROOF PLAN

SCALE: 1/8" = 1'-0"



EXISTING FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

"PLUS OR MINUS" (+/-) DIMENSIONS ARE PROVIDED FOR REFERENCE ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION LAYOUT.

LEGEND:

- DENOTES EXISTING WALLS, DOORS AND OTHER ARCHITECTURAL ELEMENTS TO REMAIN
- DENOTES NEW WALLS, DOORS AND OTHER ARCHITECTURAL ELEMENTS

- DENOTES HARDWIRE SMOKE ALARMS, INTERCONNECTED, W/ BATTERY BACK-UP, COMPLYING WITH SECTION R314.3.1 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE AND SECTION AJ802.1 OF THE 2016 NEW YORK STATE UNIFORM CODE SUPPLEMENT. LOCATIONS AS DENOTED ON PLANS (IN ALL SLEEPING ROOMS AND OUTSIDE ROOMS IN IMMEDIATE VICINITY OF SLEEPING ROOMS AND ON EACH LEVEL OF THE HOUSE)
- DENOTES HARDWIRE CARBON MONOXIDE ALARMS, INTERCONNECTED, W/ BATTERY BACK-UP, COMPLYING WITH SECTION R315.2.2 OF THE 2015 INTERNATIONAL RESIDENTIAL CODE AND SECTION AJ802.1 OF THE 2016 NEW YORK STATE UNIFORM CODE SUPPLEMENT. LOCATIONS AS DENOTED ON PLANS (ON EACH LEVEL WITH SLEEPING AREAS, IN THE VICINITY OF THE SLEEPING AREA AND ON ANY LEVEL THAT CONTAINS A CARBON MONOXIDE SOURCE).

REVISIONS:
9/14/17

PROPOSED ADDITION & ALTERATIONS
FOR Mr. & Mrs. A. MORGANTI
801 JEFFERSON AVENUE
SECTION: 4 BLOCK: 15A LOT: 5
VILLAGE OF MAMARONECK, NEW YORK

JOB #: 17-37

DATE: 5/26/17

RICHAU MUSTACATO
GRIPPI
ASSOCIATES
350 Theodore Fremd Ave.
Rye, New York 10580

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A-4

Village of Mamaroneck, NY

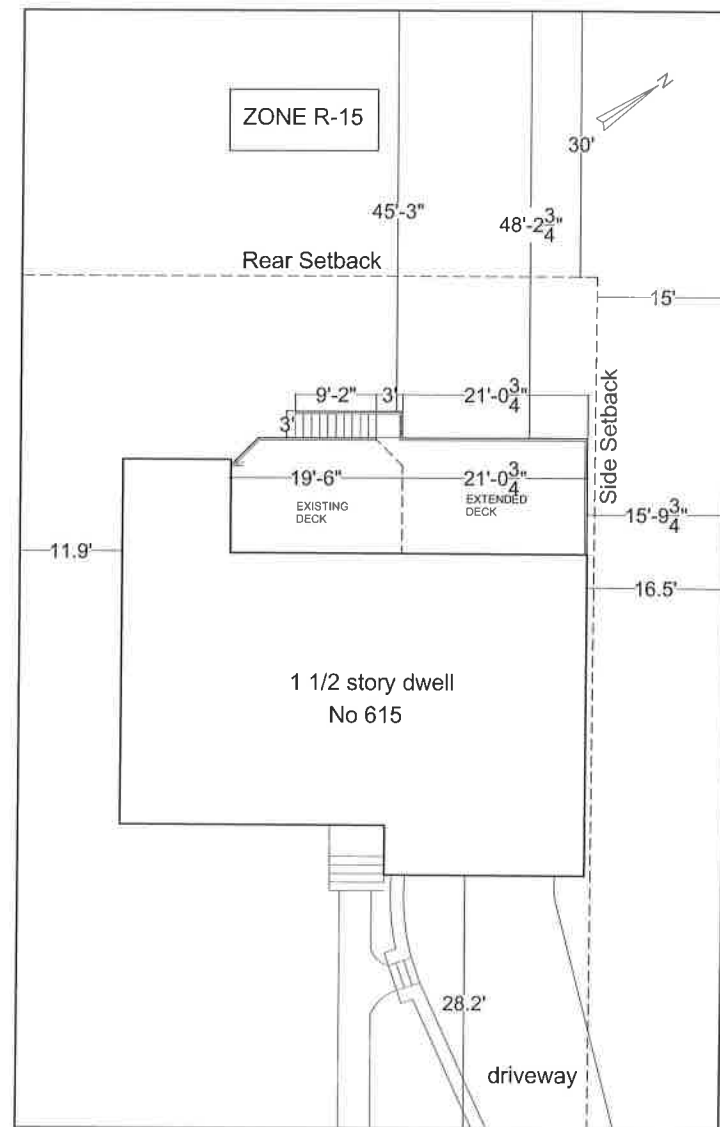
Item Title: 615 Sylvan Avenue

Item Summary: 615 SYLVAN AVENUE - DECK EXTENSION
APPLICANT: GAZDA CONSTRUCTION - CONTRACTOR

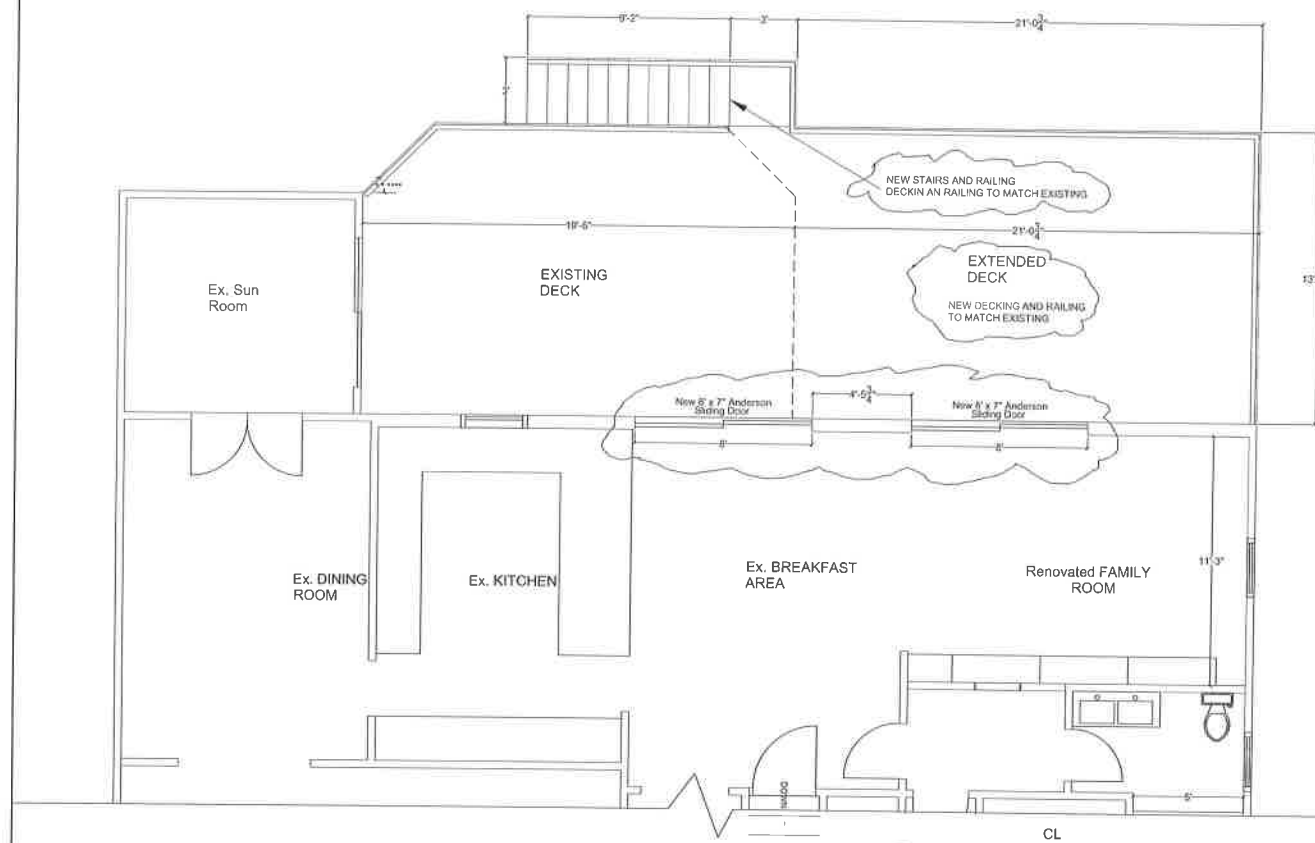
Fiscal Impact:

ATTACHMENTS:

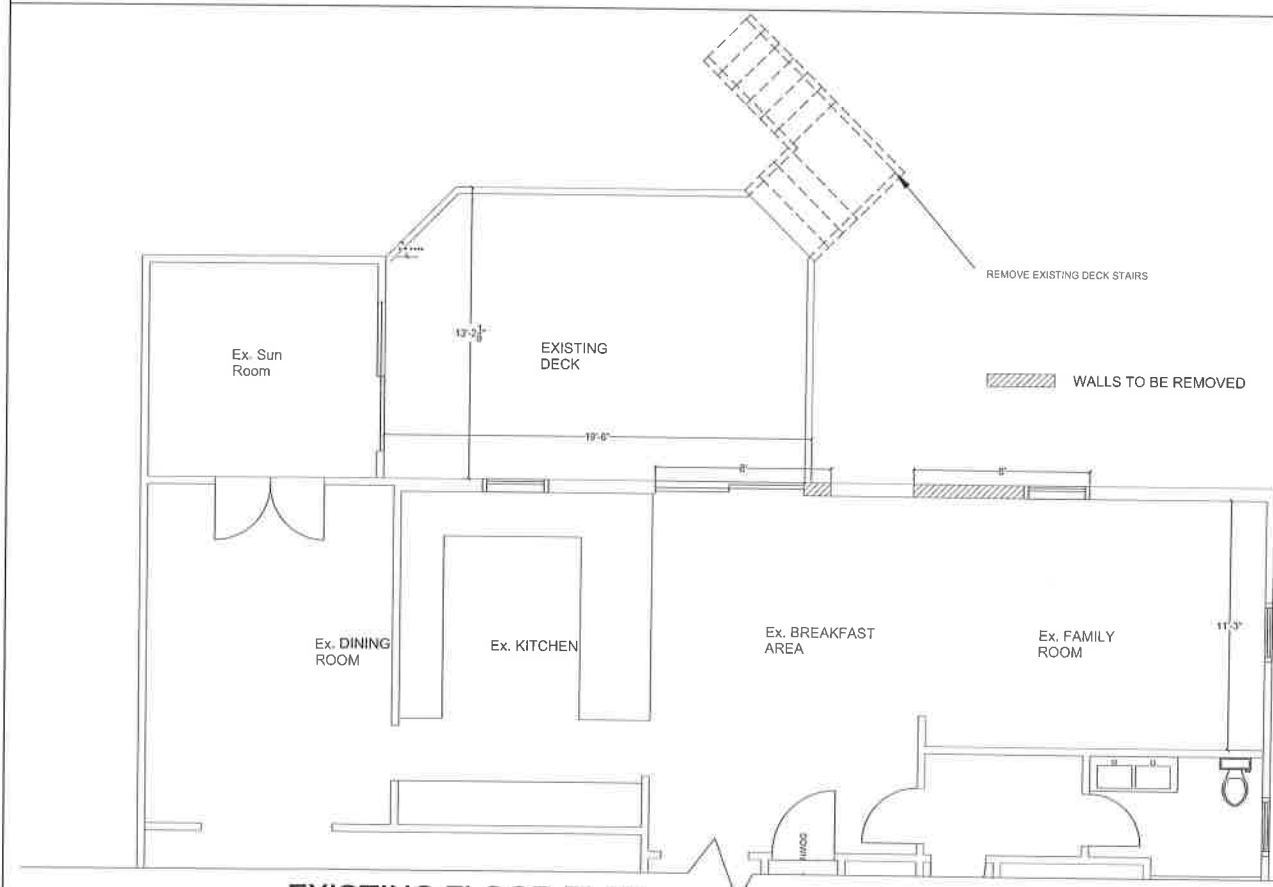
<u>Description</u>	<u>Upload Date</u>	<u>Type</u>
615 Sylvan	9/20/2017	Presentation



PROPOSED SIDE PLAN
SCALE 1" = 10'-0"



PROPOSED FLOOR PLAN
SCALE 1/4" = 1'-0"

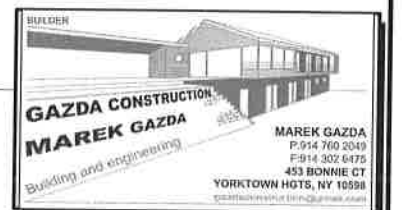


EXISTING FLOOR PLAN
SCALE 1/4" = 1'-0"

BAR SET

DECK EXTENSION MOTTE RESIDENCE

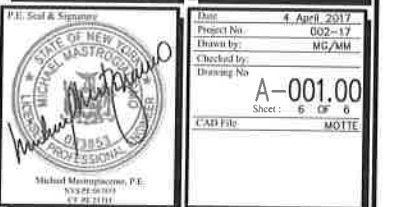
615 SYLVAN AVE.
MAMARONECK, NY 10543



PROJECT:
MOTTE RESIDENCE
615 SYLVAN AVE.
MAMARONECK, NY 10543

SITE AND FLOOR PLANS

REVISIONS	No.	Date	Description





EXISTING REAR ELEVATION
SCALE 1/4" = 1'-0"



EXISTING SIDE ELEVATION
SCALE 1/4" = 1'-0"



PROPOSED REAR ELEVATION
SCALE 1/4" = 1'-0"

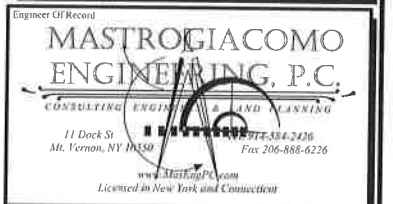
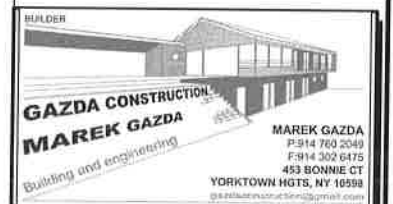


PROPOSED SIDE ELEVATION
SCALE 1/4" = 1'-0"

BAR SET

**DECK EXTENSION
MOTTE RESIDENCE**

615 SYLVAN AVE.
MAMARONECK, NY 10543



PROJECT:
MOTTE RESIDENCE
615 SYLVAN AVE.
MAMARONECK, NY 10543

Sheet Title:
ELEVATIONS

REVISIONS		
No.	Date	Description

P.E. Seal & Signature: [Seal of Michael Mastrogiacomo, P.E., State of New York, No. 02853]

Date: 4 April 2017
Project No: 002-17
Drawn by: MG/MM
Checked by: [Signature]
Drawing No: E-001.00
Sheet: 6 OF 6
CAD File: MOTTE

Village of Mamaroneck, NY

Item Title: 735 The Crescent

Item Summary: 735 THE CRESCENT - 2 STORY ADDITION OVER GARAGE AND NEW GARAGE
APPLICANT: GAZDA CONSTRUCTION - CONTRACTOR

Fiscal Impact:

ATTACHMENTS:

<u>Description</u>	<u>Upload Date</u>	<u>Type</u>
735 The Crescent	9/20/2017	Presentation

CONSTRUCTION NOTES AND SPECIFICATIONS

1 - GENERAL REQUIREMENTS

- ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND GOVERNMENTAL CODES, RULES & REGULATIONS. ALL WORK SHALL ALSO BE PERFORMED WITH THE HIGHEST DEGREE OF SKILL, QUALITY AND COMPLETENESS.
- ENGINEER IS NOT RESPONSIBLE FOR METHODS, MEANS OR SCHEDULING OF CONSTRUCTION ACTIVITIES AND/OR MUNICIPAL INSPECTIONS. THE GENERAL CONTRACTOR SHALL SUPPLY THE OWNER & ENGINEER WITH A CONSTRUCTION SCHEDULE OUTLINING THE DIFFERENT SEQUENCES OF WORK.
- THE GENERAL CONTRACTOR SHALL CAREFULLY EXAMINE THE JOB SITE TO FAMILIARIZE HIMSELF WITH THE EXISTING AND ACTUAL JOB CONDITIONS AND TO VERIFY SAME WITH THESE DRAWINGS AND TO CHECK FOR ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL INCLUDE ALL MATERIALS, LABOR, INCIDENTALS, ETC. FOR SATISFACTORY COMPLETION OF THE WORK. THE GENERAL CONTRACTOR SHALL PERFORM ALL WORK AND PROVIDE ALL REQUIRED LABOR, MATERIAL, ETC. FOR THE TOTAL COMPLETION OF THE PROJECT. THE INTENTION OF THESE DRAWINGS IS FOR A COMPLETE AND PROPER UNDERSTANDING OF THE ENTIRE PROJECT.
- EACH SUBCONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THEIR WORK WITH THE WORK OF ALL OTHER CONTRACTORS, IN ORDER TO PREVENT ANY INTERFERENCE BETWEEN PIPING, WIRING, LIGHTING, ETC.
- EACH SUBCONTRACTOR SHALL DO HIS OWN CUTTING AS REQUIRED BY HIS WORK. THE GENERAL CONTRACTOR SHALL PERFORM ALL PATCHING FOR CONSISTENCY.
- EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE STORAGE OF HIS MATERIAL, TOOLS, AND EQUIPMENT WITHIN THE DEMISED PREMISES.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES CLEAN AT ALL TIMES AND FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS IN A LEGAL MANNER.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SAFE, HAZARD FREE WORK ENVIRONMENT CONFORMING TO ALL RULES AND REGULATIONS.
- ALL SUBCONTRACTORS SHALL REPAIR OR REPLACE AT HIS OWN EXPENSE ANY WORK OR AREA DAMAGED TO ITS ORIGINAL CONDITION OR BETTER. THE GENERAL CONTRACTOR SHALL HAVE A MINIMUM OF ONE FIRE EXTINGUISHER ON THE JOB SITE AT ALL TIMES FOR ALL SUBCONTRACTORS USE.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL GUARANTEE THEIR WORK FOR A MINIMUM OF ONE YEAR FROM SUBSTANTIAL COMPLETION OF HIS WORK. SUCH GUARANTEE SHALL BE SUBMITTED IN WRITING TO THE CLIENT PRIOR TO RELEASE OF FINAL PAYMENT. IF STATE OR LOCAL REGULATIONS MANDATE LONGER TIME PERIODS, THE CONTRACTORS SHALL GUARANTEE THIS WORK FOR SUCH LONGER PERIOD.

2 - DEMOLITION :

- THE CONTRACTOR SHALL ASCERTAIN THAT THE AREA OF DEMOLITION HAS BEEN CLEARED OF ALL FURNITURE AND MOVABLE EQUIPMENT IN ORDER TO ALLOW FOR DEMOLITION TO PROCEED. THE CONTRACTOR SHALL NOTIFY THE CLIENT OF ANY SUCH CONDITIONS PREVENTING DEMOLITION TO START.
- DEMOLITION INCLUDES COMPLETE REMOVAL AND DISPOSAL OF ALL ITEMS FROM SITE. ALL CONSTRUCTION DEBRIS SHALL REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER IN ACCORDANCE WITH LOCAL REGULATIONS.
- THE GENERAL CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES FOR REQUIRED SERVICE SHUTDOWNS PRIOR TO COMMENCEMENT OF DEMOLITION WORK.
- THE GENERAL CONTRACTOR SHALL COORDINATE DISCONNECTING ALL WIRES FROM ELECTRICAL PANEL WITH ELECTRICAL CONTRACTOR PRIOR TO START OF DEMOLITION.
- THE GENERAL CONTRACTOR SHALL COORDINATE THE CUTTING AND CAPPING OF ALL WATER SUPPLY AND GAS SUPPLY LINES BACK TO METERS WITH PLUMBING CONTRACTOR PRIOR TO START OF DEMOLITION WORK.
- ALL ELECTRICAL HIGH OR LOW VOLTAGE CABLES, CONDUITS, WIRES, INSTRUMENTS AND EQUIPMENT SHALL BE REMOVED BACK TO PANEL BOARD. NO CIRCUITS, WIRES OR EQUIPMENT SHALL REMAIN LIVE OR OPEN.
- THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL NECESSARY SAFEGUARDS, BARRICADES, ETC., DURING DEMOLITION WORK TO PROTECT WORKERS AND PUBLIC FROM INJURY.
- THE GENERAL CONTRACTOR SHALL PROVIDE AND MAINTAIN NECESSARY COVERINGS AND BOARDING TO PROTECT THE REMAINDER OF THE PREMISES.
- THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL CONTRACTOR TO PROVIDE TEMPORARY CONSTRUCTION LIGHTS IN THE AREA OF WORK AND TO PROVIDE A TEMPORARY OUTLET PANEL ADJACENT TO THE ELECTRICAL PANEL FOR USE DURING CONSTRUCTION.

3 - CONCRETE

- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS AS PER ACI CODE AND SHALL HAVE A MINIMUM AGGREGATE SIZE OF 1/2" - 1" AND A SLUMP OF 4 1/2".
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL HAVING A MINIMUM BEARING CAPACITY OF 2 TONS PER SQ. FT.
- ALL REINFORCEMENT BARS SHALL BE GRADE 60, DEFORMED BARS AS PER ACI CODE.
- PROVIDE DOWELWALL REINFORCING EVERY OTHER COURSE OF BLOCK FOUNDATION WALL.
- GARAGE SLAB-ON-GRADE SHALL BE MINIMUM 4" THICK 1/2" 50% MIN. ON MINIMUM OF 6" CRUSHED STONE BASE WITH 6 MIL. VAPOR BARRIER BELOW.
- PROVIDE 1/2" DIA. ANCHOR BOLTS MINIMUM 2'-0" FROM CORNERS AND 4'-0" ON CENTER - ALL ANCHOR BOLTS TO BE MINIMUM 12" LONG.
- ALL LUMBER IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED LUMBER.
- ALL FOUNDATION TO BE MIN 6" ABOVE FINISH GRADE - MINIMUM 6" CLEARANCE SHALL BE MAINTAINED BETWEEN WOOD FRAME AND FINISH GRADE.

4 - CARPENTRY

- ALL STRUCTURAL LUMBER SHALL BE DOUGLAS FIR No 1, No.2, 75%-25% WITH A MINIMUM Fb=1200 PSI.
- STRUCTURE DESIGN FOR THE FOLLOWING LOADS :
 - FLOOR LOADING : 45 PSF LIVE LOAD & 10 PSF DEAD LOAD
 - ROOF LOADING : 40 PSF SNOW LOAD & 10 PSF DEAD LOAD
- FLITCH BEAMS SHALL HAVE A MINIMUM Fb= 15,000 PSI, E=11.4 WITH 1/2" DIA. BOLTS LOCATED NO CLOSER THAN 2" FROM ANY EDGE.
- ALL BOLTS SHALL BE HIGH STRENGTH MACHINE BOLTS WITH STANDARD MALLEABLE IRON WASHERS OR STEEL PLATE WASHERS. CARRIAGE BOLTS ARE NOT ACCEPTABLE.
- STEEL PLATE WASHER SIZES SHALL BE AS FOLLOWS :
 - 1/2" AND 3/4" DIAMETER BOLTS - 2 1/2" SQR. X 3/4"
 - 3/4" DIAMETER BOLTS - 2 3/4" SQR. X 3/4"
- EACH BOLT SHALL BE DRILLED 1/4" LARGER THAN THE DIAMETER OF THE BOLT.
- LAG BOLTS SHALL BE STRUCTURAL GRADE.
- WASHERS SHALL BE PLACED UNDER THE HEAD OF THE LAG BOLTS BEARING ON WOOD. LENGTH OF THE LAG BOLTS SHALL BE A MINIMUM OF 3/5 THE DEPTH OF MEMBERS BEING BOLTED TOGETHER.
- DOUBLE ALL JOISTS UNDER PARALLEL PARTITIONS.
- PROVIDE CROSS BLOCKING AT MIDSPAN OF JOISTS OR 8'-0" ON CENTER, WHICHEVER IS LESS. NO METAL BRIDGING.
- ALL INTERIOR PLYWOOD SHALL BE DOUGLAS FIR OR EQUAL. ALL EXTERIOR PLYWOOD SHALL BE CDX EXTERIOR GRADE PLYWOOD. IT SHALL BE MANUFACTURED AND GRADED IN ACCORDANCE WITH U.S. PRODUCT STANDARDS PS 1-83 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD.
- PLYWOOD SIZES SHALL BE AS FOLLOWS :
 - INTERIOR FLOORS = 3/4" PLYWOOD T&G
 - EXTERIOR WALLS = 1/2" CDX PLYWOOD (EXTERIOR GRADE)
 - ROOF SHEATHING = 5/8" CDX PLYWOOD (EXTERIOR GRADE)
- THE FACE GRAIN OF THE PLYWOOD SHALL BE LAD AT RIGHT ANGLES TO THE JOISTS AND PARALLEL TO THE STUDS AND SHALL BE GLED AND SCREWED AS PER CODE.

- WOOD JOIST HANGERS TO BE SIMPSON TYPE LUS28 (single joists) AND TYPE HUS412 (double joists) - THE PROPER HEIGHT OF HANGERS SHOULD BE SELECTED BASED ON HEIGHT OF WOOD JOIST.
- ALL 1-JOIST HANGERS TO BE SIMPSON TYPE LBV - THE PROPER HEIGHT OF HANGERS SHOULD BE SELECTED BASED ON HEIGHT OF 1-JOIST IT IS RECEIVING.
- PROVIDE HURRICANE TIES ON ALL ROOF RAFTERS (BY SIMPSON OR EQUAL).
- IF SPECIALTY HANGERS OR LAMINATED BEAM CONNECTORS ARE REQUIRED REFER TO THE STRUCTURAL DRAWINGS FOR SPECIFICATION OR CONTACT ENGINEER OF RECORD FOR SPECIFICATIONS.
- PROVIDE SOLID BLOCKING BETWEEN FLOOR JOISTS UNDER ALL LOAD BEARING WALLS.
- ALL MULTIPLE MEMBER BEAMS SHELL BE BOLTED WITH 1/2" THRU BOLTS, 16" o.c. STAGGERED, NO CLOSER THAN 2" TO ANY EDGE - SELECT LENGTH OF BOLTS BASED ON NUMBER OF BEAM MEMBERS.
- ALL 1-joists TO BE TRUS JOISTS - SEE MANUFACTURERS DETAILS FOR PROPER INSTALLATION, NOTCHING AND BRIDGING.

5 - INSULATION

- PROVIDE ICYNENE LD-C-50 OPEN CELL SPRAY FOAM INSULATION FOR ALL NEW AND RENOVATED AREAS.
- THE GENERAL CONTRACTOR SHELL VERIFY WITH INSULATION CONTRACTOR AND HVAC CONTRACTOR AND SUBMIT TO THE BUILDING DEPARTMENT CENTRAL AIR SYSTEM SPECIFICATIONS SHOWING ADEQUATE AIR EXCHANGE AND AIR QUALITY FOR THE HABITABLE AREAS IN THE HOUSE.
- INSULATION SCHEDULE :
 - FLOORS = R-30 OPEN CELL FOAM 8" DEEP
 - WALLS = R-20 OPEN CELL FOAM 5" DEEP
 - CEILINGS = R-49 TOTAL COMBINED VALUE (R-38 if not compressed over exterior wall).

6 - FINISHES :

- ALL GYPSUM WALLBOARD SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF LOCAL, STATE AND GOVERNMENTAL CODES, RULES AND REGULATIONS.
- ALL INTERIOR WALLS SHALL RECEIVE ONE LAYER 1/2" TCYPSUM BOARD. ALL WALLS AND CEILINGS IN GARAGE/MECHANICAL AREAS SHALL RECEIVE ONE LAYERS OF 5/8" TYPE "X" FIRE CODE GYPSUM BOARD. ALL WALLS IN BATHROOMS SHALL RECEIVE 1/2" MOISTURE RESISTANT BOARD AND 1/2" WONDER BOARD IN ALL SHOWERS AND AREAS TO BE TILED AS PER CODE.
- ALL EDGES AND CORNERS OF PARTITIONS SHALL RECEIVE METAL CORNER BEADS PRIOR TO TAPING AND SPACKLING.
- ALL GYPSUM BOARD WALLS AND CEILINGS SHALL BE TAPED AND SAVED WITH A MINIMUM OF 3 COATS OF SPACKLE AND PREPARED TO RECEIVE FINISH.
- INSTALL TILE & WOOD FLOORING AS DIRECTED BY MANUFACTURER'S SPECIFICATIONS. PROPERLY MATCH SEAMS SO THEY ARE NOT VISIBLE.
- INSTALL ALL INTERIOR DOORS & TRIM AS SELECTED BY OWNER.

7 - HVAC

- ALL WORK SHALL BE IN FULL ACCORDANCE WITH ALL CURRENT CODES AND REGULATIONS OF THE GOVERNING AGENCIES HAVING JURISDICTION.
- HVAC CONTRACTOR SHALL PROVIDE GENERAL CONTRACTOR WITH SPECIFICATIONS FOR ALL DUCT WORK AND EQUIPMENT NEEDED FOR PROPER AIR QUALITY AND VENTILATION IN ALL HABITABLE AREAS IN THE HOUSE. GENERAL CONTRACTOR SHELL SUBMIT THESE SPECIFICATIONS TO THE BUILDING DEPARTMENT PRIOR TO COMMENCEMENT OF HVAC WORK.
- MECHANICAL SUBCONTRACTOR TO VERIFY DUCT LAYOUT, UNIT SIZE, UNIT LOCATIONS, DUCT SIZES, ETC. PRIOR TO COMMENCEMENT OF ALL WORK.
- ALL WORK SHALL BE DONE IN A NEAT AND WORKMANLIKE MANNER AND SO AS TO NOT INTERFERE WITH THAT PORTION OF WORK PERFORMED BY OTHERS.
- HVAC CONTRACTOR SHALL SUPPLY ALL MATERIAL, LABOR, EQUIPMENT, ETC. TO FULLY INSTALL ALL HVAC DEVICES, DUCT WORK, ETC. WHETHER OR NOT INDICATED ON THESE DRAWINGS FOR FULLY FUNCTIONAL HVAC SYSTEM.
- THE NEW AND REPLACED HVAC SYSTEMS WILL BE MULTIPLE HYDRO-AIR UNITS WITH ADEQUATE AC CONDENSERS MIN 15 SEER. LOCATION OF HVAC EQUIPMENT SHALL COMPLY WITH NYS CODE AND ZONING REQUIREMENTS. IF REQUIRED, THE FINAL LOCATION OF AC UNITS SHALL BE INDICATED ON PROPERTY SURVEY AND SUBMITTED TO THE BUILDING DEPARTMENT.

8 - PLUMBING

- ALL WORK SHALL BE IN FULL ACCORDANCE WITH ALL CURRENT CODES AND REGULATIONS OF ALL GOVERNING AGENCIES.
- PLUMBING CONTRACTOR SHALL VERIFY ALL WORK INDICATED ON DRAWINGS AND NOTIFY OF ANY DISCREPANCIES AND/OR CHANGES TO BE MADE.
- WATER MAIN, GAS MAIN AND SEWER MAIN LINES WILL REMAIN EXISTING.
- THE NEW (UPGRADED) BOILER AND HOT WATER HEATER SHALL BE SIZED ACCORDINGLY AND FINAL SPECIFICATIONS WILL BE APPROVED BY GENERAL CONTRACTOR PRIOR TO INSTALLATION.
- PLUMBING CONTRACTOR TO PROVIDE NEW HOT AND COLD WATER SUPPLIES TO ALL NEW FIXTURES AND HOOK UP ALL FIXTURES. ALL PLUMBING FOR EXISTING FIXTURES IN RENOVATED AREAS WILL BE UPGRADED AS NEEDED.

9 - STRUCTURAL STEEL

- ALL STRUCTURAL STEEL BEAMS, POST AND PLATES SHALL BE FABRICATED AND INSTALLED AS PER STRUCTURAL DRAWINGS AND SPECIFICATIONS.
- FLITCH BEAMS SHALL HAVE A MINIMUM Fb= 15,000 PSI, E=11.4 WITH 1/2" DIA. BOLTS LOCATED NO CLOSER THAN 2" FROM ANY EDGE.
- ALL BOLTS SHALL BE HIGH STRENGTH MACHINE BOLTS WITH STANDARD MALLEABLE IRON WASHERS OR STEEL PLATE WASHERS. CARRIAGE BOLTS ARE NOT ACCEPTABLE.
- STEEL PLATE WASHER SIZES SHALL BE AS FOLLOWS :
 - 1/2" AND 3/4" DIAMETER BOLTS - 2 1/2" SQR. X 3/4"
 - 3/4" DIAMETER BOLTS - 2 3/4" SQR. X 3/4"
- EACH BOLT SHALL BE DRILLED 1/4" LARGER THAN THE DIAMETER OF THE BOLT.



GROUND SNOW LOAD ¹	WIND SPEED ⁴ (mph)	SEISMIC DESIGN CATEGORY ⁴	SUBJECT TO DAMAGE FROM			ICE BARRIER UNDERLAYMENT REQUIRED ⁷	FLOOD HAZARDS ¹
			Weathering ⁴	Frost Line Depth ⁵	Termite ⁶		
20	110	C	Severe	3'-6"	Moderate To Heavy	Yes	(a.) 7/09/1980 (b.) 4/11/2000 (c.) 9/25/2007 for FIRM map dated 9/28/2007

10 - ELECTRICAL

- ALL WORK SHALL BE IN FULL ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, ALL CURRENT CODES AND SHALL COMPLY WITH REQUIREMENTS OF THE SERVING POWER AND TELEPHONE COMPANIES.
- ALL ELECTRICAL WORK SHALL BE CONFINED TO THE SPACE AND LOCATION ALLOWED FOR IT AND SHALL BE IN STRICT CONFORMANCE TO THE NATIONAL CODE.
- ALL WIRING FOR KITCHEN AND DINING ROOM AREAS TO BE 12 GAUGE, PROVIDE DEDICATED CIRCUITS FOR ALL KITCHEN APPLIANCES, PROVIDE GFI PROTECTED RECEPTACLES FOR ALL KITCHEN COUNTER AREAS (ALL RECEPTACLES TO BE TEMPERED RESISTANT).
- PROVIDE GFI PROTECTED RECEPTACLES IN ALL BATHROOM SINK AREAS (12 GAUGE WIRING REQUIRED), PROVIDE WATER RESISTANT LIGHT FIXTURES IN ALL SHOWER AND WET AREAS.
- PROVIDE ONE WATER RESISTANT GFI RECEPTACLE FOR EACH OUTDOOR AREA AND ALL WATER RESISTANT LIGHTING FIXTURES FOR ALL OUTDOOR LOCATIONS.
- PROVIDE DEDICATED CIRCUIT WIRING FOR ALL BEDROOMS AS REQUIRED BY CODE.
- PROVIDE ALL ELECTRICAL RECEPTACLES IN ALL ROOMS AS REQUIRED BY CODE - MAINTAIN DISTANCE BETWEEN RECEPTACLES AND WIRING TYPES AS PER CODE (ALL RECEPTACLES TO BE TEMPERED RESISTANT).
- ALL EQUIPMENT INSTALLED OUTDOOR AND EXPOSED TO WEATHER SHALL BE WATERPROOFED.
- ELECTRICAL CONTRACTOR SHALL HOOK UP ALL EQUIPMENT AS REQUIRED.
- PROVIDE SMOKE AND CARBON MONOXIDE DETECTORS AS PER CODE, ALL DETECTORS TO BE HARDWIRED, INTERCONNECTED AND WITH BATTERY BACK-UP AND LOCATED AS FOLLOWS: SMOKE DETECTORS IN ALL BEDROOMS, HALLWAYS (ONE AT EACH LEVEL); CARBON MONOXIDE DETECTORS ON EACH LEVEL: HEAT DETECTOR IN BOILER ROOM AND GARAGE. SEE ATTACHED FLOOR PLANS WITH SMOKE AND CARBON MONOXIDE LOCATIONS.
- ALL CLOSET LIGHTS TO BE CLOSED APPROVED FIXTURES.
- PROVIDE ADEQUATE LIGHTING AT EACH EXT. DOOR AS REQUIRED BY CODE.
- FOR APPROXIMATE LOCATION OF ELECTRICAL FIXTURES AND DEVICES SEE ELECTRICAL PLAN EL-1 AND EL-2 - FINAL ADJUSTMENTS WILL BE MADE AS REQUIRED (ALL CHANGES SHELL COMPLY WITH THE NYS ELECTRICAL CODE).

11-ROOFING

- ALL WORK SHALL BE PROVIDED IN PROFESSIONAL AND TIMELY MANNER.
- THE ROOFING SUBCONTRACTOR IS RESPONSIBLE FOR TEMPORARY WATER PROOFING OF ALL EXISTING HOUSE ROOFS AND AREAS WHILE PROVIDING ROOFING WORK AND CONNECTIONS BETWEEN OLD AND NEW ROOFS AS REQUIRED.
- PROVIDE ICE AND WATER SHIELD ON ALL ROOF SURFACES AND ALL CONNECTION AREAS OF ROOFS. PROVIDE DOUBLE LAYER OF 36" ICE AND WATER SHIELD IN ALL VALLEYS.
- PROVIDE ALUMINUM FLASHING ON ALL ROOF EDGES COPPER FLASHING FOR ALL CHIMNEYS AND CRICKETS (IF NEEDED).
- PROVIDE ICE AND WATER SHIELD AND FLASHING ON ALL WALL AND ROOF INTERSECTIONS
- NEW ROOF TO BE EPDM ROOFING MEMBRANE ON ALL FLAT ROOFS INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS, AND ARCHITECTURAL ASPHALT SHINGLE ON ALL SLOPING ROOFS.
- ALL GUTTERS TO BE ALUMINUM 6" AND DOWNSPOUTS TO BE SIZED AS REQUIRED - TYPICAL (DOWNSPOUT LOCATION TO BE DETERMINED IN FIELD).

11 - BATHROOM CONSTRUCTION NOTES

- Provide pipe insulation for all water lines located in exterior walls (all wall insulation to be placed between pipes and exterior wall sheeting to prevent freezing).
- Provide cement board for all shower walls and moisture resistant 1/2" sheetrock for all walls and ceilings in all bathrooms. Provide cement board layer for all bathroom floors under tiles (over 2" subfloor).
- All boring to be done as per the RCNYS. Provide nail plates and fire blocking as per code.
- Provide exhaust fans vented to outside for all bathrooms (sized as required).

ENERGY CODE COMPLIANCE

BASED ON 6,750 HEATING DEGREE DAYS IN CLIMATE ZONE 4 FROM 402.1 (1) & (2) FROM ENERGY CONSERVATION CONSTRUCTION CODE OF NYS from August 2010

SUBSYSTEM	MAX. U value	MIN. R value	PROPOSED
FENESTRATION	Ug = .32		
SYLIGHT	Ug = .60		
CEILING	Ug = .32	R= 49 (38-not compressed over exterior wall) (30 cathedral 500sf or 20%)	
WOOD FRAME WALL	Uo = .082	R= 20 or R=15+3 continues	
FLOOR	Uf = .047	R= 30	
CRAWL SPACE WALL	Uf = .065	R= 15 continues	
SLAB VALUE/DEPTH		R= 10/2FT	

- PROVIDE ICYNENE LD-C-50 OPEN CELL SPRAY FOAM INSULATION.
- THE GENERAL CONTRACTOR SHELL VERIFY WITH INSULATION CONTRACTOR AND SUBMIT TO THE BUILDING DEPARTMENT CERTIFICATION FROM INSULATION CONTRACTOR SHOWING ALL R VALUES IN COMPLIANCE WITH THE MIN R - VALUES REQUIRED.

BAR SET

Project

PROPOSED RENOVATION AND ADDITION:

PREPARED BY

COASTLINE MODERN HOUSES

SITUATED AT

Mr&Mrs CRINER

735 THE CRESCENT

MAMARONECK, NY 10543

BUILDER
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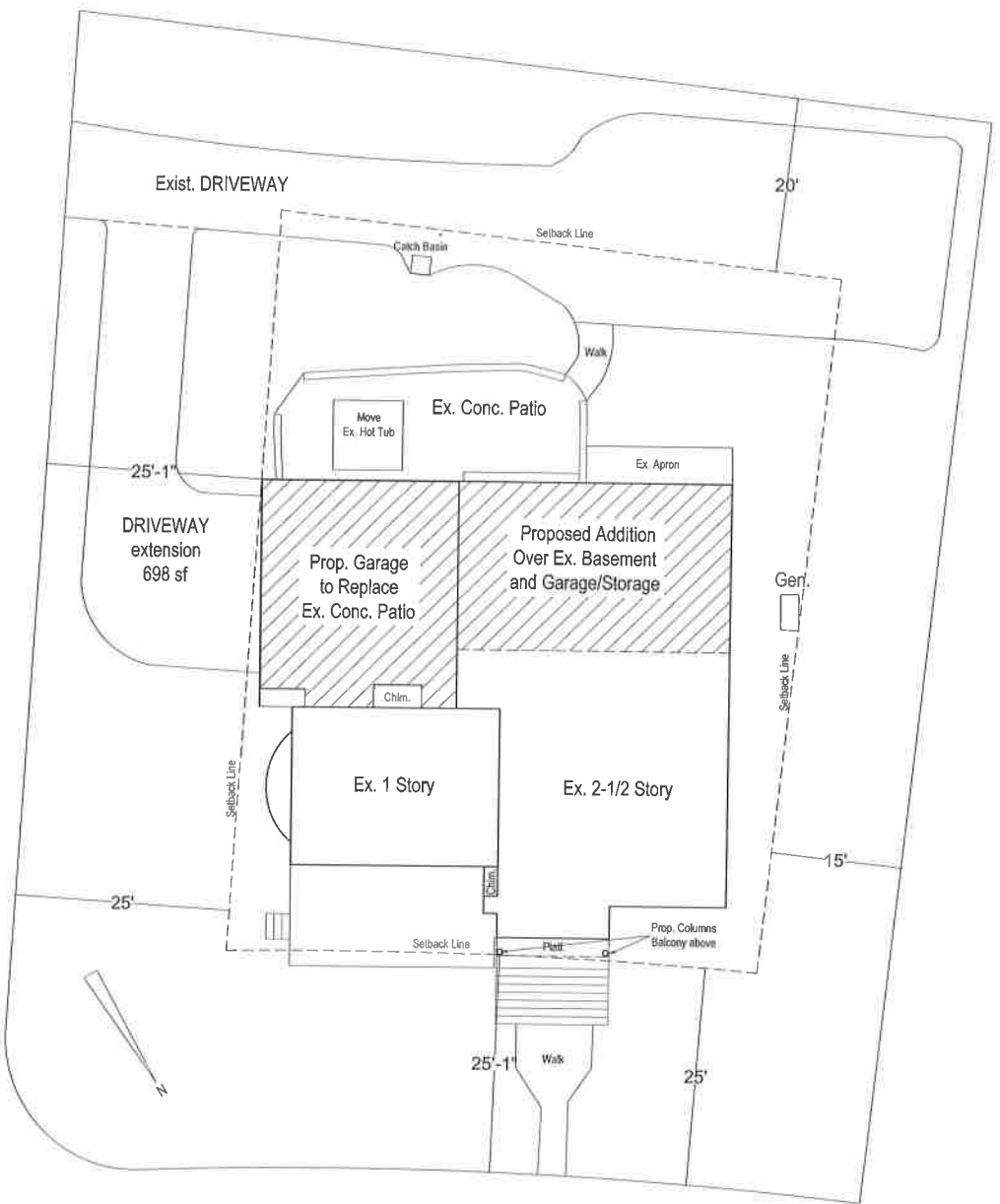
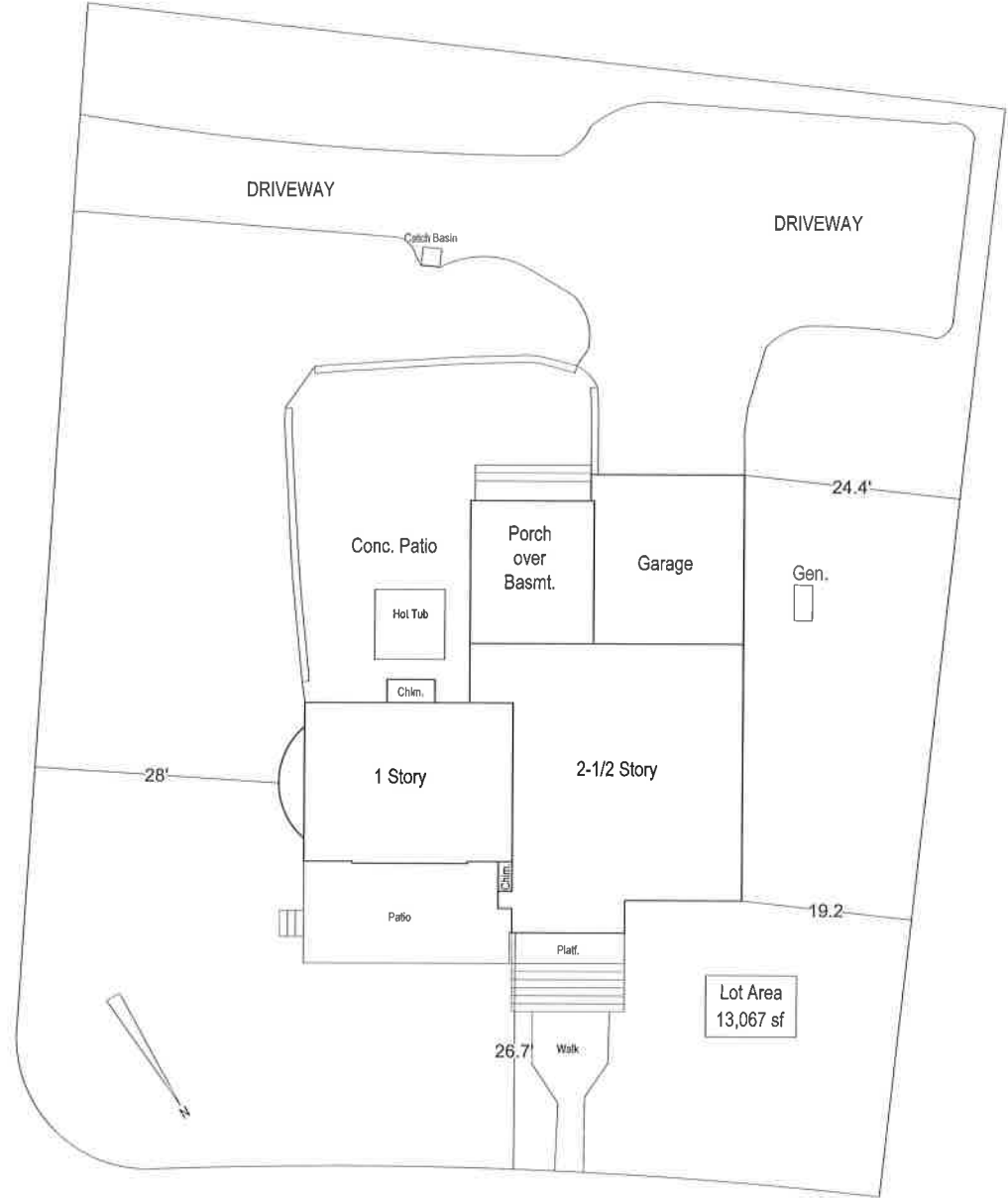
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SWISS CONTEMPORARY DESIGN
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Project
PROJECT:
Mr&Mrs CRINER
735 THE CRESCENT
MAMARONECK, NY 10543
Sheet Title
GENERAL NOTES/TITLE PAGE

REVISIONS
No. Date Description
1. 09/17/17
2. 10/11/17
3. 11/11/17
4. 12/11/17
5. 01/11/18
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BAR SET



ZONING ANALYSIS			
VILAGE OF MAMARONECK, WESTCHESTER, NY			
ZONE: R1-15, SECTION-9, BLOCK-85, LOT-14, LOT SIZE 13,067 SF			
ITEAM	REQUIRED	EXISTING	PROPOSED
SETBACKS			
FRONT	25'	28'	25.1'
ONE SIDE	15'	no change	no change
TWO SIDES COMBINED	35'	no change	no change
REAR	30'	no change	no change
LOT COVERAGE	35%	27%	21.7%
TOTAL	MAX ALLOWED 4,573 SF	3,434	no change
FLOOR AREA RATIO	35%	20%	28%
1ST AND 2ND FLOOR		2,257	3,141
GARAGE		326	548
		0	0
		0	0
TOTAL	MAX. ALLOWED 4,573 SF	2,583	3,689

BUILDER

GAZDA CONSTRUCTION
MAREK GAZDA
Building and engineering

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Architectural design

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Engineer Of Record

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Project

Mr&Mrs CRINER
735 THE CRESCENT
MAMARONECK, NY 10543

Site Title

SITE PLAN

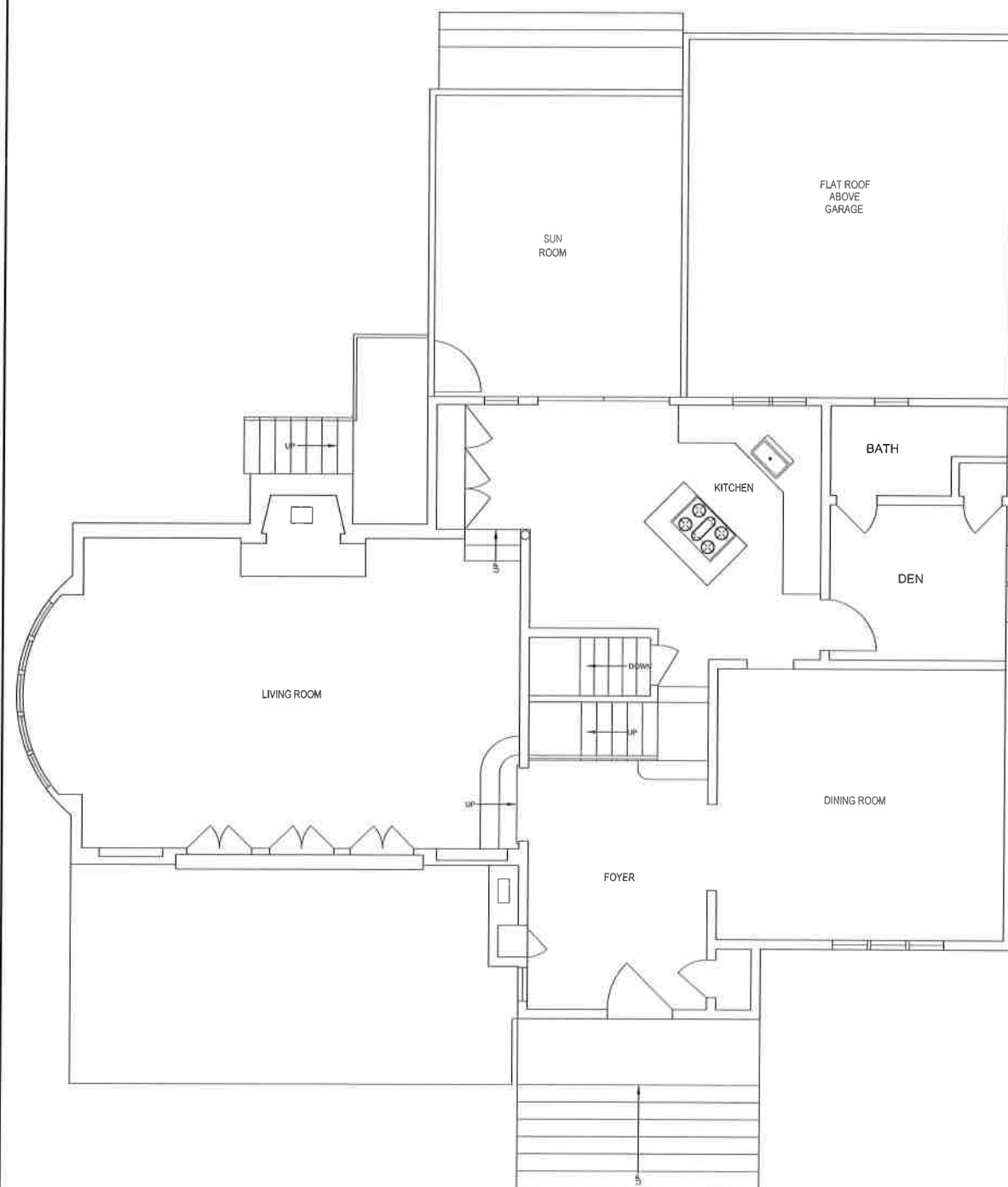
REVISIONS

No.	Date	Description

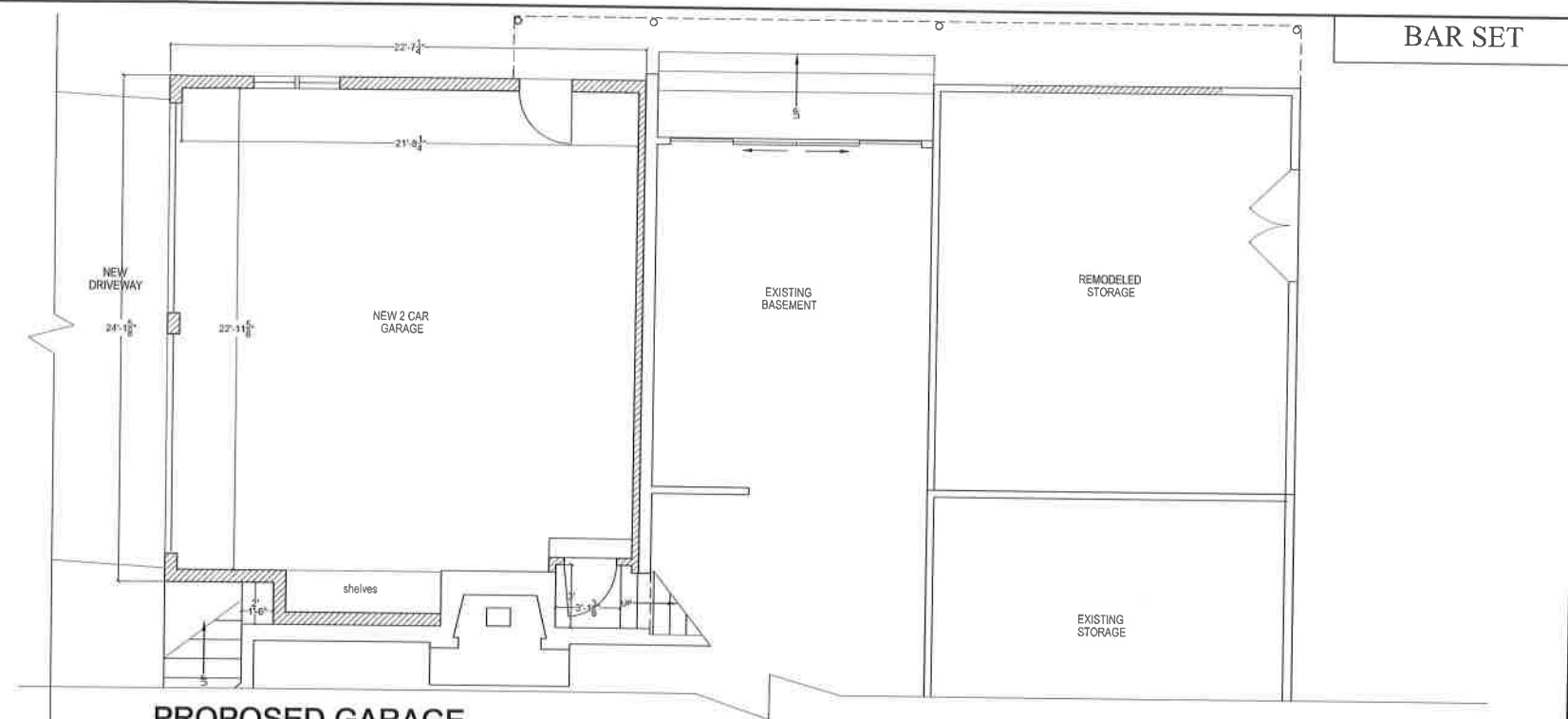
P.E. Seal & Signature

Michael Mastrogiacomo, P.E.
No. P-81475
E.S. 21 1111

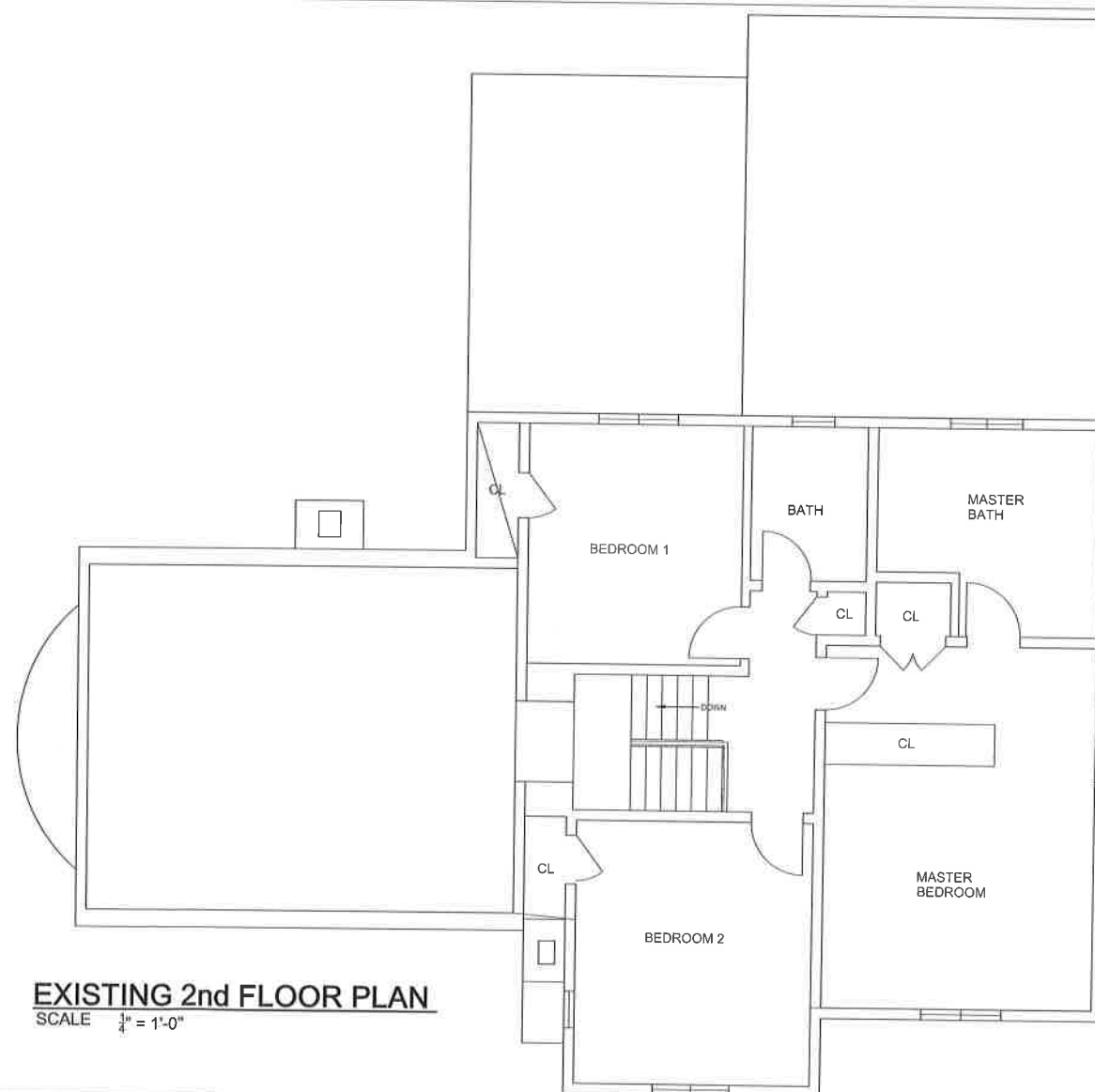
Date September 2017
Project No. 005-17
Drawn by: MG/MM
Checked by:
Drawing No. **SITE-001.00**
Sheet 2 **OF** 6
CAD File CRESCENT



EXISTING 1ST FLOOR PLAN
SCALE $\frac{1}{4}" = 1'-0"$



PROPOSED GARAGE
SCALE $\frac{1}{4}" = 1'-0"$



EXISTING 2nd FLOOR PLAN
SCALE $\frac{1}{4}" = 1'-0"$

BUILDER

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Project

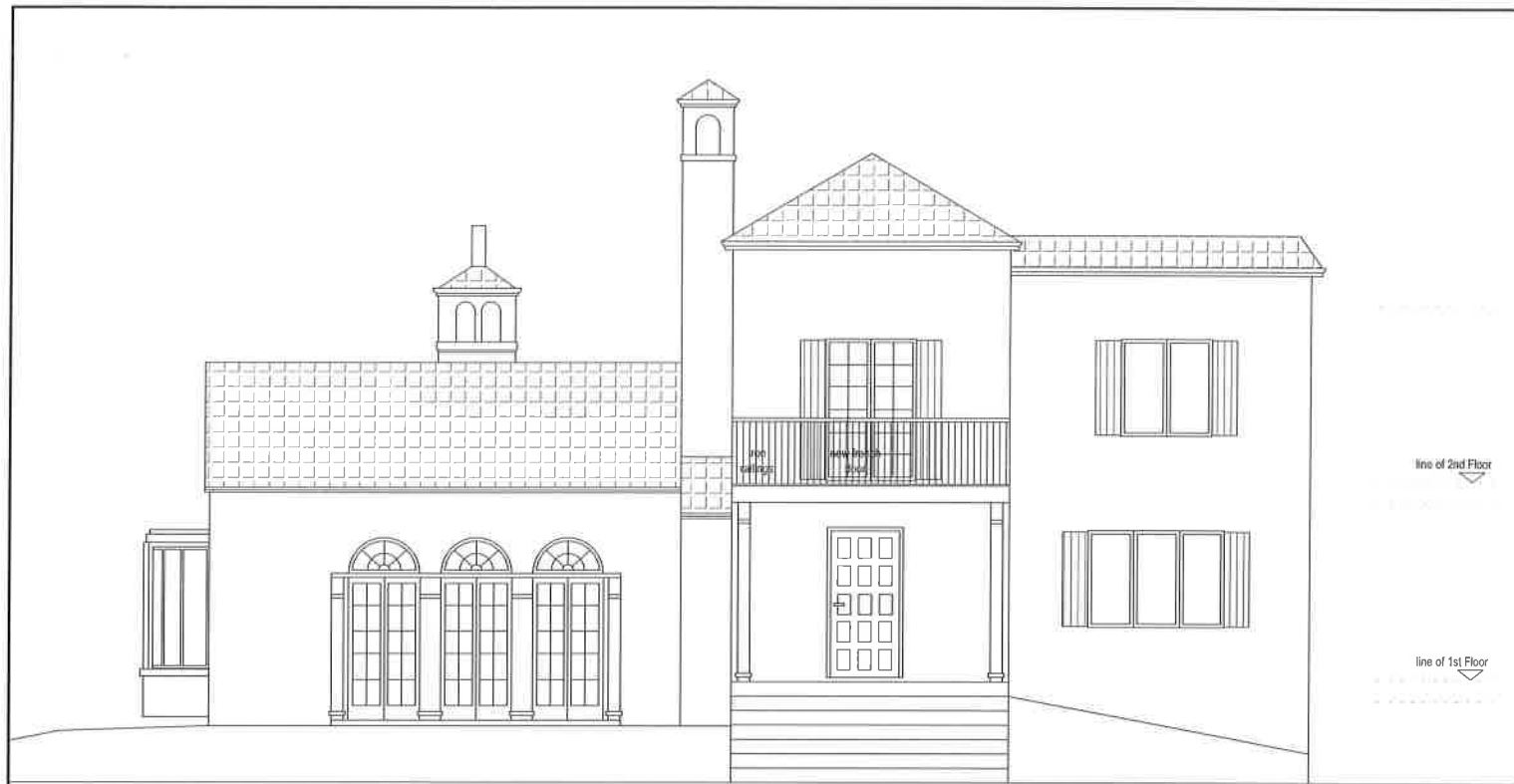
PROJECT:
Mr&Mrs CRINER
735 THE CRESCENT
MAMARONECK, NY 10543

Sheet Title

**EXISTING FLOOR PLANS
PROPOSED GARAGE**

REVISIONS	
No.	Date Description

P.E. Seal & Signature Michael Mastrogiacomo, P.E. No. 781076 12/31/2014	Date September 2017 Project No. 005-17 Drawn by: MG/MM Checked by: Working No. EXIST-001.00 Sheet: 3 OF 6 CAD File CRESCENT
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Proposed FRONT ELEVATION

SCALE 1/4" = 1'-0"



Proposed LEFT SIDE ELEVATION

SCALE 1/4" = 1'-0"



Ex. FRONT ELEVATION

SCALE 3/16" = 1'-0"



Ex. LEFT SIDE ELEVATION

SCALE 3/16" = 1'-0"

BAR SET

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PROJECT:
Mr&Mrs CRINER
735 THE CRESCENT
MAMARONECK, NY 10543

SHEET TITLE:
ELEVATIONS

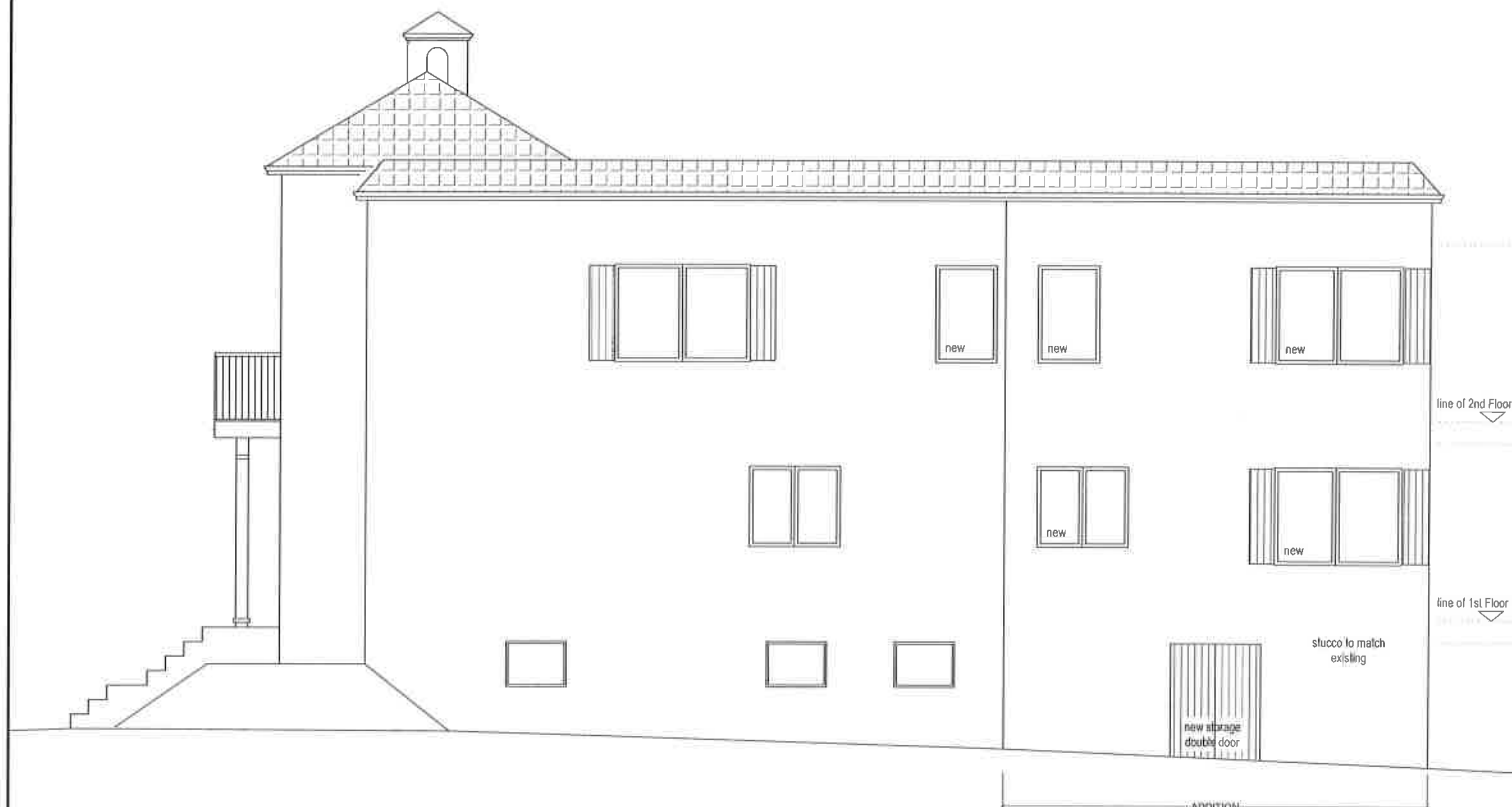
REVISIONS	
No.	Description

P.E. Seal & Signature	Date: September 2017
	Project No: 005-17
	Drawn by: MG/MM
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	Drawing No: E-001.00
Sheet 5 OF 6	
CAD File: CRESCENT	

MASTROGIACOMO, P.C.
NY REG. NO. 10538
CT REG. NO. 10538



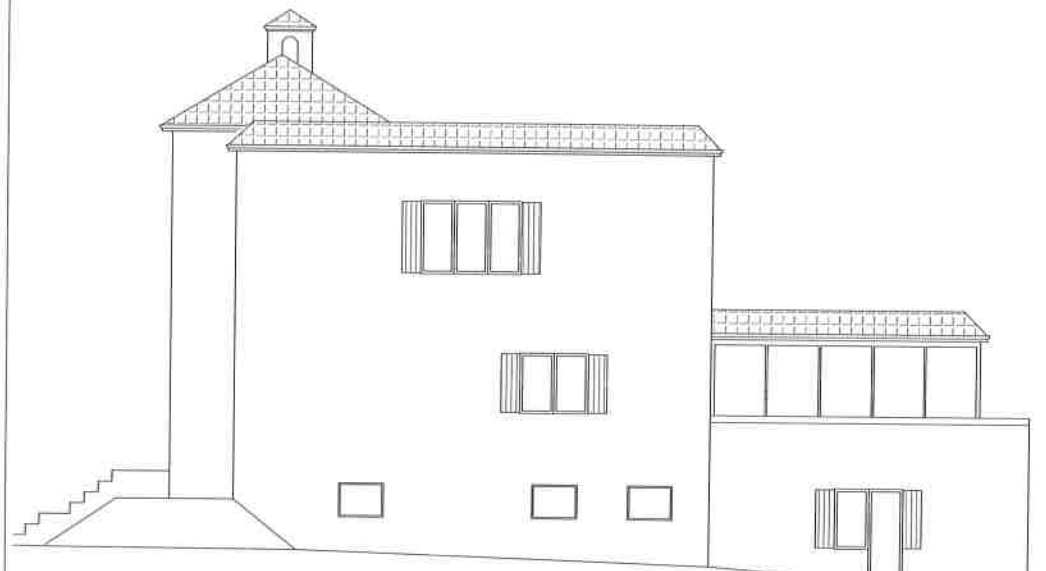
Proposed REAR ELEVATION
SCALE 1/4" = 1'-0"



Proposed RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"



Ex. REAR ELEVATION
SCALE 3/16" = 1'-0"



Ex. RIGHT SIDE ELEVATION
SCALE 3/16" = 1'-0"

BAR SET

BUILDER

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Building and engineering

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Project

PROJECT:
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735 THE CRESCENT
MAMARONECK, NY 10543

Sheet Title

ELEVATIONS

REVISIONS

No.	Date	Description

P.E. Seal & Signature

Michael Mastrogiamomo, P.E.
NY REG. 00010

Date September 2017
Project No. 005-17
Drawn by: MG/MM
Checked by:
Drawing No.
Sheet: 6 OF 6
E-002.00
CAD File: CRESCENT

Village of Mamaroneck, NY

Item Title: 742 Soundview Drive

Item Summary: 742 SOUNDVIEW DRIVE - NEW HOUSE
APPLICANT: JOHN SCARLATO, JR. - ARCHITECT
NOTE: NEEDS PLANNING BOARD APPROVAL FOR CREATION OF NEW LOT

Fiscal Impact:

ATTACHMENTS:

<u>Description</u>	<u>Upload Date</u>	<u>Type</u>
742 Soundview	9/20/2017	Presentation



GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE OFFICIAL CODES, RULES AND REGULATIONS OF 2015 INTERNATIONAL RESIDENTIAL CODE, 2015 INTERNATIONAL BUILDING CODE, 2015 INTERNATIONAL EXISTING BUILDING CODE, 2015 INTERNATIONAL ENERGY CONSERVATION CODE AND 2015 INTERNATIONAL FIRE CODE.
- CONTRACTOR SHALL PROTECT AND BRACE ALL WORK FROM DAMAGE DURING CONSTRUCTION.
- ALL WORK TO BE PLUMB & TRUE. ALL PLUMBING WORK TO BE IN ACCORDANCE WITH NYS PLUMBING CODE. ALL ELECTRICAL WORK TO BE IN COMPLIANCE WITH NYS AND N.E.C. ALL HVAC WORK TO BE IN COMPLIANCE WITH ASHRAE STANDARDS. LATEST EDITION. ALL PLUMBERS AND ELECTRICIANS SHALL BE LICENSED AND INSURED. ALL CONTRACTORS AND SUB-CONTRACTORS ARE RESPONSIBLE FOR ANY ADDITIONAL PERMITS, APPROVALS, AND INSPECTIONS THEIR PARTICULAR TRADE MAY REQUIRE.
- SPECIFICALLY, TABLES 502.4.1 TO 502.4.19, PROVIDE PROTECTING, WALLS, ROUGH FRAMING HARDWARE AS REQUIRED. ALL BEAMS, JOISTS AND RATCHES TO BE SET WITH NATURAL CROWN UP. PROVIDE DOUBLE RATCHES AND HEADERS AROUND ALL ROOF SKYLIGHTS UNLESS OTHERWISE NOTED. ALL LUMBER SHALL BEAR VISIBLE GRAIN STAMP. ALL STRUCTURAL LUMBER, 2x, 4x, 6x, OR EQUIVALENT SHALL BE INSTALLED PER DRAWING AND MANUFACTURERS SPECIFICATIONS. ALL HANDLING AND INSTALLATION PROCEDURES MUST BE SUPPLIED BY THE MANUFACTURER AND SHALL BE FOLLOWED. STRUCTURAL AND ENGINEERED LUMBER SHALL NOT BE ALLOWED TO GET WET AT ANY TIME.
- USE OF ANY TRUSS TYPE, PRE-ENGINEERED OR TIMBER CONSTRUCTION WILL REQUIRE A SIGN BE PLACED AT OR ADJACENT TO THE ELECTRIC METER WITH SPECIFICATIONS PROVIDED BY THE ARCHITECT.
- ALL CONCRETE WORK, DETAILS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF ACI 318 AND ACI 308 OR PCA 108, AND THE INTERNATIONAL RESIDENTIAL CODE 2015 SECTION 1804. ALL CONCRETE SHALL BE TYPE-1, 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS. REINFORCING BARS TO CONFORM TO 2015 INTERNATIONAL RESIDENTIAL CODE SECTION 1804.1.3.2. REINFORCING SHALL BE ACCURATELY INSTALLED TO REQUIRED ELEVATION AND SECURELY TIED IN PLACE SO AS TO PREVENT DISPLACEMENT DURING CONCRETING.
- CONTRACTORS TO VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO STARTING WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO ARCHITECT. ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED VIRGIN SOIL, HAVING A MINIMUM SAFE BEARING CAPACITY OF 2 TONS PER SQUARE FOOT. BRACE ALL RETAINING WALLS OR FOUNDATION WALLS AS REQUIRED. BACKFILL WITH APPROVED MATERIAL. BACKFILL UNDER SLABS, AROUND PIERIS ON EACH SIDE OF FOUNDATION WALLS SHALL BE DONE IN LAYERS NOT TO EXCEED 10 INCHES. COMPACTION SHALL BE 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT. EXCAVATION MUST BE FREE OF WATER WHILE FOUNDATION WORK IS IN PROGRESS. PILING, BULLDOZERS, AND OTHER HEAVY EQUIPMENT SHALL BE OPERATED WITH CAUTION AND IN SUCH A MANNER AS TO CAUSE NO DAMAGE TO FOUNDATION SYSTEMS.
- ALL STRUCTURAL STEEL SHALL BE NEW, CLEAN, STRAIGHT, AND SHALL CONFORM TO THE LATEST EDITION FOR ASTM DESIGNATION A-36 OR A-572 FOR ALL "I" SECTIONS. ALL STRUCTURAL STEEL WORK SHALL COMPLY WITH SPECIFICATIONS FOR THE DESIGN, FABRICATION, AND CONSTRUCTION OF STRUCTURAL STEEL FOR BUILDINGS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION LATEST EDITION. PROVIDE STEEPER ANGLES OR PLATES UNDER ALL POSTS, COLUMNS OR STRUTS THAT ARE CARRIED BY STEEL BEAMS AND IN THE WEB OF BEAMS CANTILEVERED OVER COLUMNS OR BEAMS SUPPORTING HANGERS. UNLESS OTHERWISE NOTED PROVIDE 4x4x1/2" BEARING ON CONCRETE MASONRY IF ANY.
- HEADERS TO BE (2) 2"x10" IN 2x6 WALLS AND (2) 3"x10" IN 2x4 WALLS UNLESS OTHERWISE NOTED.
- INSULATION IN FLOOR, WALL AND CEILING APPLICATIONS SHALL BE OF COMBINATIONS OF FIBERGLASS, CONTINUOUS RIGID, OR BLOWN OR SPRAYED CELLULOSE INSULATION TYPES TO CONFORM TO THE IBC 2015 CHAPTER 4. WESTCHESTER COUNTY IS CLIMATE ZONE 4A.
- TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2015 IRC ENERGY COMPLIANCE CODE WITH NYS AMENDMENTS.
- ALL FOOTINGS TO BE A MINIMUM OF 3'-4" BELOW GRADE, OR LOCAL FROST DEPTH AS SPECIFIED BY ARCHITECT, UNDERPIN WHEN NECESSARY.
- BUILDING TO CONFORM TO ANY LOCAL SUPPLEMENTAL CODE.
- PROVIDE BLOCKING AS REQUIRED TO BEARING POSTS ONTO GROUND ON BEAM CONDITIONS AND VERIFY ALL BEARING TO FOOTING.
- ALL DECK RAILS AND STAIR HANDRAILS TO BE IN COMPLIANCE WITH 2015 IRC SECTION 311 OR CURRENT CODE OR SUPPLEMENTAL CODES.
- ALL ROOF FRAMING SYSTEMS SHALL BE INSTALLED WITH HIGH WIND CONNECTORS IN COMPLIANCE WITH 2015 IRC CHAPTER 4.
- ALL POSTS TO FOUNDATION FOR THE PURPOSE OF SUPPORTING ROOF OR OTHER BEAMS SHALL BE BLOCKING AS SPECIFIED BY ARCHITECT OR A MINIMUM OF 4X4 NOMINAL DIMENSION FROM STRUCTURAL ELEMENT TO BE SUPPORTED CONTINUOUS TO A SOLID MASONRY FOUNDATION THAT EXTENDS BELOW REQUIRED FROST DEPTH AND RESTS ON A FIRMNESS OF TYPICAL CONSTRUCTION.
- ALL SIMPSON STRONG TIE CONNECTORS AND ANCHORS ARE DESIGNED WITH SPECIFIC LOADS AND CAPACITIES. SUBSTITUTIONS OF THESE HANGERS FOR DIFFERENT MODEL NUMBERS THAN SPECIFIED BY ARCHITECT OR ENGINEER IS FORBIDDEN WITHOUT VERIFYING THE REPLACEMENT PART WITH DESIGN PROFESSIONAL.

RECEIVED

AUG 18 2017

VILLAGE OF MAMARONECK
BUILDING DEPARTMENT

JOHN G.
SCARLATO JR.
ARCHITECT
33 BYRAM HILL RD
ARMONK, NY 10504
PHONE 914 273-7350

742 SOUNDVIEW DRIVE LLC
742 SOUNDVIEW DRIVE
MAMARONECK, NY 10548

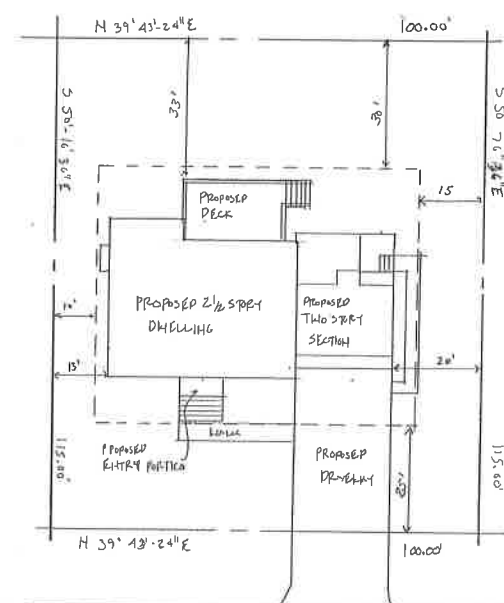
NEW HOUSE

FRONT ELEVATION & PLOT PLAN

A-1

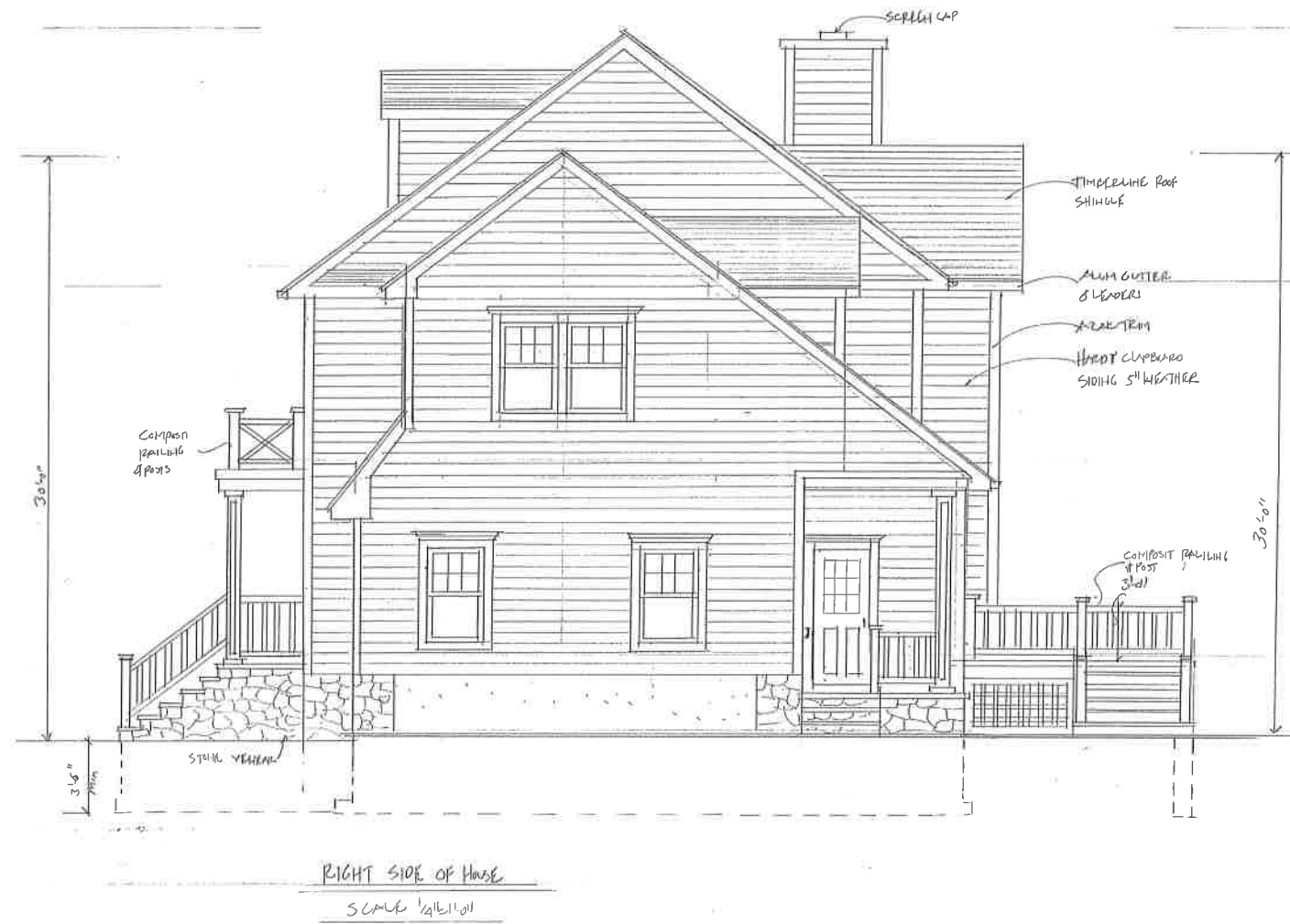
VILLAGE OF MAMARONECK ZONING COMPARISON CHART			
ADDRESS:	SECTION-BLOCK-LOT	ZONE: R-10	
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA (SQ. FT.)	10,000	10,000	10,000
MIN. LOT WIDTH FEET	100'		110'
MIN. LOT DEPTH	100'		115'
MIN. HABITABLE FLOOR AREA	2,400 sq. ft.		4,049
MAXIMUM HEIGHT (FOOT)	35 ft.		34 ft. 5 in.
MINIMUM SETBACKS FRONT	25 ft.		25 ft.
REAR SIDE	10 ft.		13'
TOTAL TWO SIDES	25 ft.		33'
REAR	30 ft.		33'
MAX. COVERAGE (ALL BUILDING)	35%		22%

NOTES:



PLOT PLAN
SCALE 1" = 20'-0"
NOTE INFORMATION FROM
RICHARD SPINELLI 7/6/17





JOHN G.
SCARLATO JR.
ARCHITECT
33 BAYVIEW HILL RD
ARISTON, NY 10504
PHONE 914 278-7350

742 SOUTHVIEW DRIVE LLC
742 SOUTH DRIVE
MAMARONECK, NY 10548

NEW HOME

RIGHT SIDE ELEVATION

A-2



REAR ELEVATION
SCALE 1/4" = 1'-0"



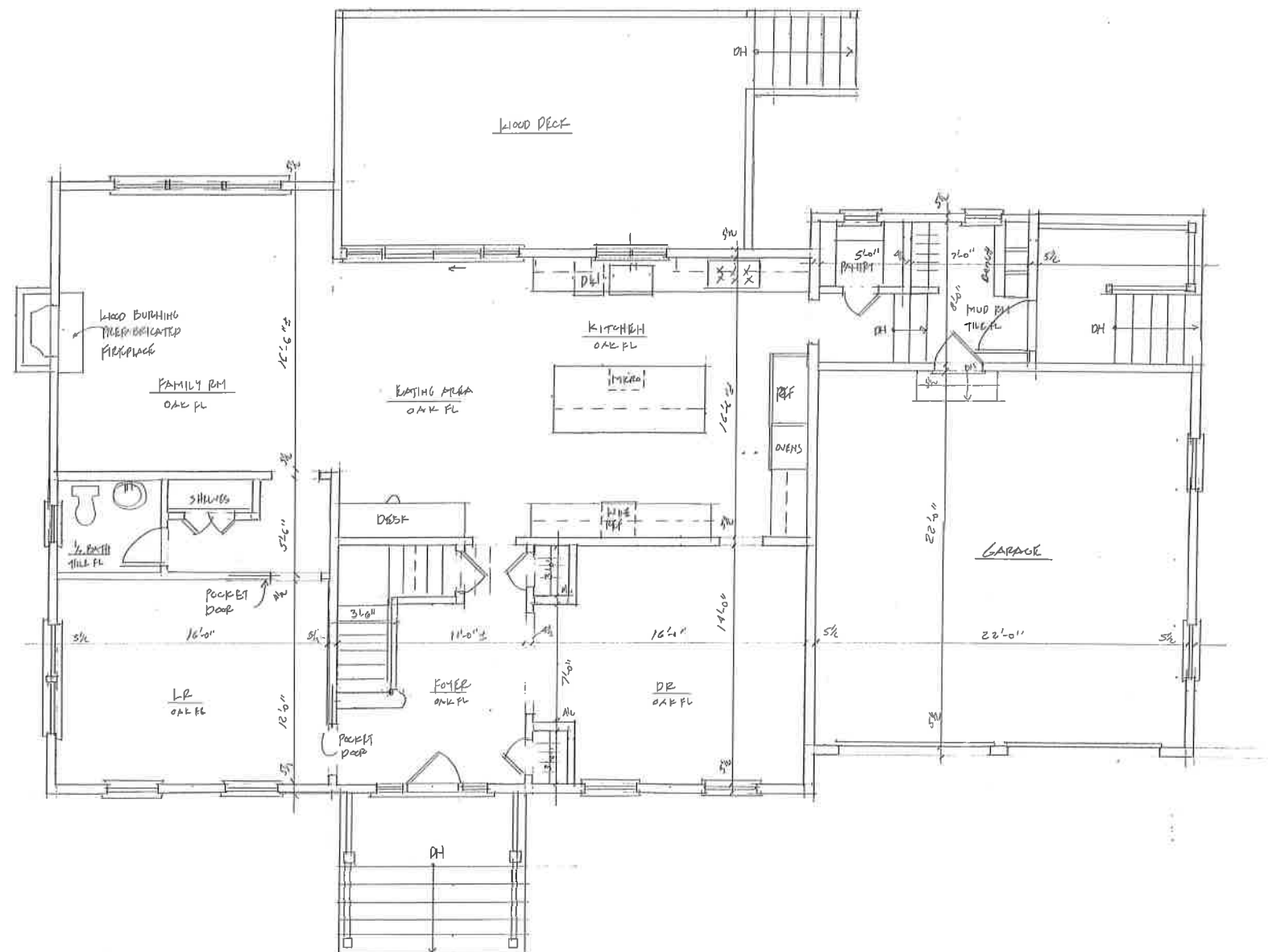
JOHN G.
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ARCHITECT
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ARMONK NY 10504
PHONE 914 273-7350

712 SOUTHVIEW DRIVE LLC
712 SOUTHVIEW DRIVE
PLATMARONETIC, NY 10548

NEW HOME

REAR ELEVATION

A-3



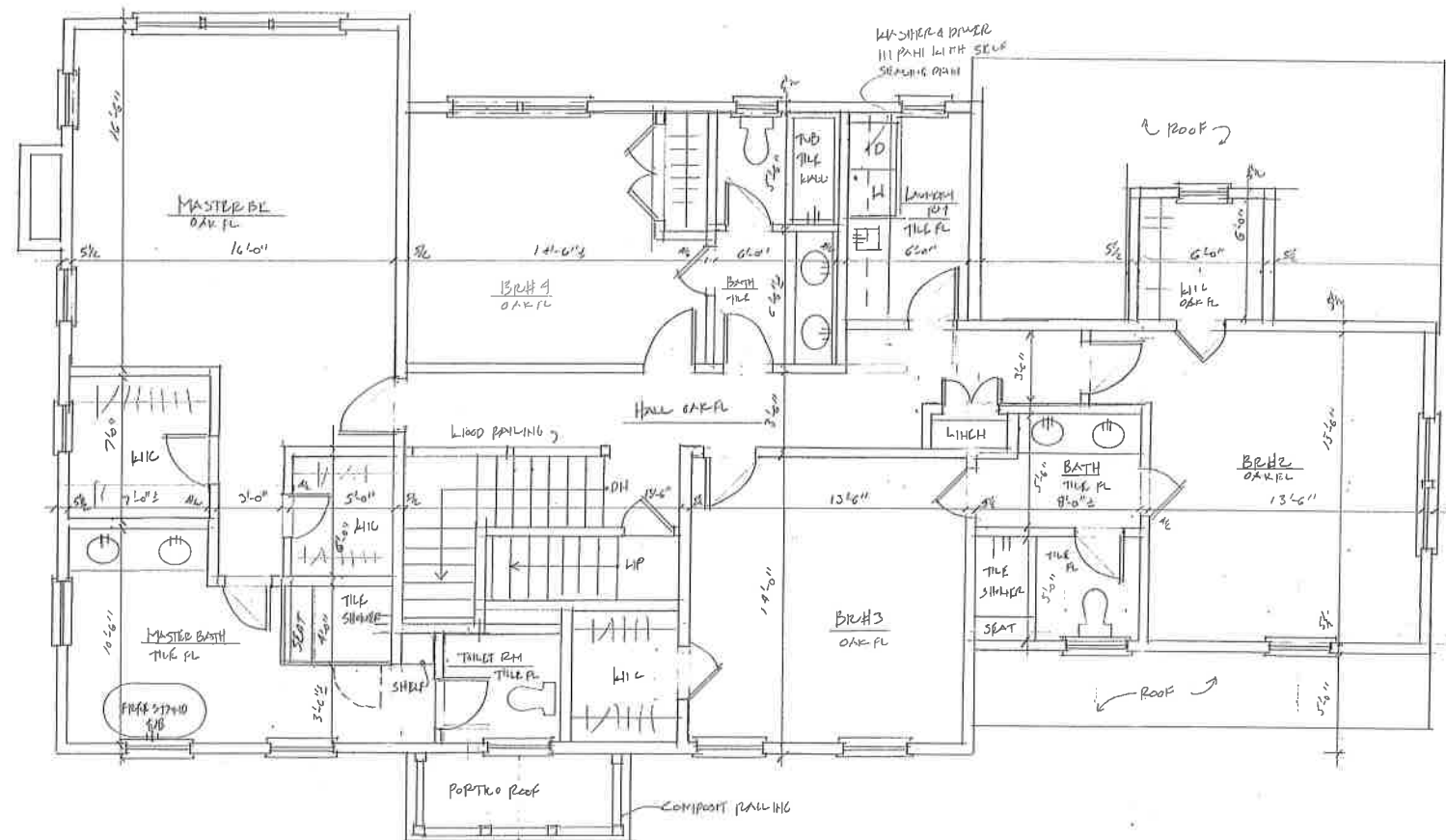
JOHN G.
SCARLATO JR.
ARCHITECT
33 BYRAM HILL RD
ARMONK NY 10504
PHONE 914 273-7350

742 SOUTHVIEW DRIVE LLC
742 SOUTH DRIVE
MANHATTEN, NY 10548

NEW HOME

FIRST FLOOR PLAN

A-5



SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



JOHN G.
SCARLATO JR.
ARCHITECT
33 BYRAM HILL RD
ARMONK, NY 10504
PHONE 914 273-7350

742 SOUNDVIEW DRIVE LLC
742 SOUND DRIVE
MAMARONECK, NY 10548

NEW HOME

SECOND FLOOR PLAN

A-6

Village of Mamaroneck, NY

Item Title: next meeting

Item Summary: THE NEXT MEETING WILL BE HELD ON THURSDAY OCTOBER 19, 2017

Fiscal Impact: