

Harbor and Coastal Zone Management Commission Agenda

VILLAGE OF MAMARONECK HARBOR COASTAL ZONE MANAGEMENT AGENDA

October 18, 2017 AT 7:30 PM - 169 Mt.Pleasant Avenue, Court Room

NOTICE OF FIRE EXITS AND REQUEST TO TURN OFF ELECTRONIC DEVICES

1. OPEN MEETING
2. OLD BUSINESS
 - A. **WEST BASIN PUMP STATION:DISCUSSION**
Proposed upgrades and construction by Westchester County Department of Environmental facilities. The Village Manager will be in attendance to discuss this site.
3. NEW BUSINESS
 - A. **THE RESIDENCES at LIBRARY LANE 145- 149 LIBRARY LANE PRELIMINARY** - Preliminary Review (Section 9, Block 50, Lot 6A) Discuss site plan application for 145-149 Library Lane to remove the existing building and construct a 9 unit apartment building with parking on the ground level. (C-2 District)
 - B. **HILLSIDE AVENUE BRIDGE-** The Board of Trustees will hold a Public Information meeting on October 23, 2017 @ 7:30 pursuant to the Village grant program for the replacement of the Hillside Avenue Bridge. The Commission has been asked to submit comments and questions.
4. APPROVAL OF MINUTES
 - A. Minutes of April 19, May17, June 21 and July 19, 2017
5. ADJOURN MEETING

ANY HANDICAPPED PERSON NEEDING SPECIAL ASSISTANCE IN ORDER TO ATTEND THE MEETING SHOULD CALL THE VILLAGE MANAGER'S OFFICE AT 914-777-7703

All Board of Trustee Regular, ZBA, Planning Board, and HCZM Meetings are Broadcast Live on LMC-TV:

Verizon FIOS Channels 34, 35 & 36

Cablevision Channels: 75, 76 & 77

And Streamed on the Web: www.lmc-tv.org

Village of Mamaroneck, NY

**Item
Title:** WCDEF Pump Station

Item **WEST BASIN PUMP STATION:DISCUSSION**

Summary: Proposed upgrades and construction by Westchester County Department of Environmental facilities. The Village Manager will be in attendance to discuss this site.

**Fiscal
Impact:**

ATTACHMENTS:

<u>Description</u>	<u>Upload Date</u>	<u>Type</u>
02 28 2017 De Almeida Pump Station	3/2/2017	Backup Material
03 26 2017 Slingerland Reviewing Authority PumpStationMemo	4/13/2017	Backup Material
04 24 and 06 05 2017 HCZMC WestBasin Memos to BOT	6/5/2017	Backup Material

MEMORANDUM

Village of Mamaroneck

To: Richard Slingerland, Village Manager
Dan Sarnoff, Assistant Village Manager
Members of the Village Board
Members of the Planning Board
Members of the HCZMC

From: Hernane De Almeida, PE,
Superintendent of DPW/Village Engineer

Re: Westchester County Department of Environmental
Facilities Pump Station

Date: February 28, 2017



P 914-777-7745

F 914-777-7757

www.villageofmamaroneck.org

This memo is to inform members of the Village Board, Planning Board and the Harbor and Coastal Zone Management Commission of upcoming work by the Westchester County Department of Environmental Facilities (WCDEF) at their pump station in Harbor Island Park at the intersection of W. Boston Post Rd. and Orienta Avenue. Currently the WCDEF maintains a pump station that is, in large part, underground. The pump station is visible by its concrete slab, steel hatchway's, vents and electrical supply boxes. The pump system delivers sanitary sewage from the West basin area which encompasses, in large part, the Orienta area and W. Boston Post Rd. to the WCDEF treatment plant.

While the majority of the pump station is below ground, the electrical supply and components are above ground and susceptible to the elements including flooding. This facility is an integral part of the sanitary sewer system and is a critical component of ensuring public health and safety. The WCDEF is in the process of upgrading and retrofitting pump stations for better performance and protection against natural disasters as practicable. This pump station as part of an overall program to upgrade some of the pump stations in our area. This program is consistent with the Westchester County Multi-Jurisdictional Hazard Mitigation Plan, which places a strong emphasis of identifying and mitigating potential damage to critical infrastructure and to protect public health.

The project will upgrade and automate certain aspects of the belowground pumps and operations but it will also protect the electrical supply by sheltering those components in a structure measuring approximately 18.5' x 13.5'. The structure will be constructed of cast in place concrete walls with a stone veneer to match, as much as possible, the Harbor Island Pavilion. The standing seam gable roof of the structure will also mimic the roof of the pavilion. Overall the structure will be approximately 8 foot high at its eave and 10 foot high at its peak. The structure will be located on the south side of the pump station platform.

There is a tree that will be need to be removed due to the work and Village management has expressed our concerns to the project designers. It is understood that they will mitigate the loss of the tree by replacing it with a tree of our choosing and caliper, within reason.

Again, this memo is inform the Board of a project in a high visibility location, no action is required or expected on your behalf.

Betty-Ann Sherer

From: Richard Slingerland
Sent: Sunday, March 26, 2017 10:00 AM
To: Allison Stabile; Mayor and Board; Sally Roberts
Cc: Betty-Ann Sherer; rozandalan@gmail.com; Kat Dufault; Dan Natchez; davejfreeman@gmail.com; Linda Meehan; grettajh@gmail.com; Gabrielle Cohen; Marc Radulovic; Nina Rubin; David Schaer; Kathy Savolt; Anna Georgiou; Cindy Goldstein
Subject: RE: Important - Re: East Basin Pump Station

Dear Allison, and all:

Good morning and thank you for your inquiry.

The question of whether the Village has any review authority over the East Basin Pump Station came up some time ago, in parallel with the West Basin Pump Station, and now has come up again.

The Village staff, coordinating with the County through me in conjunction with Recreation and Parks staff and volunteers, had been working in the past with the County to provide for the plans for replacement equipment that will be going in at the pump station at the location of West Boston Post Road and Orienta Avenue. That location establishes a permanent easement to the County for that equipment.

The easements related to the West Basin that were found by Dan Sarnoff provide permanent permission from the Village to re-build their existing infrastructure to provide for the health, safety and welfare of the public through the operation of the pump station at its current location in Harbor Island Park. The easement was signed in 1984, but it is my understanding that the equipment was there for many years before that.

With regard to the West Basin pump station equipment upgrades, based on our discussions, the County advised us that they would be elevating the electronics equipment to comply with Base Flood Elevation (BFE) Requirements, and keeping the upgraded pumps underground in their current location. Since this is in a high-visibility park, they agreed to enclose the electronic panels in a stone building and a standing seam metal roof to match the one that is similar to the Harbor Island Pavilion Roof (right now they are behind a stone wall and chain link fence).

As for the East Basin Pump Station, we have been working on the matter with the County and Shore Acres Homeowners, as you said, since 2013. The Village should continue to work with the County to convey whatever high priority requests the Village would like in terms of covering or screening the equipment.

Based on all information available, the Village does not have jurisdictional authority over the County in relation to either the East Basin or West Basin pump stations. Therefore it is unnecessary to involve any land-use Board into this discussion.

However, the County has thus far worked cooperatively with the Village and has been responsive to our requests. If there is a specific concern or request that you have please let me know and I will pass it along to them for review and response. I would hope that whoever my successor is would do the same.

Very truly yours,

Rich

Richard Slingerland
Village Manager

Village of Mamaroneck
Village Hall
123 Mamaroneck Avenue
Mamaroneck, NY 10543

Phone: 914-777-7703
Fax: 914-777-7760

From: Allison Stabile [mailto:allisonstabile@gmail.com]

Sent: Thursday, March 23, 2017 4:16 PM

To: Mayor and Board <MayorandBoard@vomny.org>; Richard Slingerland <RSlingerland@vomny.org>; Sally Roberts <sroberts@vomny.org>

Cc: Betty-Ann Sherer <bsherer@vomny.org>; rozandalan@gmail.com; Allison Stabile <AllisonStabile@gmail.com>; Kat Dufault <katdufault@gmail.com>; Dan Natchez <dan.n@dsnainc.com>; davejfreeman@gmail.com; Linda Meehan <lindabmeehan@gmail.com>; grettajh@gmail.com; Gabrielle Cohen <leighandgabby@gmail.com>; Marc Radulovic <mrxradul@hotmail.com>; Nina Rubin <ntr826@verizon.net>; David Schaer <daveschaer@gmail.com>; Kathy Savolt <ksavolt@verizon.net>

Subject: Important - Re: East Basin Pump Station

Dear All,

Attached and below, please find a letter from SAPOA regarding the East Basin Pump Station project.

We respectfully request that Ms. Sherer forward this to the Chairs of the Planning Board and the Harbor and Coastal Zone Management Commission. We also request that the Chairs of these Boards then share this letter with their Commissioners.

Thank you for your time and attention.

Sincerely,
Allison Stabile, VP SAPOA

Mamaroneck, NY 10543

March 23, 2017

Sent via e-mail

The Honorable Norman S. Rosenblum

Mayor, Village of Mamaroneck

The Honorable Leon Potok

Trustee, Village of Mamaroneck

The Honorable Louis Santoro

Trustee, Village of Mamaroneck

The Honorable Victor Tafur

Trustee, Village of Mamaroneck

The Honorable Keith Waite

Trustee, Village of Mamaroneck

123 Mamaroneck Avenue

Mamaroneck, NY 10543

Dear Board of Trustees:

I am writing you today on behalf of the Board of the Shore Acres Property Owners Association (SAPOA) and the 218 families we represent. As the County's project to upgrade the East Basin Pump Station moves towards completion, we believe there are serious unresolved issues, as well as implications for the future project at the West Basin Pump Station. We ask for your assistance on behalf of all the residents of the Village.

As you may know, the East Basin project began in 2013. From the beginning, members of the SAPOA board have tried to work cooperatively and congenially with County officials, as we understood the importance of the project. We asked that the visual and auditory impact of the project be mitigated so the surrounding neighbors would not be severely impacted. We expressed concern that one of the entry points to our neighborhood would become an eyesore. We also voiced concerns about the impact of this expanded facility in the Guion Creek Critical Environmental Area.

When the County finally agreed to meet with us in July 2014 and we saw the plans, our initial request was that the facility be fully enclosed by a modest structure that would require simple landscaping. This would protect the County equipment from the elements and vandalism, mitigate the need for extensive fencing and screening, and thus prevent further wasted dollars repeatedly replacing failed trees and other planting materials. It would simultaneously alleviate residents' concerns for appearance, noise, and odor, among other things.

This approach was dismissed by Commissioner Lauro, who stated in meetings with SAPOA and the Village that *under no circumstances would the east and west basin pump stations be enclosed*. The County had not budgeted for it and they had no intention of doing it.

We continued to request, on multiple occasions over the course of the last few years, detailed drawings, elevations, and a landscaping plan that would show the finished project. To this date, we have never received elevation drawings. The few plans that *have* been shared with us have been incomplete, difficult to decipher, and do not address the ongoing questions and concerns we have raised.

From what we now know in hindsight, the County “threw us a bone” by using our choice of color for the *partial* enclosure now on the site.

Meanwhile, construction began, and as the actual project began to take shape, it became clear that the outcome would be the eyesore we all sought to prevent. The industrial equipment that has now been installed has brought the problem to a new level.

In addition to the visual impact, there are environmental and noise concerns that have not been addressed. Despite our calls for Village input, and to the detriment of the Village, this project bypassed every Village land use board, apparently because the County owns the property the pump station sits on.

In December 2016, I personally attended the County Executive's presentation at the Nautilus Diner to ask for his assistance. This resulted in strings of emails, and the expenditure of much time and energy on the part of several board members, but no substantive action. When an article on this subject appeared in *The Journal News* this past Monday, March 20, Richard Slingerland finally received a drawing in reply to our most recent concerns about the odor control unit.

First of all, this drawing (dated August 2014) does not contain the information we all need, and secondly, it highlights the County's limited cooperation and lack of transparency. Clearly the County intends to do whatever it wants on this property with no regard for tax-paying residents, and consistent with our experience these past few years, continues to offer us lip service and the run-around while construction proceeds.

Throughout this process, we have sought assistance from many people besides our Village administration, including our State Senator, George Latimer, and our State Assemblyperson, Steve Otis. Our County Legislator, Catherine Parker, has worked alongside SAPOA from the beginning. She advised us to present our concerns to the County Board of Legislators' Infrastructure Committee early on, and has visited the site on numerous occasions. Unfortunately, the project is within the purview of the Executive branch, and her best efforts also fell on deaf ears.

SAPOA's requests have been clear and simple from the beginning:

- 1) Respect the tax-paying residents who live in the neighborhoods around this facility,
- 2) Eliminate wasteful spending on poor designs that don't take the surroundings into account, and
- 3) Protect the Critical Environmental Area impacted by construction and the siting of this facility.

Now that the East Basin pump station has morphed into a tall, unsightly monstrosity, it is time to insist on cooperation. We believe a total enclosure, surrounded by suitable plantings, which were recommended at the outset of this project, is warranted and appropriate to put back on the table. This approach not only honors the aesthetic and quality of life concerns voiced by surrounding neighbors, but is likely more cost-effective than replacing dead plants year after year, as has been the case.

Further, we understand that the County's plans for upgrade and expansion of the West Basin Pump Station in Harbor Island Park at the entrance to the Orienta neighborhood call for above ground structure(s). Perhaps the County finally recognizes the need to cover the unsightly equipment and heed the concerns of village residents. In any case, the Village should insist that the East and West Basin sites be treated consistently.

If in fact the County must receive the Village of Mamaroneck's approval before continuing the West Basin project, you have the opportunity to negotiate an appropriate resolution, by conditioning approval of the West Basin work on the remediation of the problems created at the East Basin facility.

Now is the time to act on behalf of your constituents and ensure that the County project gets appropriate review by the Village's land use boards and Board of Trustees. We respectfully request that you now also take the position that the problems at the East Basin pump station be resolved in a collaborative manner that satisfies the concerns of Village residents.

Thank you for your attention to this important matter.

Sincerely,

Allison Stabile, Vice President of SAPOA

on behalf of the SAPOA Board

cc: Richard Slingerland, Village Manager

Sally Roberts, Deputy Village Clerk

Betty-Ann Sherer

Chairperson, Planning Board

Chairperson, Harbor and Coastal Zone Management Commission

SAPOA Board members

Memo

To: Mayor and Board of Trustees

From: Cindy Goldstein, HCZMC Chair

CC: Anna Georgiou & Les Steinman, Land Use Counsel, HCZMC members
Village Manager, Village Attorney, Planning Board members

Date: June 5, 2017

Re: County Pump Station Work at West Basin of Harbor Island Park

Your Agenda for this evening includes action related to the use of certain easements in certain parklands in the Village, specifically the work at the West Basin of Harbor Island Park.

After reviewing the documents I believe that this action requires a more thorough environmental review especially because it is in a specifically referenced scenic resource (LWRP Policy 25) and immediately adjacent to Long Island Sound. Significant adverse environmental impacts must be analyzed along with alternatives.

There should also be a robust explanation as to why Chapter 240 requirements are ignored.

Please refer to the HCZMC memo of April 24, 2017 (copy attached) for the Commission's recommendations. This item will remain on our Agenda for our June meeting.

Respectfully submitted,



Cindy Goldstein

HCZMC Chair

Memo

To: Mayor and Board of Trustees

From: Cindy Goldstein, HCZMC Chair

CC: Anna Georgiou & Les Steinman, Land Use Counsel, HCZMC members

Date: April 24, 2017

Re: County Pump Station Work at West Basin of Harbor Island Park

At this week's meeting on April 19th we discussed the above-referenced project with regard to the Village's LWRP and overall land use review policy. Memos from Richard Slingerland and Hernane De Almeida indicate that there is no formal review process for this project due to a lack of jurisdiction.

The Commission asked that I write to you to request the following:

- 1) A review of the jurisdiction regarding this project at this location. An examination of the legal documents related to the easement as well as the former grant funding of projects at Harbor Island Park will inform the process.
- 2) Because Harbor Island Park is specifically mentioned as a scenic resource in LWRP Policy 25 we do not believe that work should be commenced (regardless of how valuable or necessary it may be) without a consistency review. At a minimum the Planning Board should evaluate a site plan and HCZMC should be asked for an advisory consistency determination. In addition to the obvious scenic issues in Policy 25 there are other potentially serious issues that should be examined before any work begins in such an environmentally sensitive area.

Respectfully submitted



Cindy Goldstein

HCZMC Chair

Village of Mamaroneck, NY

Item Title: 145- 149 Library Lane

Item Summary: THE RESIDENCES at LIBRARY LANE 145- 149 LIBRARY LANE PRELIMINARY - Preliminary Review (Section 9, Block 50, Lot 6A) Discuss site plan application for 145-149 Library Lane to remove the existing building and construct a 9 unit apartment building with parking on the ground level. (C-2 District)

Fiscal Impact:

ATTACHMENTS:

<u>Description</u>	<u>Upload Date</u>	<u>Type</u>
10 04 2017 145 149 LL Cover	10/11/2017	Cover Memo
10 04 2017 145 149 LL HCZMC APP	10/11/2017	Backup Material
10 04 2017 145 149 LL Landuse Board Applications	10/11/2017	Backup Material
10 04 2017 145 149 LL BP application	10/11/2017	Backup Material
10 04 2017 145 149 LL CAF Narrative	10/11/2017	Backup Material
05 24 2017 145 149 LibraryLane Elevation Certificate	10/11/2017	Backup Material
10 04 2017 145 149 LL CRIS letter	10/11/2017	Backup Material
10 04 2017 145 149 LL Topo and adj bldg heights 145 149 LibraryLn	10/11/2017	Backup Material
145 149 LL REVISED SWPPP 09 28 2017	10/11/2017	Backup Material
10 04 2017 145 149 LL RENDERINGS	10/11/2017	Backup Material
10 04 2017 145 149 LL L1_0_SITEPLAN_081117	10/11/2017	Backup Material
10 04 2017 145 149 LL L1_1_ROOFPLAN_081117	10/11/2017	Backup Material
10 04 2017 145 149 LL Crocco Plans	10/12/2017	Backup Material
10 12 2017 145 149 Library Lane Village Engineer Review	10/12/2017	Backup Material
10 04 2017 145 149 LL HOLT Plans	10/11/2017	Backup Material
10 11 2017 145 149 Library Lane S Hoeger Comments	10/11/2017	Backup Material
10 12 2017 145 149 Library Lane Village Engineer Review	10/13/2017	Backup Material

NATHANIEL J. HOLT, PE

dan@holtengineering.net

October 3, 2017

RECEIVED

OCT 4 2017

BUILDING DEPT.

Village of Mamaroneck
Harbor Coastal Zone
Management Commission
123 Mamaroneck Avenue
Mamaroneck, New York 10543

RE: 145 -149 Library Lane

Dear Members of the Commission:

The above referenced property is currently under consideration for Site Plan Approval by the Planning Board. As proposed the project will consist of a four story multi-family structure containing nine (9) apartments, with on-grade parking (located on the first floor) and a roof top garden (aka "green roof"). Naturally, the two existing buildings will be demolished to accommodate this redevelopment of the property.

Importantly, in its present condition the property is 100% impervious cover and all stormwater runoff flows off-site uncontrolled and untreated. As the Commission is undoubtedly aware, these flows go directly into the harbor. Along with the above referenced green roof, Library Lane will be improved through the development of a landscaped streetscape where currently there is none. The result of these measures will be an approximately 40% reduction in impervious area on the property. Needless to say, this reduction in impervious area reduces the volume of stormwater that leaves the site.

The stormwater management system has been designed to provide water quality in accordance with the NYSDEC Stormwater Design Manual and the Village Ordinances. Basically, the water quality treatment system has been sized to capture 1.5 Inches of rainfall over the impervious area. Treatment will be in the form of a filtration system and infiltration.

Attached, please find the Coastal Assessment Form - Narrative which has been prepared to accompany the plans and other documentation that has been previously submitted. We look forward to meeting with the Commission so that we can expand our explanation of the proposed redevelopment of the property and answer any other questions that you may have.

Very truly yours,


Nathaniel J. Holt, PE
Holt Engineering & Consulting, PA

HARBOR & COASTAL ZONE MANAGEMENT COMMISSION

APPLICATION

RECEIVED

OCT 4 2017

BUILDING DEPT.

HCZM meets on the third Wednesday of the month, 7:30 PM, Village Hall Courtroom, 169 Mt. Pleasant Ave.

I. Please classify/determine if your application is Type I, Type II or Unlisted under SEQRA.

- ☐ Type I: an action which is likely to have a significant adverse impact on the environment.
- ☐ Type II: an action which will not have a significant adverse impact on the environment.
- ☐ Unlisted: An action which does not exceed the thresholds for Type I.

For further information, please see <http://www.dec.state.ny.us/website/dcs/seqr>.

II. 15 copies of the application and supporting documents should be submitted to the Building Dept. for review by the Bldg. Inspector to place on the HCZM Agenda and must comply with the Notification Law. Applications will not be reviewed unless all relevant materials are submitted.

- ☒ Short Environmental Assessment Form (for Unlisted actions only)
- ☐ Full Environmental Assessment Form (if Type I or Type II action)
- ☒ Construction drawing plans certified and signed by an architect or engineer licensed by the State of New York
- ☒ Topographical survey by a licensed land surveyor dated within one year w/FEMA lines
- ☒ Completed Building Permit Application
- ☒ Elevation Certificate showing compliance with FEMA by a licensed architect or engineer licensed by the State of New York
- ☒ Soil Erosion Mitigation Plan - See Building Department for details
- ☒ Storm Water Management Plan - See Building Department for details
- ☐ If Perimeter permit is required, proof of compliance with LL 4-2006 Section 1 (F)
- ☒ Coastal Assessment Form

III. Has this property come before this commission or a former Harbor or Coastal Zone Management Commission in the past 3 years? If so, when? NO Date

IV. It is the applicant's obligation to determine whether permitting is required by any state/federal agencies including but not limited to the Department of State Dept. of Environmental Conservation, NY State Army Corp of Engineers or Federal Consistency Review. Please refer to the following resources:

<http://www.nan.usace.army.mil/business/buslinks/regulat/forms.htm>; <http://nyswaterfronts.com/aboutus.asp>

It is also the applicant's obligation to determine if any other local permits or approvals (e.g. Zoning, Planning, BAR, etc) are or are not required for the action for which they seek review. The applicant will provide copies of the permit(s) obtained.

V. Applicant Name: Jeffrey Garson and sons Development Company, LLC AND Garson Brothers Mamaroneck, LLC
Address: 1180 Midland Ave, Suite 1G, Bronxville, NY 10708
Phone: (914) 337-7173

The foregoing is affirmed by [Signature] (Signature)
Date: 8/23/17

**VILLAGE OF MAMARONECK
LOCAL WATERFRONT REVITALIZATION PROGRAM**

Coastal Assessment Form

I. INSTRUCTIONS (Please print or type all answers)

A. In accordance with Local Law No. 30-1984, proposed actions and to be reviewed to determine their consistency with the policies of the Village of Mamaroneck Local Waterfront Revitalization Program. This Coastal Assessment Form is intended as an aid to that review.

B. As early as possible in an agency's formulation of a direct action or as soon as an agency receives an application for approval of an action, the agency shall do the following:

1. For direct agency actions, the agency shall complete this Coastal Assessment Form. This CAF shall be completed prior to the agency's determination of environmental significance under SEQR

2. Where applicants are applying for approvals, the agency shall cause the applicant to complete this Coastal Assessment Form, which shall be completed and filed together with the application for approval and the Environmental Assessment Form.

3. For Type I and unlisted actions, CAFs shall be forwarded to the Coastal Zone Management Commission for a determination of consistency. For Type II actions, the Lead Agency shall make the determination of consistency. If an action cannot be certified as consistent to the maximum extent practicable with the coastal policies, it shall not be undertaken.

C. Before answering the questions in Section III, the preparer of this form should review the coastal policies contained in the Local Waterfront Revitalization Program. A proposed action should be evaluated as to its significant beneficial and adverse effects upon the coastal area.

II. APPLICANT

*Jeffrey Gerson and sons Development Company, LLC AND
Gerson Brothers Mamaroneck, LLC*
NAME Brett Gerson, Contract Vendor, Managing Member
ADDRESS 1180 Midland Ave, Suite 1G
Bronxville, NY 10708
PHONE (914) 337-7173

III. DESCRIPTION OF PROPOSED ACTION

A. Type of Action – Is action a direct agency action (an action planned and proposed for implementation by the Village of Mamaroneck such as capital projects, procedure-making, policy-making, and zoning) or does it involve the application for an approval or permit to be granted by a Village agency? Check one:

1. Direct Agency Action _____
2. Application for an Approval ✓

If an Application for an Approval or Permit, identify which board or commission has the permit authority?

PLANNING BOARD

B. Describe nature and extent of proposed activity:

REDEVELOPMENT OF PROPERTY THROUGH DEMOLITION
OF TWO EXISTING STRUCTURES AND THE CONSTRUCTION OF
A NEW MULTISTORY RESIDENTIAL BUILDING

C. Location of proposed activity: 145/149 LIBRARY LANE

IV. COASTAL ASSESSMENT (Check either "Yes" or "No" for each of the following questions).

A. Will the proposed action be located in, or contiguous to, or have a significant effect upon any of the resource areas identified in the Local Waterfront Revitalization Program (numbers following each item refer to LWRP policy which may be affected by the proposed activity):

	YES	NO
1. Significant fish/wildlife habitats (7, 7a, 44).....*	_____	<u>✓</u>
2. Flood Hazard Areas (11, 12, 17).....*	_____	<u>✓</u>
3. Tidal or Freshwater Wetland (44).....*	_____	<u>✓</u>
4. Scenic Resource (25).....*	_____	<u>✓</u>
5. Critical Environmental Areas (7,7a,8,44).....*	_____	<u>✓</u>
6. Structures, sites or districts of Historic, Archeological or cultural significance (23)..	_____	<u>✓</u>

* SEE COMMENTS ATTACHED

B. Will the proposed action have a significant effect on any of the following?

	YES	NO
1. Commercial or recreational use of fish and wildlife resource (9, 10).....	_____	_____✓
2. Development of future or existing water-dependent uses (2).....	_____	_____✓
3. Land and water uses (2, 4).....	_____	_____✓
4. Existing or potential public recreation opportunities (2, 3).....	_____	_____✓
5. Large physical change to a site within the coastal area which will require the preparation of an environmental impact statement (11, 13, 17, 19, 22, 25, 37, 38).....	_____	_____✓
6. Physical alteration of one or more areas of land along the shoreline, land under water or coastal waters (2, 4, 11, 12, 20, 28, 35, 44).....	_____	_____✓
7. Physical alteration of three or more acres of land located elsewhere in the coastal area (11, 12, 17, 33, 37, 38).....	_____	_____✓
8. Sale or change in use of state-owned lands, located under water (2, 4, 19, 20, 21).....	_____	_____✓
9. Revitalization/redevelopment of deteriorated or underutilized waterfront site (1).....	_____	_____✓
10. Reduction of existing or potential public access to or along coastal waters (19, 20).....	_____	_____✓
11. Excavation or dredging activities or the placement of fill materials in coastal waters of Mamaroneck (35).....	_____	_____✓
12. Discharge of toxic, hazardous substances, or other pollutants into coastal waters of Mamaroneck or into them (34, 35, 36).....	_____	_____✓
13. Draining of storm water runoff either directly into coastal waters of Mamaroneck or into any river or tributary which empties into them (33, 37).....	_____	_____✓
14. Transport, storage, treatment or disposal of solid waste or hazardous materials (36, 39).....	_____	_____✓
15. Development affecting a natural feature which provides protection against flooding or erosion (12).....	_____	_____✓

C. Will the proposed activity require any of the following:

- | | | | |
|----|--|-------|---|
| 1. | Waterfront site (2, 4, 6, 19, 20, 21, 22)..... | _____ | ✓ |
| 2. | Construction or reconstruction of a flood or erosion control structure (13, 14)..... | _____ | ✓ |

V. REMARKS OR ADDITIONAL INFORMATION

Signature of Preparer: _____

Date 6/13/17

Preparer's Name NATHANIEL J. HOLT, PE

Company: HOLT ENGINEERING & CONSULTING

Address 540 NW UNIVERSITY BLVD, STE 105
PORT ST LUCIE, FL 34986

IVA1 PROJECT IS APPROXIMATELY 400' NORTHEAST OF THE LONG ISLAND SOUND. PROPOSED PROJECT REDUCES IMPERVIOUS AREA BY 20% AND PROVIDES WATER QUALITY MITIGATION WHERE THERE IS CURRENTLY NO SUCH MITIGATION

IVA2 PROPERTY IS IN A FEMA CLASS "X" ZONE WHICH IS NOT A DESIGNATED FLOOD ZONE. DEVELOPMENT DOES NOT ALTER EXISTING TOPOGRAPHY BUT DOES REDUCE THE PEAK RATE OF RUNOFF.

IVA3 THERE ARE NO ADJOINING WETLANDS TO THE PROJECT SITE. THE LONG ISLAND SOUND IS ± 400' SOUTHEAST OF THE PROPERTY

IVA5 THE REFERENCED CEA IS THE LONG ISLAND SOUND AND IS NOT CONTIGUOUS TO THE PROJECT SITE WHICH IS APPROXIMATELY 400' SOUTHEAST OF THE PROPERTY

IVA6 PROJECT SITE IS CURRENTLY DEVELOPED. NO NEW DISTURBANCES ARE PROPOSED.

Site Plan

Village of Mamaroneck
Planning Board Application

RECEIVED

AUG 24 2017

1. Zone: C-2 Section: 9 Block: 50

RECEIVED
OCT 4 2017

2. Project Address: 145 & 149 LIBRARY LANE

3. Owner's Address:

KANE PARTNERS REALTY

BUILDING DEPT.

EMELIN THEATRE

1070 WASHINGTON AVE, PELHAM

1317 FLAGLER DR

Phone #:

Cell #:

MAMARONECK

Email:

4. Applicant or Owner's Representative:

Address:

GARSON BROTHERS MAMARONECK, LLC

1180 MIDLAND AVE, SUITE 1G, BRONXVILLE

Phone #:

(914) 337-7173

Cell #:

Email:

BG@GARSONPROPERTY.COM

5. Description of work being proposed or action be requested:

1. MERGE THE TWO PROPERTIES (145 & 149 LIBRARY LANE) INTO A
SINGLE LOT

2. DEMOLISH EXISTING STRUCTURES

3. CONSTRUCT A SINGLE MULTI-STORY, MULTI-FAMILY STRUCTURE

6. Use of site: Present, if any:

145 LIBRARY LANE: COMMERCIAL

149 LIBRARY LANE: RESIDENTIAL

Proposed: A SINGLE MULTI-STORY MULTI-FAMILY STRUCTURE

7. Covenants, easements or other restrictions to which site is subject, if any. List here, and submit pertinent documents, or state "None"

NONE

8. Area of site: 8,023.7 sq., or _____ acres

9. Application relates to: an existing building erected: (Date) _____ that (is) or (is not) conforming to Zoning Ordinances; a proposed use, or a Cert. of Occupancy. For existing building, CO issued: (date) _____; (No.) _____

10. Proposed gross floor area: 16,011 sf Existing gross floor area: 4,449 sf (TOTAL)

11. Number of existing parking spaces if any: 3 (TOTAL)

12. Proposed parking spaces: 12 (1 handicap) Total spaces: 13

13. Coastal Assessment Form

(See Sec. 240-28 of the Village code for additional information.)

13A.

Will the proposed action be located in, or contiguous to, or to have a significant effect upon any of the resource areas identified in the Local Waterfront Revitalization Program? (Numbers following each item refer to the LWRP policy which may be affected by the proposed activity):

	(Check)	Yes	or	No
1. Significant fish/ wildlife habitats (7, 7A, 44) (SEE COMMENTARY)				<input checked="" type="checkbox"/>
2. Flood Hazard Areas (11, 12, 17) (SEE COMMENTARY AT END)				<input checked="" type="checkbox"/>
3. Tidal or Freshwater Wetland (44) (SEE COMMENTARY AT END)				<input checked="" type="checkbox"/>
4. Scenic Resource (25)				<input checked="" type="checkbox"/>

5. Critical Environmental Areas (7, 7A, 8, 44) (SEE COMMENTARY)
6. Structures, sites or sites districts of historic, Archeological or cultural significance (23) (SEE COMMENTARY AT END)

<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>

13B.

Will the proposed action have a significant effect on any of the following?

1. Commercial or recreational use of the fish and wildlife resource (9, 10)
2. Development of the future or existing water-dependent uses (2)
3. Land and water uses (2, 4)
4. Existing or potential public recreation opportunities (2, 3)
5. Large physical change to a site within the coastal area which will require the preparation of an environmental impact statement (11, 13, 17, 19, 22, 25, 37, 38)
6. Physical alteration of one or more areas of land along the shoreline, land under water or coastal waters (11, 13, 17, 19, 22, 25, 37, 38)
7. Physical alteration of three or more acres of land located elsewhere in the coastal area (11, 12, 17, 33, 37, 38)
8. Sale or change in use of state-owned lands, located under water (2, 4, 19, 20, 21)
9. revitalization/redevelopment of deteriorated or underutilized waterfront site (1)
10. Reduction of existing or potential public access to or along coastal waters (19, 20)
11. Excavation or dredging activities or the placement of fill materials in coastal waters of Mamaroneck (35)
12. Discharge of toxic, hazardous substances, or other pollutants into coastal waters of Mamaroneck (34, 35, 36)
13. Draining of storm water runoff either directly into coastal waters of Mamaroneck or into any river or tributary which empties into them (33, 37)
14. Transport, storage, treatment or disposal of solid waste or hazardous materials (36, 39)
15. Development affecting a natural feature which provides protection against flooding or erosion (12)

<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>

13C.

Will the proposed activity require any of the following:

1. Waterfront site (2, 4, 6, 19, 20, 21, 22)
2. Construction or reconstruction of a flood or erosion control structure (13, 14)

<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>

14. Has this property been a subject of past Village Board, Planning Board or Zoning Board applications and/or approvals? If yes, please explain:

PRESUMABLY APPROVALS FOR THE EXISTING STRUCTURES

15. Are there any other discretionary actions before any other board within the Village? If yes, please explain:

SUBDIVISION, SITE PLAN AND SPECIAL USE PERMIT

HCZMC: CONSISTANCY JURISDICTION

Note: By signing this document the owner of the subject property grants permission for Village Officials and Planning Board members to conduct a site visit in connection with the review of this application.

The statements contained herein, as well as all information submitted in the application and any other supporting documents, are true to the best of my belief. *Garson Brothers Mamaroneck, LLC AND*

Applicant signature:

Jeffrey Garson and sons Development Company, LLC

Date: *6/16/17*

Owner's signature:

Brett Garson

Date: *6/16/17*

*Brett Garson, Managing member
Contract Vendee*

EXPLANATIONS TO RESPONSES:

13A1 PROJECT SITE IS APPROXIMATELY 400 FEET NORTHEAST OF THE LONG ISLAND SOUND. PROPOSED PROJECT REDUCES IMPERVIOUS SURFACES AND PROVIDES WATER QUALITY MITIGATION WHERE ~~THERE~~ THERE IS CURRENTLY NONE.

13A5 THE REFERENCED CEA IS THE LONG ISLAND SOUND AND IS NOT CONTIGUOUS TO THE PROJECT SITE WHICH IS APPROXIMATELY 400 FEET NORTH WEST OF THE SOUND

13A6 PROJECT SITE IS CURRENTLY DEVELOPED. NO NEW DISTURBANCES ARE PROPOSED.

13A3 THERE ARE NO ADJOINING WETLANDS TO THE PROJECT SITE. THE LONG ISLAND SOUND IS \pm 400 FEET SOUTHWEST OF THE SUBJECT PROPERTY

13A2 PROPERTY IS IN A FEMA CLASS 'X' NOT A DESIGNATED FLOOD ZONE. DEVELOPMENT OF SITE DOES NOT ALTER THE EXISTING TOPOGRAPHY

Special Use

**Village of Mamaroneck
Planning Board Application**

1. Zone: C-2 Section: 9 Block: 50 Lot: 6A

2. Project Address: 145 & 149 LIBRARY LANE

3. Owner's Address: KANE PARTNERS REALTY EMELIN THEATRE
1070 WASHINGTON AVE, PELHAM 1317 FLAGLER DR
Phone #: _____ Cell #: _____
Email: _____ MAMARONECK

4. Applicant or Owner's Representative:

Address: GARSON BROTHERS MAMARONECK, LLC
1180 MIDLAND AVE, SUITE 1G, BRONXVILLE
Phone #: (914) 337-7173 Cell #: _____
Email: BG@GARSONPROPERTY.COM

5. Description of work being proposed or action be requested:

1. MERGE THE TWO PROPERTIES (145 & 149 LIBRARY LANE) INTO A
SINGLE LOT
2. DEMOLISH EXISTING STRUCTURES
3. CONSTRUCT A SINGLE MULTI-STORY, MULTI-FAMILY STRUCTURE

6. Use of site: Present, if any: 145 LIBRARY LANE: COMMERCIAL
149 LIBRARY LANE: RESIDENTIAL

Proposed: A SINGLE MULTI-STORY MULTI-FAMILY STRUCTURE

7. Covenants, easements or other restrictions to which site is subject, if any. List here, and submit pertinent documents, or state "None"

NONE

8. Area of site: 8,023.7 sq., or _____ acres

9. Application relates to: an existing building erected: (Date) _____ that (is) or (is not) conforming to Zoning Ordinances; a proposed use, or a Cert. of Occupancy. For existing building, CO issued: (date) _____; (No.) _____

10. Proposed gross floor area: 16,011 sf Existing gross floor area: 4,449 sf (TOTAL)

11. Number of existing parking spaces if any: 3 (TOTAL)

12. Proposed parking spaces: 12 (1 handicap) Total spaces: 13

13. ~~Coastal~~ Assessment Form

(See Sec. 240-28 of the Village code for additional information.)

13A.

Will the proposed action be located in, or contiguous to, or to have a significant effect upon any of the resource areas identified in the Local Waterfront Revitalization Program? (Numbers following each item refer to the LWRP policy which may be affected by the proposed activity):

	(Check)	Yes	or	No
1. Significant fish/ wildlife habitats (7, 7A, 44) (SEE COMMENTARY)				✓
2. Flood Hazard Areas (11, 12, 17) (SEE COMMENTARY AT END)				✓
3. Tidal or Freshwater Wetland (44) (SEE COMMENTARY AT END)				✓
4. Scenic Resource (25)				✓

6. Structures, sites or sites districts of historic, Archeological or cultural significance (23) (SEE COMMENTARY AT END)

13B.

Will the proposed action have a significant effect on any of the following?

1. Commercial or recreational use of the fish and wildlife resource (9, 10)
2. Development of the future or existing water-dependent uses (2)
3. Land and water uses (2, 4)
4. Existing or potential public recreation opportunities (2, 3)
5. Large physical change to a site within the coastal area which will require the preparation of an environmental impact statement (11, 13, 17, 19, 22, 25, 37, 38)
6. Physical alteration of one or more areas of land along the shoreline, land under water or coastal waters (11, 13, 17, 19, 22, 25, 37, 38)
7. Physical alteration of three or more acres of land located elsewhere in the coastal area (11, 12, 17, 33, 37, 38)
8. Sale or change in use of state-owned lands, located under water (2, 4, 19, 20, 21)
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11. Excavation or dredging activities or the placement of fill materials in coastal waters of Mamaroneck (35)
12. Discharge of toxic, hazardous substances, or other pollutants into coastal waters of Mamaroneck (34, 35, 36)
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15. Development affecting a natural feature which provides protection against flooding or erosion (12)

13C.

Will the proposed activity require any of the following:

1. Waterfront site (2, 4, 6, 19, 20, 21, 22)
2. Construction or reconstruction of a flood or erosion control structure (13, 14)

14. Has this property been a subject of past Village Board, Planning Board or Zoning Board applications and/or approvals? If yes, please explain:

PRESUMABLY APPROVALS FOR THE EXISTING STRUCTURES

15. Are there any other discretionary actions before any other board within the Village? If yes, please explain:

SUBDIVISION, SITE PLAN AND SPECIAL USE PERMIT

HCZMC: CONSISTANCY JURISDICTION

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The statements contained herein, as well as all information submitted in the application and any other supporting documents, are true to the best of my belief. Garson Brothers Mamaroneck, LLC AND

Applicant signature:

Jeffrey Garson and sons Development Company, LLC Date: 6/16/17

Owner's signature:

Brett Garson
Brett Garson, Managing Member
Contract Vendor

Date: 6/16/17

EXPLANATIONS TO RESPONSES:

13A1 PROJECT SITE IS APPROXIMATELY 400 FEET NORTHEAST OF THE LONG ISLAND SOUND. PROPOSED PROJECT REDUCES IMPERVIOUS SURFACES AND PROVIDES WATER QUALITY MITIGATION WHERE ~~THERE~~ THERE IS CURRENTLY NONE.

13A5 THE REFERENCED CEA IS THE LONG ISLAND SOUND AND IS NOT CONTIGUOUS TO THE PROJECT SITE WHICH IS APPROXIMATELY 400 FEET NORTH WEST OF THE SOUND

13A6 PROJECT SITE IS CURRENTLY DEVELOPED. NO NEW DISTURBANCES ARE PROPOSED.

13A3 THERE ARE NO ADJOINING WETLANDS TO THE PROJECT SITE. THE LONG ISLAND SOUND IS \approx 400 FEET SOUTHEAST OF THE SUBJECT PROPERTY

13A2 PROPERTY IS IN A FEMA CLASS "X" NOT A DESIGNATED FLOOD ZONE. DEVELOPMENT OF SITE DOES NOT ALTER EXISTING TOPOGRAPHY

Subdivision

**Village of Mamaroneck
Planning Board Application**

1. Zone: C-2 Section: 9 Block: 50 Lot: 6A

2. Project Address: 145 & 149 LIBRARY LANE

3. Owner's Address: KANE PARTNERS REALTY EMELIN THEATRE

1070 WASHINGTON AVE, PELHAM 1317 FLAGLER DR

Phone #: _____ Cell #: MAMARONECK

Email: _____

4. Applicant or Owner's Representative:

Address: GARSON BROTHERS MAMARONECK, LLC

1180 MIDLAND AVE, SUITE 1G, BRONXVILLE

Phone #: (914) 337-7173 Cell #: _____

Email: BG@GARSONPROPERTY.COM

5. Description of work being proposed or action be requested:

1. MERGE THE TWO PROPERTIES (145 & 149 LIBRARY LANE) INTO A
SINGLE LOT

2. DEMOLISH EXISTING STRUCTURES

3. CONSTRUCT A SINGLE MULTI-STORY, MULTI-FAMILY STRUCTURE

6. Use of site: Present, if any:

145 LIBRARY LANE: COMMERCIAL

149 LIBRARY LANE: RESIDENTIAL

Proposed: A SINGLE MULTI-STORY MULTI-FAMILY STRUCTURE

7. Covenants, easements or other restrictions to which site is subject, if any. List here, and submit pertinent documents, or state "None"

NONE

8. Area of site: 8,023.7 sq., or _____ acres

9. Application relates to: an existing building erected: (Date) _____ that (is) or (is not) conforming to Zoning Ordinances; a proposed use, or a Cert. of Occupancy. For existing building, CO issued: (date) _____; (No.) _____

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(See Sec. 240-28 of the Village code for additional information.)

13A.

Will the proposed action be located in, or contiguous to, or to have a significant effect upon any of the resource areas identified in the Local Waterfront Revitalization Program? (Numbers following each item refer to the LWRP policy which may be affected by the proposed activity):

	(Check)	Yes	or	No
1. Significant fish/ wildlife habitats (7, 7A, 44) (SEE COMMENTARY)				✓
2. Flood Hazard Areas (11, 12, 17) (SEE COMMENTARY AT END)				✓
3. Tidal or Freshwater Wetland (44) (SEE COMMENTARY AT END)				✓
4. Scenic Resource (25)				✓

5. Critical Environmental Areas (7, 7A, 8, 44) (SEE COMMENTARY)
6. Structures, sites or sites districts of historic, Archeological or cultural significance (23) (SEE COMMENTARY AT END)

13B.

Will the proposed action have a significant effect on any of the following?

1. Commercial or recreational use of the fish and wildlife resource (9, 10)
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14. Transport, storage, treatment or disposal of solid waste or hazardous materials (36, 39)
15. Development affecting a natural feature which provides protection against flooding or erosion (12)

13C.

Will the proposed activity require any of the following:

1. Waterfront site (2, 4, 6, 19, 20, 21, 22)
2. Construction or reconstruction of a flood or erosion control structure (13, 14)

14. Has this property been a subject of past Village Board, Planning Board or Zoning Board applications and/or approvals? If yes, please explain:

PRESUMABLY APPROVALS FOR THE EXISTING STRUCTURES

15. Are there any other discretionary actions before any other board within the Village? If yes, please explain:

SUBDIVISION, SITE PLAN AND SPECIAL USE PERMIT

HCZMC: CONSISTANCY JURISDICTION

Note: By signing this document the owner of the subject property grants permission for Village Officials and Planning Board members to conduct a site visit in connection with the review of this application.

The statements contained herein, as well as all information submitted in the application and any other supporting documents, are true to the best of my belief. GARSON BROTHERS MAMARONECK, LLC AND

Applicant signature:

Jeffrey Garson and Sons Development Company, LLC Date: 6/16/17

Owner's signature:

Bret Garson, Managing member Date: 6/16/17
Contract vendee

EXPLANATIONS TO RESPONSES:

- 13A1 PROJECT SITE IS APPROXIMATELY 400 FEET NORTHEAST OF THE LONG ISLAND SOUND. PROPOSED PROJECT REDUCES IMPERVIOUS SURFACES AND PROVIDES WATER QUALITY MITIGATION WHERE ~~THERE~~ THERE IS CURRENTLY NONE.
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- 13A6 PROJECT SITE IS CURRENTLY DEVELOPED. NO NEW DISTURBANCES ARE PROPOSED.
- 13A3 THERE ARE NO ADJOINING WETLANDS TO THE PROJECT SITE. THE LONG ISLAND SOUND IS \pm 400 FEET SOUTHWEST OF THE SUBJECT PROPERTY
- 13A2 PROPERTY IS IN A FEMA CLASS 'X' NOT A DESIGNATED FLOOD ZONE. DEVELOPMENT OF SITE DOES NOT ALTER EXISTING TOPOGRAPHY

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information							
THE RESIDENCES AT LIBRARY LANE							
Name of Action or Project: THE RESIDENCES AT LIBRARY LANE							
Project Location (describe, and attach a location map): 145 & 149 LIBRARY LANE, VILLAGE OF MAMARONECK							
Brief Description of Proposed Action: REDEVELOPMENT OF TWO PROPERTIES: THE DEMOLITION OF EXISTING STRUCTURES AND THE CONSTRUCTION OF A SINGLE MULTI-STORY RESIDENTIAL STRUCTURE.							
Name of Applicant or Sponsor: GARSIB BRITGERS MAMARONECK, LLC (CONTRACT VENDEE)		Telephone: (914) 337-7173 E-Mail: BG@GARSONPROPERTY.COM					
Address: 1180 MIDLAND AVENUE, SUITE 1G							
City/PO: BRONXVILLE		State: NY	Zip Code: 10708				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">NO</td> <td style="text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: VILLAGE OF MAMARONECK: SITE PLAN, SUBDIVISION, SPECIAL USE PERMIT HCZM: CONSISTANCY JURISDICTION			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">NO</td> <td style="text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> </tr> </table>	NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NO	YES						
<input type="checkbox"/>	<input checked="" type="checkbox"/>						
3.a. Total acreage of the site of the proposed action?		0.184 acres					
b. Total acreage to be physically disturbed?		0.184 acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.184 acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland							

	NO	YES	N/A
5. Is the proposed action, a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: Name: Long Island Sound, Reason: Exceptional or unique character, Agency: Westchester County, Date: 1-31-99	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Are public transportation service(s) available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies:	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water:	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment:	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Is the proposed action located in an archeological sensitive area?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: PROJECT SITE IS APPROXIMATELY 400 FEET NORTH WEST OF THE LONG ISLAND SOUND. NATIONAL WETLAND INVENTORY MAPPING SHOWS NO WETLANDS ADJOINING THE PROJECT SITE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES PROJECT SITE REDUCES THE EXISTING IMPERVIOUS AREA, THEREBY REDUCING RUNOFF. IN ADDITION, A SUBSURFACE INFILTRATION SYSTEM WILL BE INSTALLED TO CAPTURE AND TREAT FOR WATER QUALITY. OVERFLOW WILL BE ADDRESSED VIA A DIRECT CONNECTION TO THE MUNICIPAL SYSTEM	NO <input type="checkbox"/>	YES <input type="checkbox"/>	

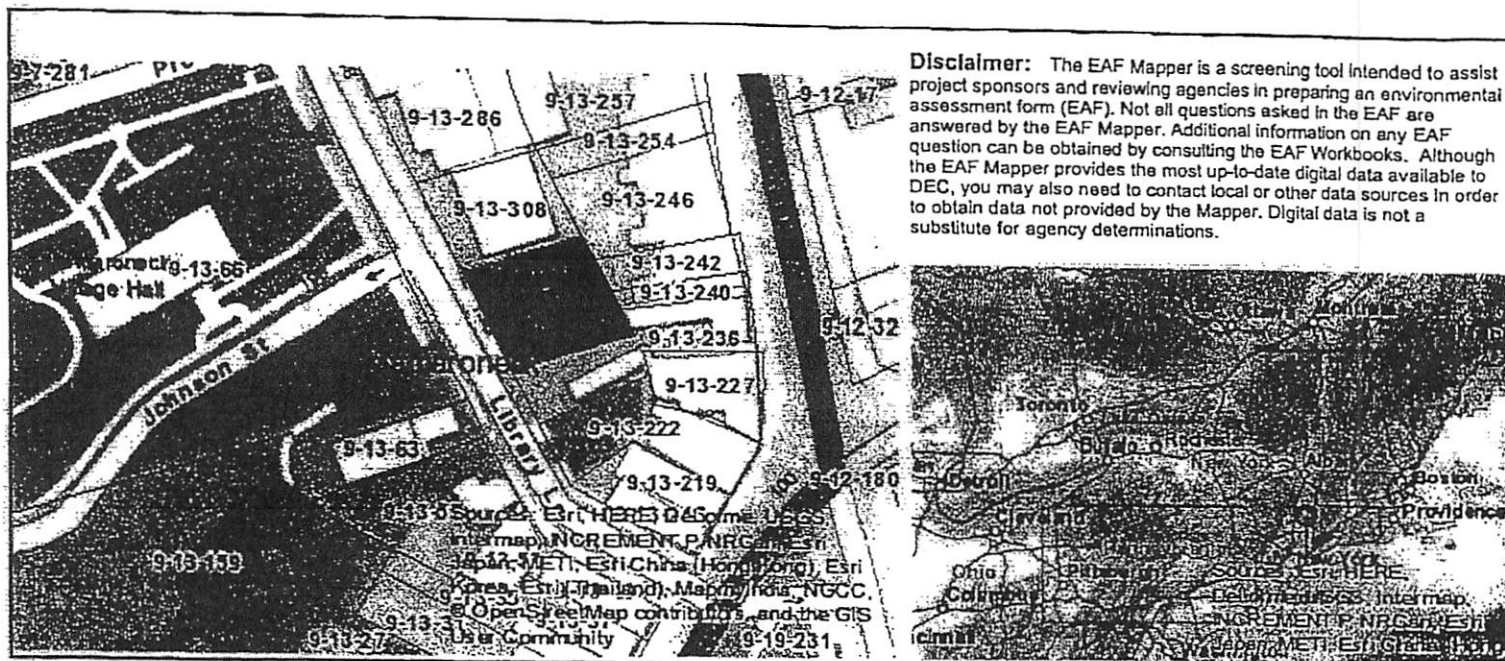
18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: <u>SEE PHASE 1 ENVIRONMENTAL REPORT, ATTACHED</u>	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>BRETT GARSON (CONTRACT VENDEE)</u>		Date: <u>6/16/17</u>
Signature: <u><i>Brett Garson</i></u>		

DISCUSSION

#7 CEA IS ASSOCIATED WITH THE LONG ISLAND SOUND WHICH IS NOT CONTIGUOUS TO THE SITE AND APPROXIMATELY 400' SOUTH EAST OF THE PROJECT

#13A ACCORDING TO THE NATIONAL WETLAND INVENTORY AND SIMILAR DOCUMENTATION/AUTHORITIES THERE ARE NO WETLANDS CONTIGUOUS OR IN PROXIMITY TO THE PROPERTY

#20 A PHASE 1 AND PHASE 2 ENVIRONMENTAL REPORT HAS BEEN COMPLETED. THE PHASE 2 REPORT CONCLUDED THAT THERE IS NO ADDITIONAL ENVIRONMENTAL WORK RECOMMENDED AT THE SITE.



Part 1 / Question 7 [Critical Environmental Area]	Yes
Part 1 / Question 7 [Critical Environmental Area - Identify]	Name: Long Island Sound, Reason: Exceptional or unique character, Agency: Westchester County, Date: 1-31-90
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

#7 CEA IS ASSOCIATED WITH THE LONG ISLAND SOUND, WHICH IS APPROX. 400' SOUTH EAST OF THE PROJECT SITE

13A ACCORDING TO THE NATIONAL WETLAND INVENTORY AND SIMILAR, THERE ARE NO WETLANDS ASSOCIATED WITH THE SUBJECT PROPERTY. SEE ALSO #7 ABOVE.

#20 A PHASE I ENVIRONMENTAL REPORT HAS BEEN CONDUCTED. THERE ARE NO REPORTS OF SPILLS OR REMEDIATION ASSOCIATED WITH THE PROPERTY. THERE ARE A NUMBER OF REMEDIATION REPORTS IN THE AREA. ON DECEMBER 2016 A PHASE II ENVIRONMENTAL STUDY WAS COMPLETED. THE REPORT CONCLUDED THAT NO ~~EN~~ ADDITIONAL ENVIRONMENTAL WORK IS RECOMMENDED AT ~~THE~~ THE SITE.



Village of Mamaroneck Building Department
169 Mt. Pleasant Avenue
Mamaroneck, N.Y. 10543
914-777-7731 Fax 914-777-7792
www.village.mamaroneck.ny.us

RECEIVED

OCT 4 2017

BUILDING DEPT.

Application # _____

Permit # _____

Building Permit Application

NOTE: Two sets of construction documents must be submitted with application.

1. Project address: <u>145 & 149 Library Lane</u>							
Zone	<u>C-2</u>	Section		Block		Lot	
Existing use Residential:	<input checked="" type="checkbox"/> Single Family	<input type="checkbox"/> 2 Family	<input type="checkbox"/> Other	<u>(14A)</u>			
Intended Use:	<input type="checkbox"/> Single Family	<input type="checkbox"/> 2 Family	<input checked="" type="checkbox"/> Other				
Existing Use Commercial:	<input type="checkbox"/> Multi Family How Many?	<input type="checkbox"/> Retail	<input type="checkbox"/> Restaurant	<input checked="" type="checkbox"/> Business	<u>(14S)</u>		
<input type="checkbox"/> Other (Please specify)							
Intended Use:	<input checked="" type="checkbox"/> Multi Family How Many?	<input type="checkbox"/> Retail	<input type="checkbox"/> Restaurant	<input type="checkbox"/> Business			
<input type="checkbox"/> Other (Please specify)							
Is This a Non Conforming Use?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No (Please specify)					
Estimated cost:		Application Fee:		Permit Fee:			
2. Description of work: <u>To Construct a 9 unit (4 story) Apartment building with parking on the ground level</u>							
3. Owners name and address : <u>(14S) Kane Partners Realty LLC</u> <u>1070 Washington Ave</u> <u>Pelham, NY</u> <u>(14A) Emslin Theater</u> <u>1317 Flagler Drive</u> <u>Mamaroneck, NY</u> Phone #: _____							
4. Applicant name and address : <u>Jeffrey Gerson & Son Development Company LLC</u> <u>1180 Midland Ave. Suite 1G</u> <u>Bronxville, NY</u> E-Mail Address : <u>BG@gersonproperty.com</u> Phone #: <u>914-337-7173</u>							
5. Applicant Name (Please print):				Applicants Singlture:			
6. Is this a new residential house? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Addition <input type="checkbox"/> Alteration							
7. Is this a new commercial building? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Addition <input type="checkbox"/> Alteration							
8. Municipal sewer ? <u>ups</u> Septic system?(If applicable, attached Health Dept. approval)							
9. Is this structure with in the flood plain? <input type="checkbox"/> If yes, please file a Flood Development Permit							
10. Is this project with in the tidal wetland or buffer? <input type="checkbox"/> If yes, please file a wetland activity permit.							
11. Is this project with in the fresh water wetland or buffer? <input type="checkbox"/> If yes, please file a wetland activity permit.							
12. Is there a disturbance of land greater than 1,000 square feet ? <input type="checkbox"/> If yes, please file a SWPPP permit per section 294.							
13. Topography: <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Hilly <input type="checkbox"/> Rocky <input type="checkbox"/> Steep Incline <input type="checkbox"/> Other							
14. Do you require any other board approvals? If yes please check which boards you require bellow. <input type="checkbox"/> BAR <input type="checkbox"/> Zoning <input checked="" type="checkbox"/> Planning <input type="checkbox"/> HCZM <input type="checkbox"/> Other							

15. Architect/Engineer name and address:

Joseph R. Crocco Architects
4 MacDonald Ave. Ste 5
Armonk, NY 10504

Phone #: 914-273-2774

16. Contractor name and address:

License # :
Expiration date:

Phone #:

17. Electrician name and address:

License # :
Expiration date:

Phone #:

18. Plumbers name and address:

License # :
Expiration date:

Phone #:

19. State of New York
County of Westchester

I _____ being duly sworn deposes and says
(Name of Applicant)

He/ She is the _____ of said property, and duly authorized
(Owner, Contractor, Agent or Corporate officer)

to perform or have performed the said work and to file this application: that all statements contained in this application are true to the best of my knowledge and belief, and that the work will be performed in the manner set forth in the application in the plans and specification filed therewith and in full compliance with New York State Codes.

Sworn to before me this _____ day of _____, 20_____
(Signature of Notary)

Do not write below this line office use only

Received By: _____

- ☐ Residential Application Fee 60.00
- ☐ Commercial Application Fee \$100.00
- ☐ License:
- ☐ Insurance:
- ☐ 2 Sets of drawings:
- ☐ EAS:
- ☐ Flood Plain Development Application if required

- ☐ Residential Permit Fee
- ☐ Commercial Permit Fee
- ☐ CO or cc Fee

Building Inspector approval: _____

Date approved: _____

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

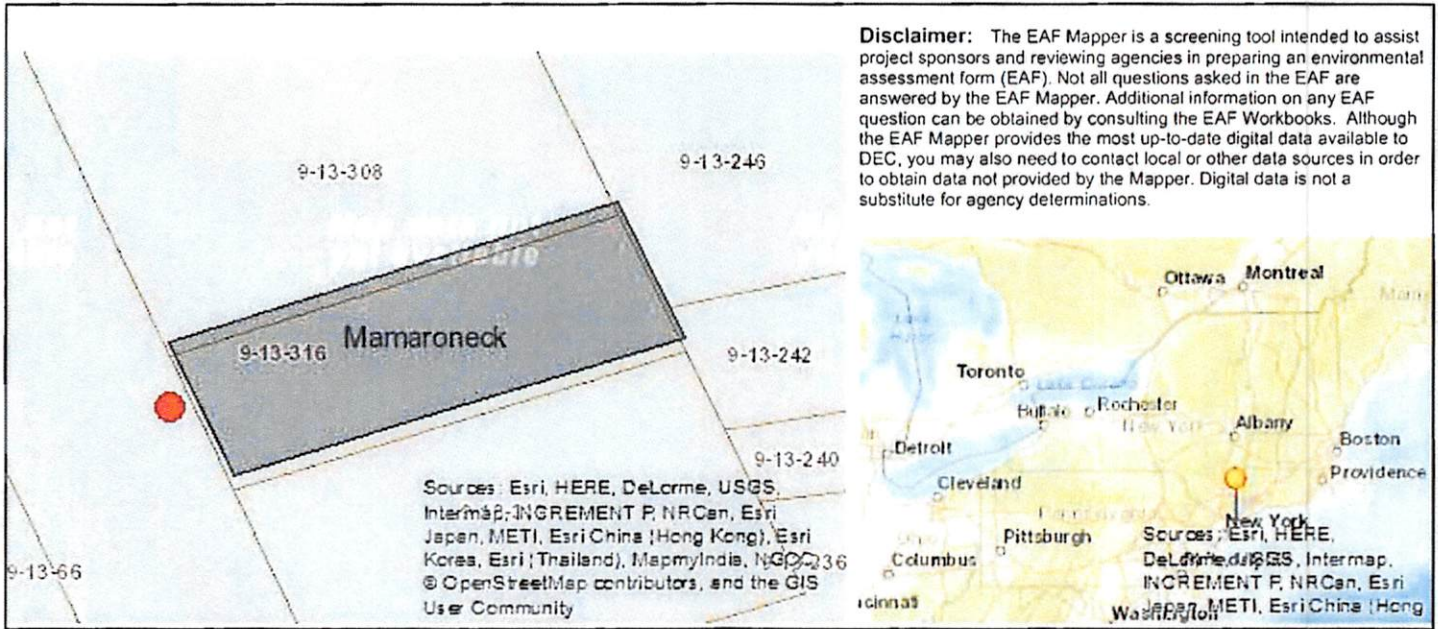
Part 1 - Project and Sponsor Information							
145- Kane Partners Realty LLC: 1070 Washington Ave. Pelham, NY 149- Emlin Theater 1317 Flagler Drive Mamaroneck, NY							
Name of Action or Project: THE RESIDENCES AT LIBRARY LANE							
Project Location (describe, and attach a location map): 145 & 149 LIBRARY LANE, VILLAGE OF MAMARONECK, NY							
Brief Description of Proposed Action: REDEVELOPMENT OF AN EXISTING PROPERTY THROUGH THE CONSTRUCTION OF A MULTI-STORY RESIDENTIAL BUILDING							
Name of Applicant or Sponsor: GARSON BROTHERS MAMARONECK, LLC		Telephone: E-Mail:					
Address: 1180 MIDLAND AVENUE, SUITE 1G							
City/PO: BRONXVILLE		State: NEW YORK	Zip Code: 10708				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">NO</td> <td style="text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">NO</td> <td style="text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3.a. Total acreage of the site of the proposed action?		0.0669 acres					
b. Total acreage to be physically disturbed?		0.0669 acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.0669 acres					
4. Check all land uses that occur on, adjoining and near the proposed action.							
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland							

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	N/A <input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: Name: Long Island Sound, Reason: Exceptional or unique character, Agency: Westchester County, Date: 1-31-90	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies:	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water:	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment:	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES <u>PROJECT RESULTS IN A NET REDUCTION IN IMPERVIOUS SURFACES. MITIGATION WILL BE IN THE FORM OF WATER QUALITY TREATMENT</u>	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>BRETT GARSON</u> Date: _____ Signature: _____		

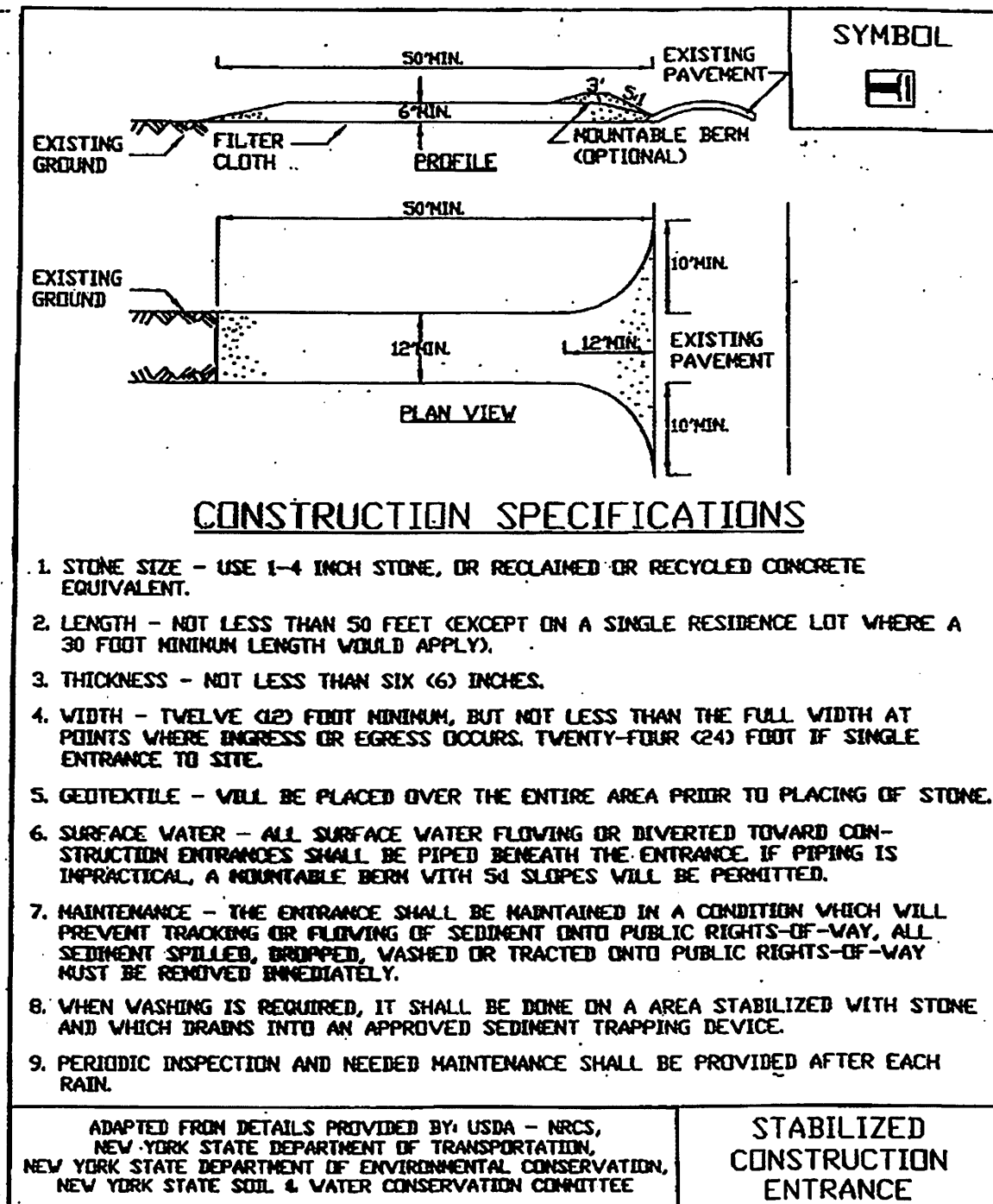
EAF Mapper Summary Report

Wednesday, April 26, 2017 1:55 PM



Part 1 / Question 7 [Critical Environmental Area]	Yes
Part 1 / Question 7 [Critical Environmental Area - Identify]	Name:Long Island Sound, Reason:Exceptional or unique character, Agency:Westchester County, Date:1-31-90
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

Figure 5A.35
Stabilized Construction Entrance



Village of Mamaroneck
AFFIDAVIT OF FINAL COST

DATE: _____

BUILDING PERMIT # _____

SECTION: _____ **BLOCK:** _____ **LOT:** _____

PROPERTY ADDRESS: _____

OWNERS NAME AND ADDRESS: _____

STATE OF NEW YORK }
COUNTY OF WESTCHESTER }

I _____, residing at _____

Being duly sworn deposes and says: I am the () owner, () agent, () contractor, on record of the subject property, and responsible for the cost of the above building permit improvements and I hereby state that the total cost of improvements including all contractor and sub-contractor fees was \$_____.

Signature _____

Sworn to before me this _____ day of _____, 20_____

Notary _____

Upon final review, the Building Inspector and of his designee may require the proper documentation from the owner to furnish all contracts and invoices for the above improvements. This also allows the Village of Mamaroneck at any point in time to audit the above project.

Fees for the cost in excess of those stated on the Building Permit application will be paid upon submission of this form.

BELOW OFFICE USE ONLY

Estimated Cost \$ _____

Amount Owed \$ _____

Received BY _____

RECEIVED

OCT 4 2017

Coastal Assessment Form – Narrative

BUILDING DEPT.

Compliance with LWRP Policies

INSTRUCTIONS-Please indicate how your project complies with each LWRP policy. If a policy does not pertain to your project, please indicate "N/A." A response must be provided for each policy. If additional space for responses is needed, please add an addendum. The Village of Mamaroneck LWRP can be viewed at www.mamaroneck.ny.us

Development Policies

Policy 1. Restore, revitalize, and redevelop deteriorated and under-utilized waterfront areas.

N/A. Subject property is not in a water front area.

Policy 2. Facilitate the siting of water-dependent uses and facilities on or adjacent to coastal waters.

N/A. Project is a housing development and is neither water dependent or adjacent to coastal waters.

Policy 3. Not applicable.

Policy 4. Strengthen the economic base of smaller harbor areas by encouraging the development and enhancement of those traditional uses and activities which have provided such areas with their unique maritime identity.

N/A. We are an inland site not fronting on the harbor.

Policy 5. Not applicable.

Policy 6. Expedite permit procedures in order to facilitate the siting of development activities at suitable locations.

We have provided a roof top garden which we believe will have a view of the water.

Fish and Wildlife Policies

Policy 7. Significant coastal fish and wildlife habitats, as identified on the N.Y. Coastal Area Map (when finalized), shall be protected, preserved, and where practical, restored so as to maintain their viability as habitats.

N/A. Parcel is approximately four hundred feet from the
harbor. However stormwater management program will be
provided where there is currently none.

Policy 7a. Significant coastal fish and wildlife habitats, as identified in this document, shall be protected, preserved, and where practical, restored so as to maintain their viability as habitats.

N/A. We will have no effect.

Policy 8. Protect fish and wildlife resources in the coastal area from the introduction of hazardous wastes and other pollutants which accumulate in the food chain or which cause significant sub-lethal or lethal effect on those resources.

Our storm drainage goes through a system that will prevent
any pollutants from entering the bay.

Policy 9. Expand recreational use of fish and wildlife resources in coastal areas by increasing access to existing resources, supplementing existing stocks and developing new resources.

N/A. Our tenants will have access to recreational use
of fish and wildlife/

Policy 10. Further develop commercial finfish, shell-fish and crustacean resources in the coastal area.

N/A. We will have no effect

Flooding and Erosion Hazards Policies

Policy 11. Buildings and other structures will be sited in the coastal area so as to minimize damage to property and the endangering of human lives caused by flooding and erosion.

Project is a redevelopment project there by replacing
deteriorating structures for housing and avoiding new
disturbances in coastal area.

Policy 12. Activities or development in the coastal area will be undertaken so as to minimize damage to natural resources and property from flooding and erosion by protecting natural protective features.

Project re-uses existing developed lands, with no need to
extend new infrastructure typically associated with erosion.

Policy 13. The construction and reconstruction of erosion protection structures shall be undertaken only if they have a reasonable probability of controlling erosion for at least thirty years.

Project is constructing erosion control practices on-site
where non presently exists.

Policy 14. Activities and development, including the construction or reconstruction of erosion protection structures, shall be undertaken so that there will be no measurable increase in erosion or flooding at the site of such activities or development.

Project reduces impervious areas thereby reducing runoff.

Policy 15. Not applicable.

Policy 16. Not applicable.

Policy 17. Wherever possible, use nonstructural measures to minimize damage to natural resources and property from flooding and erosion.

Project is reducing impervious area on a site that is presently
100% impervious. On-site water quality measures will be installed

General

Policy 18. To safeguard the vital economic, social and environmental interests of the State and the Village of Mamaroneck, proposed major actions in the coastal area must give full consideration to those interests, and to the safeguards which the State and this Village have established to protect valuable coastal resource areas.

N/A. Stringent management of storm drainage leaving site.

Public Access Policies

- Policy 19. Protect, maintain and increase the levels and types of access to public water related recreation resources and facilities so that these resources and facilities may be fully utilized by all the public in accordance with reasonably anticipated public recreation needs and the protection of historic and natural resources. In providing such access, priority shall be given to public beaches, boating facilities, fishing areas, and waterfront parks.

N/A. No Effect

- Policy 20. Access to the publicly-owned foreshore and to lands immediately adjacent to the foreshore or the water's edge that are publicly owned shall be provided, and it should be provided in a manner compatible with adjoining uses. Such lands shall be retained in public ownership.

N/A. Our development will not change this.

Recreation Policies

- Policy 21. Water-dependent and water-enhanced recreation shall be encouraged and facilitated and shall be given priority over non-water-related uses along the coast, provided it is consistent with the preservation and enhancement of other coastal resources and takes into account demand for such facilities. In facilitating such activities, priority shall be given to areas where access to the recreation opportunities of the coast can be provided by new or existing public transportation services and to those areas where the use of the shore is severely restricted by existing development. In addition, water-dependent recreation uses shall have a higher priority over water-enhanced recreation uses.

N/A We Agree

- Policy 22. Development, when located adjacent to the shore, shall provide for water-related recreation, as a multiple use, whenever such recreational use is appropriate in light of reasonably anticipated demand for such activities and the primary purpose of the of the development. In the Village of Mamaroneck, this also applies to redevelopment of waterfront property.

N/A We Agree.

Policy 23. Protect, enhance and restore structures, districts, areas, or sites that are of significance in the history, architecture, or archeology or culture of the Village of Mamaroneck. The project involves the demolition of two non- distinct structures which are of no significance as defined in this policy.

Scenic Quality Policies

Policy 24. Not applicable.

Policy 25. Prevent impairment of scenic resources of Statewide or local significance. *Note Harbor Island Park is a scenic resource of local significance.

Project will no be visible from harbor island park.

Policy 26. (Agricultural Lands Policy) Not applicable.

Energy and Ice Management Policies

Policy 27. Not included.

Policy 28. Not applicable.

Policy 29. Not included.

Water and Air Resources Policies

Policy 30. Municipal, industrial, and commercial discharge of pollutants, including but not limited to, toxic and hazardous substances, and sewage, into coastal waters will conform to State and National water quality standards.

The project is a multi-family structure which does not discharge hazardous substances.

Policy 31. State coastal area policies and purposes of approved Local Waterfront Revitalization Programs will be considered while modifying water quality standards; however, those waters already overburdened with contaminants will be recognized as being a development constraint.

Property is currently developed with no water quality systems in-place. Proposed action will reduce runoff and provide water quality mitigation while none currently exists.

Policy 32. Not applicable.

Policy 33. Best Management Practices will be used to ensure the control of stormwater runoff and combined sewer overflows draining into coastal waters.
Best management practices are integral part of the property's redevelopment.

Policy 34. Discharge of waste materials from vessels into coastal waters will be limited so as to protect significant fish and wildlife habitats, recreational areas and water supply areas.
The project will not discharge waste materials into coastal waters.

Policy 35. Dredging and dredge spoil disposal in coastal waters will be undertaken in a manner that meets existing State dredging permit requirements, and protects significant fish and wildlife habitats, scenic resources, natural protective features, important agricultural lands, and wetlands.

The project does not involve dredging operations of any sort.

Policy 36. Activities related to the shipment and storage of petroleum and other hazardous materials will be conducted in a manner that will prevent or at least minimize spills into coastal waters; all practicable efforts will be undertaken to expedite the cleanup of such discharges; and restitution for damages will be required when these spills occur.

The project does not involve the shipment or storage of petroleum or other hazardous materials

Policy 37. Best Management Practices will be utilized to minimize the nonpoint discharge of excess nutrients, organics and eroded soils into coastal waters.

The project will not consist of non point discharges of excess nutrients, organics or eroded soils into coastal waters.

Policy 38. The quality and quantity of surface water and groundwater supplies will be conserved and protected, particularly where such waters constitute the primary or sole source of water supply.

The project does not involve surface water or ground water supplies.

Policy 39. The transport, storage, treatment and disposal of solid wastes, particularly hazardous wastes, within coastal areas, will be conducted in such a manner so as to protect groundwater and surface water supplies, significant fish and wildlife habitats, recreation areas, important agricultural land and scenic resources.

The project will only be involved with the typical house hold
waste typically referred to as garbage.

Policy 40. Not applicable.

Policy 41. Not included.

Policy 42. Not included.

Policy 43. Not included.

Policy 44. Preserve and protect tidal and freshwater wetlands and preserve the benefits derived from these areas.

There are no wetlands or tidal wetlands in proximity of the
project.

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name GARSON BROTHERS MAMARONECK, LLC (VENDEE)				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 145 & 149 LIBRARY LANE				Company NAIC Number:	
City (V) MAMARONECK		State New York		ZIP Code 10543	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) 9-913-316					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>RESIDENTIAL (PROPOSED)</u>					
A5. Latitude/Longitude: Lat. <u>4533877.387</u> Long. <u>606555.775</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number _____					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) _____ 0 sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A8.b _____ 0 sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage _____ NA sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>NA</u>					
c) Total net area of flood openings in A9.b _____ NA sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No					
SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number VILLAGE OF MAMARONECK 360916			B2. County Name WESTCHESTER		B3. State New York <input checked="" type="checkbox"/>
B4. Map/Panel Number 36119C0353	B5. Suffix F	B6. FIRM Index Date 0	B7. FIRM Panel Effective/ Revised Date 09/28/07	B8. Flood Zone(s) X	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) NA
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

R

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.			Policy Number:	
City	State	ZIP Code	Company NAIC Number	

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: ☒ Construction Drawings* ☐ Building Under Construction* ☐ Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: _____ Vertical Datum: _____

Indicate elevation datum used for the elevations in items a) through h) below.

☐ NGVD 1929 ☐ NAVD 1988 ☐ Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

- | | | | |
|---|-------|-------------------------------|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) | _____ | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor | _____ | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | _____ | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) | _____ | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) | _____ | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) | _____ | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) | _____ | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including
structural support | _____ | <input type="checkbox"/> feet | <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? ☐ Yes ☐ No ☐ Check here if attachments.

Certifier's Name
NATHANIEL J HOLT

License Number

Title
CONSULTING ENGINEER

Company Name
HOLT ENGINEERING @ CONSULTING

Address
540 NW UNIVERSITY BLVD, SUITE 105

City
PORT ST LUCIE

State
Florida

ZIP Code
☒ 34986

Signature

Date
5/17/17

Telephone
914 760 1800

Ext.



Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)

CONSTRUCTION OF A NEW BUILDING, WHICH WILL HAVE THE LOWEST FLOOR ELEVATION AT 36.5 ABOVE MSL. ALL EXISTING STRUCTURES TO BE DEMOLISHED

R

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.			Policy Number:	
City	State	ZIP Code	Company NAIC Number	

SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ ☐ feet ☐ meters ☐ above or ☐ below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E3. Attached garage (top of slab) is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

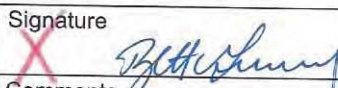
Property Owner or Owner's Authorized Representative's Name
BRETT GARSON

Address
1180 MIDLAND AVENUE

City
BRONXVILLE

State
New York

ZIP Code
☒ 10708

Signature


Date
5/22/17

Telephone
(914) 337 7173

Comments
GARSON BROTHERS MAMARONECK, LLC ARE CONTRACT VENDESS CURRENTLY SEEKING SITE PLAN APPROVAL FROM THE VILLAGE OF MAMARONECK TO CONSTRUCT THE NEW APARTMENT BUILDING

☐ Check here if attachments.

R

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.			Policy Number:
City	State	ZIP Code	Company NAIC Number

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1. ☐ The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. ☐ A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. ☐ The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued
-------------------	------------------------	---

- G7. This permit has been issued for: ☐ New Construction ☐ Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: _____ ☐ feet ☐ meters Datum _____
- G9. BFE or (in Zone AO) depth of flooding at the building site: _____ ☐ feet ☐ meters Datum _____
- G10. Community's design flood elevation: _____ ☐ feet ☐ meters Datum _____

Local Official's Name	Title
Community Name	Telephone
Signature	Date

Comments (including type of equipment and location, per C2(e), if applicable)

☐ Check here if attachments.

R

ELEVATION CERTIFICATE

BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.

FOR INSURANCE COMPANY USE

Policy Number:

City

State

ZIP Code



Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.

Photo One

Photo One

Photo One Caption

Clear Photo One

Photo Two

Photo Two

Photo Two Caption

Clear Photo Two

R

ELEVATION CERTIFICATE

BUILDING PHOTOGRAPHS

Continuation Page

OMB No. 1660-0008

Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.			Policy Number:
City	State	ZIP Code	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

Photo Three

Photo Three

Photo Three Caption

Clear Photo Three

Photo Four

Photo Four

Photo Four Caption

Clear Photo Four

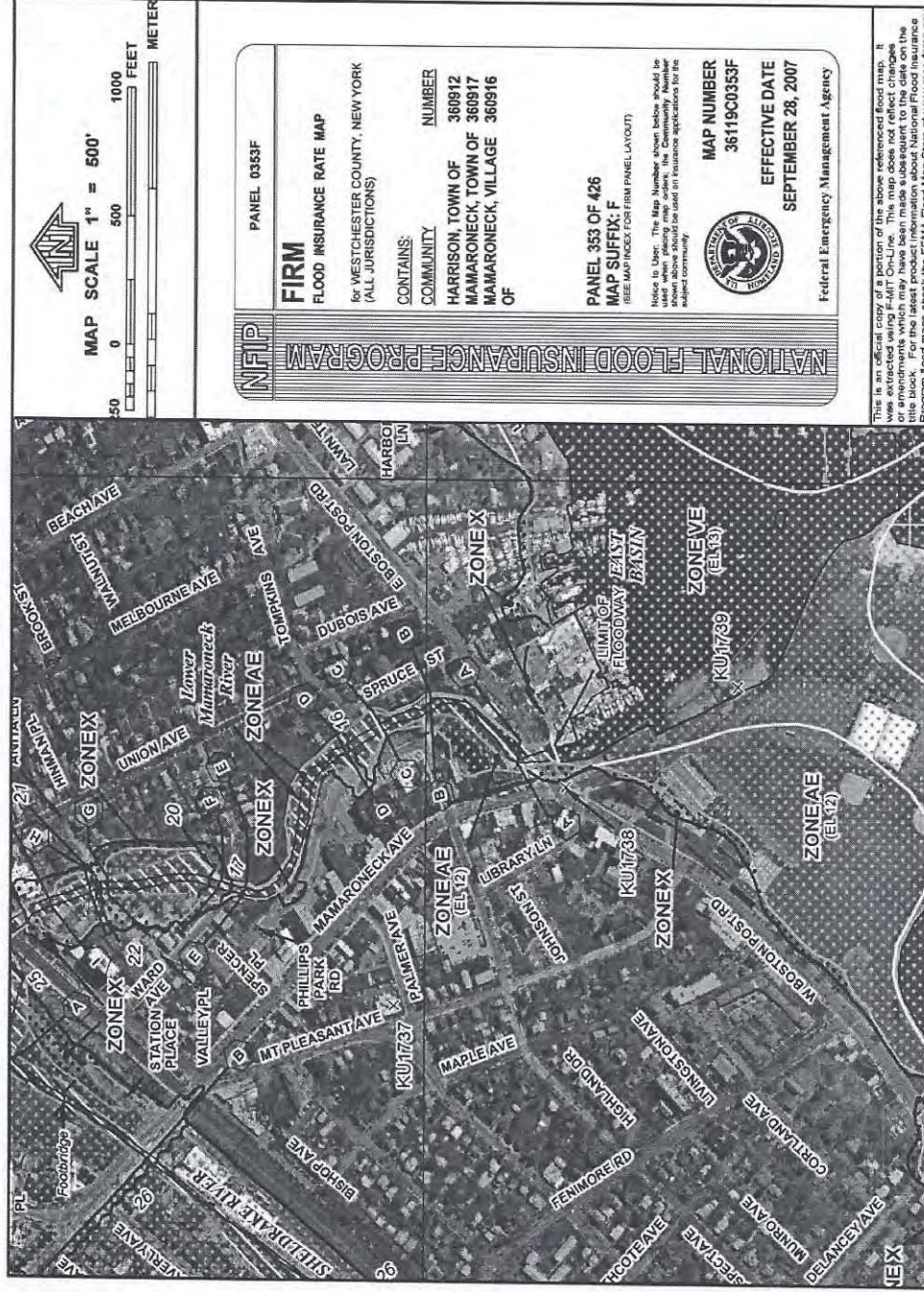
R



Save
your FIRMette

Back

R



ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name GARSON BROTHERS MAMARONECK, LLC (VENDEE)				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 145 & 149 LIBRARY LANE				Company NAIC Number:	
City (V) MAMARONECK		State New York		ZIP Code 10543	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) 9-913-316					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>RESIDENTIAL (PROPOSED)</u>					
A5. Latitude/Longitude: Lat. <u>4533877.387</u> Long. <u>606555.775</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number _____					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) _____ 0 sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade 0					
c) Total net area of flood openings in A8.b _____ 0 sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage _____ NA sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade NA					
c) Total net area of flood openings in A9.b _____ NA sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No					
SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number VILLAGE OF MAMARONECK 360916			B2. County Name WESTCHESTER		B3. State New York
B4. Map/Panel Number 36119C0353	B5. Suffix F	B6. FIRM Index Date 0	B7. FIRM Panel Effective/ Revised Date 09/28/07	B8. Flood Zone(s) X	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) NA
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

R

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.

City

State

ZIP Code



FOR INSURANCE COMPANY USE

Policy Number:

Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: ☒ Construction Drawings* ☐ Building Under Construction* ☐ Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO.
Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: _____ Vertical Datum: _____

Indicate elevation datum used for the elevations in items a) through h) below.

☐ NGVD 1929 ☐ NAVD 1988 ☐ Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

	Check the measurement used.
a) Top of bottom floor (including basement, crawlspace, or enclosure floor) _____	<input type="checkbox"/> feet <input type="checkbox"/> meters
b) Top of the next higher floor _____	<input type="checkbox"/> feet <input type="checkbox"/> meters
c) Bottom of the lowest horizontal structural member (V Zones only) _____	<input type="checkbox"/> feet <input type="checkbox"/> meters
d) Attached garage (top of slab) _____	<input type="checkbox"/> feet <input type="checkbox"/> meters
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments) _____	<input type="checkbox"/> feet <input type="checkbox"/> meters
f) Lowest adjacent (finished) grade next to building (LAG) _____	<input type="checkbox"/> feet <input type="checkbox"/> meters
g) Highest adjacent (finished) grade next to building (HAG) _____	<input type="checkbox"/> feet <input type="checkbox"/> meters
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support _____	<input type="checkbox"/> feet <input type="checkbox"/> meters

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? ☐ Yes ☐ No ☐ Check here if attachments.

Certifier's Name
NATHANIEL J HOLT

License Number

Title
CONSULTING ENGINEER

Company Name
HOLT ENGINEERING @ CONSULTING

Address
540 NW UNIVERSITY BLVD, SUITE 105

City
PORT ST LUCIE

State
Florida

ZIP Code
☒ 34986

Signature

Date
5/17/17

Telephone
914 760 1800

Ext.



Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)

CONSTRUCTION OF A NEW BUILDING, WHICH WILL HAVE THE LOWEST FLOOR ELEVATION AT 36.5 ABOVE MSL. ALL EXISTING STRUCTURES TO BE DEMOLISHED

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.

FOR INSURANCE COMPANY USE

Policy Number:

City

State

ZIP Code



Company NAIC Number

SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ ☐ feet ☐ meters ☐ above or ☐ below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E3. Attached garage (top of slab) is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

BRETT GARSON

Address

1180 MIDLAND AVENUE

City

BRONXVILLE

State

New York

ZIP Code

10708

Signature

Date

5/22/17

Telephone

(914) 337-7173

Comments

GARSON BROTHERS MAMARONECK, LLC ARE CONTRACT VENDESS CURRENTLY SEEKING SITE PLAN APPROVAL FROM THE VILLAGE OF MAMARONECK TO CONSTRUCT THE NEW APARTMENT BUILDING

☐ Check here if attachments.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.			Policy Number:	
City	State	ZIP Code	Company NAIC Number	

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1. ☐ The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. ☐ A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. ☐ The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued
-------------------	------------------------	---

- G7. This permit has been issued for: ☐ New Construction ☐ Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: _____ ☐ feet ☐ meters Datum _____
- G9. BFE or (in Zone AO) depth of flooding at the building site: _____ ☐ feet ☐ meters Datum _____
- G10. Community's design flood elevation: _____ ☐ feet ☐ meters Datum _____

Local Official's Name	Title
-----------------------	-------

Community Name	Telephone
----------------	-----------

Signature	Date
-----------	------

Comments (including type of equipment and location, per C2(e), if applicable)

☐ Check here if attachments.

R

ELEVATION CERTIFICATE**BUILDING PHOTOGRAPHS**

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.**FOR INSURANCE COMPANY USE**

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.

Policy Number:

City

State

ZIP Code



Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.

Photo One

Photo One

Photo One Caption

Clear Photo One

Photo Two

Photo Two

Photo Two Caption

Clear Photo Two

R

ELEVATION CERTIFICATE**BUILDING PHOTOGRAPHS**

Continuation Page

OMB No. 1660-0008

Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.**FOR INSURANCE COMPANY USE**

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.

Policy Number:

City

State

ZIP Code



Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

Photo Three

Photo Three

Photo Three Caption

Clear Photo Three

Photo Four

Photo Four

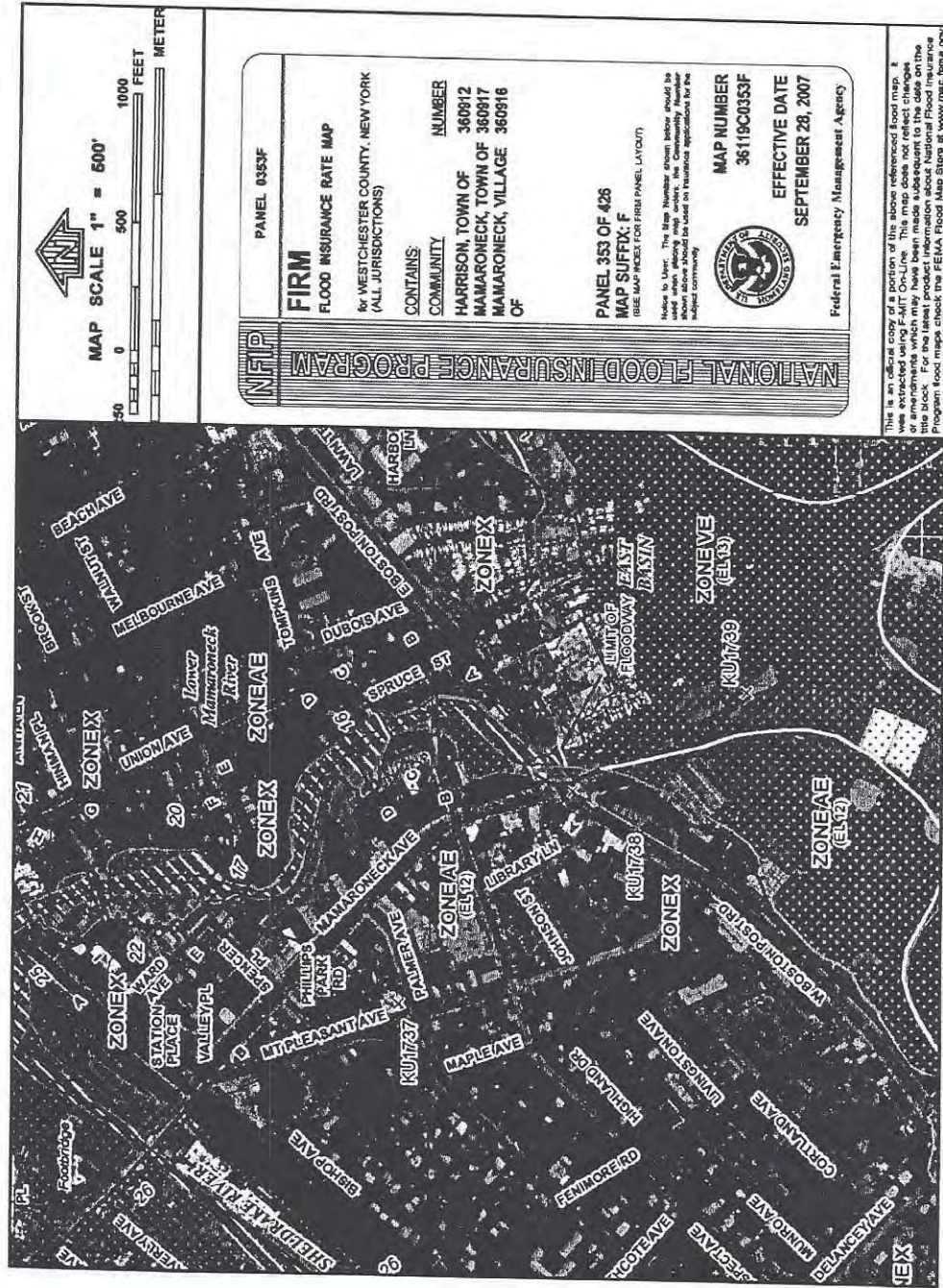
Photo Four Caption

Clear Photo Four

R



FEMA



U.S. DEPARTMENT OF HOMELAND SECURITY
Federal Emergency Management Agency
National Flood Insurance Program

ELEVATION CERTIFICATE AND INSTRUCTIONS

Paperwork Reduction Act Notice

Public reporting burden for this data collection is estimated to average 3.75 hours per response. The burden estimate includes the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and submitting this form. You are not required to respond to this collection of information unless a valid OMB control number is displayed on this form. Send comments regarding the accuracy of the burden estimate and any suggestions for reducing the burden to: Information Collections Management, Department of Homeland Security, Federal Emergency Management Agency, 1800 South Bell Street, Arlington, VA 20598-3005, Paperwork Reduction Project (1660-0008). **NOTE: Do not send your completed form to this address.**

Privacy Act Statement

Authority: Title 44 CFR § 61.7 and 61.8.

Principal Purpose(s): This information is being collected for the primary purpose of estimating the risk premium rates necessary to provide flood insurance for new or substantially improved structures in designated Special Flood Hazard Areas.

Routine Use(s): The information on this form may be disclosed as generally permitted under 5 U.S.C. § 552a(b) of the Privacy Act of 1974, as amended. This includes using this information as necessary and authorized by the routine uses published in DHS/FEMA-003 – National Flood Insurance Program Files System or Records Notice 73 Fed. Reg. 77747 (December 19, 2008); DHS/FEMA/NFIP/LOMA-1 – National Flood Insurance Program (NFIP) Letter of Map Amendment (LOMA) System of Records Notice 71 Fed. Reg. 7990 (February 15, 2006); and upon written request, written consent, by agreement, or as required by law.

Disclosure: The disclosure of information on this form is voluntary; however, failure to provide the information requested may result in the inability to obtain flood insurance through the National Flood Insurance Program or the applicant may be subject to higher premium rates for flood insurance. Information will only be released as permitted by law.

Purpose of the Elevation Certificate

The Elevation Certificate is an important administrative tool of the National Flood Insurance Program (NFIP). It is to be used to provide elevation information necessary to ensure compliance with community floodplain management ordinances, to determine the proper insurance premium rate, and to support a request for a Letter of Map Amendment (LOMA) or Letter of Map Revision based on fill (LOMR-F).

The Elevation Certificate is required in order to properly rate Post-FIRM buildings, which are buildings constructed after publication of the Flood Insurance Rate Map (FIRM), located in flood insurance Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, and AR/AO. The Elevation Certificate is not required for Pre-FIRM buildings unless the building is being rated under the optional Post-FIRM flood insurance rules.

As part of the agreement for making flood insurance available in a community, the NFIP requires the community to adopt floodplain management regulations that specify minimum requirements for reducing flood losses. One such requirement is for the community to obtain the elevation of the lowest floor (including basement) of all new and substantially improved buildings, and maintain a record of such information. The Elevation Certificate provides a way for a community to document compliance with the community's floodplain management ordinance.

Use of this certificate does not provide a waiver of the flood insurance purchase requirement. Only a LOMA or LOMR-F from the Federal Emergency Management Agency (FEMA) can amend the FIRM and remove the Federal mandate for a lending institution to require the purchase of flood insurance. However, the lending institution has the option of requiring flood insurance even if a LOMA/LOMR-F has been issued by FEMA. The Elevation Certificate may be used to support a LOMA or LOMR-F request. Lowest floor and lowest adjacent grade elevations certified by a surveyor or engineer will be required if the certificate is used to support a LOMA or LOMR-F request. A LOMA or LOMR-F request must be submitted with either a completed FEMA MT-EZ or MT-1 package, whichever is appropriate.

This certificate is used only to certify building elevations. A separate certificate is required for floodproofing. Under the NFIP, non-residential buildings can be floodproofed up to or above the Base Flood Elevation (BFE). A floodproofed building is a building that has been designed and constructed to be watertight (substantially impermeable to floodwaters) below the BFE. Floodproofing of residential buildings is not permitted under the NFIP unless FEMA has granted the community an exception for residential floodproofed basements. The community must adopt standards for design and construction of floodproofed basements before FEMA will grant a basement exception. For both floodproofed non-residential buildings and residential floodproofed basements in communities that have been granted an exception by FEMA, a floodproofing certificate is required.

Additional guidance can be found in FEMA Publication 467-1, Floodplain Management Bulletin: Elevation Certificate, available on FEMA's website at <https://www.fema.gov/media-library/assets/documents/3539?id=1727>.

R



ANDREW M. CUOMO
Governor

Parks, Recreation, and Historic Preservation

ROSE HARVEY
Commissioner

RECEIVED

OCT 4 2017

BUILDING DEPT.

RECEIVED

AUG 24 2017

BUILDING DEPT.

August 16, 2017

Mr. Agostino Fusco
Clerk-Treasurer
Village of Mamaroneck Planning Board
Village Hall
123 Mamaroneck Avenue
Mamaroneck, NY 10543

Re: SEQRA
Demolition of 149 Library Lane
149 Library Lane, Mamaroneck, Westchester, NY
17PR05604

Dear Mr. Fusco:

Thank you for requesting the comments of the Division for Historic Preservation of the Office of Parks, Recreation and Historic Preservation (OPRHP) as part of your SEQRA process. These comments are those of OPRHP and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project. Such impacts must be considered as part of the environmental review of the project pursuant to the State Environmental Quality Review Act (New York Environmental Conservation Law Article 8) and its implementing regulations (6 NYCRR Part 617).

There are no known historic properties wholly or partially within, or substantially contiguous to the project area that are recommended for listing or listed in the State and/or National Registers of Historic Places (S/NRHP). Therefore, under SEQRA we have no comments regarding potential impacts to architectural or archaeological resources.

However, our review does not include potential impacts to architectural or archaeological resources that may be eligible for the registers. If the lead agency concludes that additional studies would be beneficial to identify and/or assess potential impacts to archeological and historic resources eligible for the registers, the OPRHP would be pleased to provide additional guidance.

If this project will involve state or federal permitting, funding or licensing, it may require a more rigorous review for potential impacts to architectural and archaeological resources, in accordance with Section 106 of the National Historic Preservation Act or Section 14.09 of NYS Parks Recreation and Historic Preservation Law.

Sincerely,

Michael F. Lynch, P.E., AIA
Director, Division for Historic Preservation

Division for Historic Preservation

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BUILDING DEPT.

STORMWATER POLLUTION PREVENTION PLAN

FOR

THE RESIDENCES AT LIBRARY LANE

located at

**145 & 149 LIBRARY LANE
VILLAGE OF MAMARONECK, NY**

June 11, 2017

Revised September 28, 2017



PREPARED BY

**NATHANIEL J. HOLT, PE
592 ROUTE 22
PAWLING, NEW YORK 12564
(914) 760-1800**

A. INTRODUCTION

1. General

This Stormwater Pollution Prevention Plan (SWPPP) presents the proposed Best Management Practices (BMPs) to control erosion and sedimentation, and manage stormwater during the re-development of a property located at 145 and 149 Library Lane, Village of Mamaroneck, Westchester County, New York. The contract vendee of the approximately 8,023.7 square foot property is Garson Brothers Mamaroneck, LLC (current owners: Kane Partners Realty and Emelin Theater respectively). At the present time both properties are developed consisting of two separate buildings. 149 Library Lane is a 620 sf (foot print) two story wood frame structure that is currently vacant and 145 Library Lane is a 3,100 sf wood frame single story apartment building. Both properties are 100% impervious (buildings, asphalt and gravel). Access to the properties is via two separate approximately 11 foot wide driveways.

It is the intent of the applicant combine both properties into a single parcel, raze both structures and construct a single multi story multi family structure. A parking garage will be situated at grade and consist of 15 parking spaces. As initially proposed, the new building would have a footprint of approximately 5,600 square feet, and after the demolition of the existing structures and pavements there would be the creation of pervious area equal to approximately 20% of the total site area. Upon an initial review of the Planning Board and at their behest, the structure was shifted to the east (or rear of the property). Although this relocation effectively eliminated all of the "private" greenspace for the future residents, there was no loss in the proposed impervious areas as it enabled the creation of a nearly non-existent streetscape.

In addition, the plans for the proposed "green roof" were finalized which provided approximately 2,045 square feet of additional landscaping. Green roof technology is recognized as an acceptable practice for runoff reduction in the NYSDEC Stormwater Design Manual as a runoff reduction benefit and treatment practice. Ideally, green infrastructure preserves natural features and the reduction of impervious cover. As the entire property under consideration is currently 100% impervious area, the proposed green roof will provide runoff reduction where currently none exists. When the area of the green roof is factored into the amount of non-impervious areas, the impervious areas are reduced from 100% to approximately 56%.

At the time of this writing, the application is before the Village of Mamaroneck seeking Site Plan and Subdivision and a Special Use Permit.

This project meets the parameters of a “redevelopment project” as defined by the NYSDEC Stormwater Design Manual; which will result in a decrease in impervious surfaces.

The Site Development Plans, prepared by Nathaniel J. Holt, PE, Sheets 1-7 inclusive, dated last revised September 27, 2017 form an integral part of this document.

2. Purpose

This report has been prepared to outline the stormwater mitigation practices that will be implemented as a result of the proposed redevelopment of the project site. In accordance with the NYSDEC Design Manual and the Village of Mamaroneck Village Code, a stormwater analysis is to be prepared to determine the runoff associated with a 25 year storm event. As will be discussed further within this report, the re-development of the property will result in a net reduction of impervious surfaces by 20% plus an additional reduction of 24% for the green roof. As a result, there will be a corresponding decrease in the runoff volume associated with the 25 year storm, thereby requiring no mitigation for “quantity”.

In accordance with the conditions of the General Permit, the NYSDEC Stormwater Design Manual and the Village of Mamaroneck Code, it is still necessary to provide mitigation to address stormwater “quality”. As noted above, the proposed structure will consist of a footprint approximately 5,600 square feet in area; the remainder of the property will consist of approximately 1,520 square feet of street scape/landscaping and 900 square feet of walkway which will provide a secondary emergency route for residents. Importantly, approximately 2,045 square feet of the roof will be mitigated with green roof technology.

As proposed, the stormwater system will receive runoff from the roof top via roof drains and directed through a pre-treatment device followed by an infiltration practice. Although little to no stormwater will actually reach the garage space, a drain inlet will be installed immediately upgradient of the practice for treatment and mitigation for those instances where wind blown rain or other debris is carried in by automobiles. In those instances when the storm exceeds the 25 year event, an overflow/by-pass has been incorporated into the system which will be piped directed to the street drainage system.

In accordance with the Village of Mamaroneck’s Village Code and General Permit 0-15-002, a Stormwater Pollution Prevention Plan (SWPPP) consisting a description of existing

and proposed drainage conditions, hydrologic soil groups, design calculations, field test data and a description of the proposed mitigation system, etc.

3. Project Description

As noted above, the project entails the demolition of two separate structures and the construction of an approximately 5,600 square foot (footprint) multistory residential building. Parking will be accommodated by constructing a 15 space on-grade garage under the building. Approximately 20% of the property, which was impervious will be reclaimed by creating street scape landscaping and a green rooftop.

Under the “existing” condition, the properties at 145 & 149 Library Lane are fully developed and completely impervious (buildings and pavements). Importantly there are no stormwater mitigation systems that addresses either quantity or quality - that is all runoff leaves the properties “uncontrolled” and “untreated”. Notably, under existing conditions; during the 25 year storm event approximately 0.095 acre feet (4,138 cubic feet) of the untreated runoff flows directly to the Harbor and Long Island Sound.

As designed, the new building will consist of an approximately 2,045 sf “green roof”, however, no “credit” has been taken in calculating the volume of stormwater runoff in the drainage analysis. Roof drains will be installed along the columns and connected to the proposed drainage mitigation system located within the garage. Although little to no stormwater is expected to reach the garage level (other than what may be carried in by cars as rain or snow) the floor has been designed to direct any runoff to a central location where a pre-treatment device will be installed (no runoff is directed out of the garage onto either private property or the public right of way). In addition, the roof drains mentioned above will also be connected to the pre-treatment device. Collected runoff will be carried to an infiltration system sized to address water quality as defined by the NYSDEC Design Manual. Although provisions for rainfall events in excess of the 25 year storm, in the form of a scupper(s) on the roof have been designed into the architecture, a separate overflow device has also been implemented into the drainage system. In those instances greater than the 25 year storm event, an overflow pipe has been provided which will by-pass the filtration system and connect directly to the street system.

There is public sewer and water located immediately in front of the properties and located within the pavement of Library Lane; similarly there is a drainage system consisting of catch basins and inlets within the roadway. Other services include: electric, telephone, cable and gas. Existing utility connections to the site will be removed and/or abandoned as appropriate with new services extended into the property to accommodate the demands of the proposed tenants and the design of the new structure.

4. Rationale in Support as a "Redevelopment Project"

The concept of a Redevelopment Project under the regulations was incorporated into the regulations specifically for a project such as this application, as the intent is to "re-use" existing developed properties located within areas of higher density so that other non disturbed lands can be left in tact. Under the provisions of the New York State Department of Environmental Conservation's Stormwater Management Design Manual, 2015 (hereinafter the "Design Manual") the project is defined as a "Redevelopment Project" for the following reasons:

Section 9 of the Design Manual

"Redevelopment of previously developed sites is encouraged from a watershed protection standpoint because it often provides an opportunity to conserve natural resources in less impacted areas by targeting development in areas with existing services and infrastructure"

"The provisions of stormwater management practices in redevelopment should follow an approach to balance between (1) maximizing improvements in the site design that can reduce impacts on stormwater runoff, and (2) provides a maximum level of on-site treatment that is feasible given the redevelopment project's constraints."

By Definition

Redevelopment is the "Reconstruction or modification to any existing previously developed land such as residential, commercial, industrial or road/highway which involves soil disturbance. Redevelopment is distinguished from development in that new development refers to construction on land where there had not been previous construction. Redevelopment specifically applies to constructed areas with impervious surfaces."

In further support of this position, the following additional points are listed below:

- a. The property is currently zoned C-2 (Central Commercial) the proposed use will be in accordance with the Village of Mamaroneck's Village Code. However, the structures are in need of major renovations and upgrades; both are inadequate to meet the needs for a multifamily dwelling. Redevelopment of these properties is more desirable than to locate a similar use in a different part of the Village
- b. There is currently no on-site stormwater mitigation or treatment system; however, upon re-development a system will be in-place.
- c. The site is currently serviced by utilities
- d. The proposed redevelopment will result in a decrease in impervious area.

B. LIST OF PERMITS

The anticipated necessary permits from the Village of Mamaroneck include:

- Site Development Plan Approval (Village Board)
- Subdivision Approval (Planning Board)
- Special Permit (Village Board)
- Building Permit (Building Department)
- Harbor and Coastal Zone Management Commission Approval

C. ENFORCEMENT ACTIONS

There are no known enforcement actions pending or against the applicant.

D. SOILS

According to the USDA and the Soil Conservation Services Soils Mapping for Westchester and Putnam Counties, the in-situ soils of the property and vicinity is defined as Uf - "Urban Land". As the name implies, these soils are developed with buildings, pavements etc. Urban land is not associated with any capability subclass.

As required, portions of the land will be reclaimed by importing topsoil and landscaping.

E. TESTING

At the time of this writing, the applicant is the Contract Vendee to purchase the property; in addition, the area of the proposed stormwater practice is in the same location as one of the structures which is inhabited. Alternate testing locations have been considered however, those areas are currently paved and used by the persons currently living on the property. Therefore no testing has taken place at this time.

For the purposes of the drainage analysis it has been presumed that the depth of the in-situ soils is of sufficient depth in which to locate the proposed practice. Similarly, the assumption is that the soils will be adequate to allow percolation of the stormwater.

In arriving at the design of the infiltration system a conservative percolation rate has been applied. Upon taking ownership of the property, the Applicant will arrange for the necessary testing and depending upon the results of that testing the design will be altered as may be required.

F. STORMWATER MANAGEMENT ANALYSIS

1. The proposed redevelopment of the property includes the demolition of all existing on-site improvements, the net result will be a decrease in impervious area and a corresponding decrease in the volume of stormwater runoff.

Therefore there is no requirement to mitigate the stormwater as it relates to quantity. However, in accordance with the Village of Mamaroneck and the NYSDEC "Stormwater Design Manual" mitigation for water quality associated with the impervious surfaces is appropriate.

The Village Standard to establish Stormwater Mitigation for a project of this size, the Rainfall Depth Associated with a 25 year storm event is applied from which the runoff depth is calculated. The difference (increase or decrease) between the existing and proposed conditions determines the degree of mitigation.

2. Existing Hydrology

The existing hydrology was based upon a current recent survey of the property whereby the areas of the different land uses are measured and a RN is applied.

<u>Use</u>	<u>RN</u>	<u>Area</u>	<u>Resultant</u>
Roof Surfaces	98	3,860 sf	378,280
Pavement	98	2,007 sf	196,686
Gravel	98	<u>2,156.7 sf</u>	<u>191,946.3</u>
		8,023.7 sf	766,912.3; RCN = 98

Once the RCN under existing conditions is established, the runoff depth is then calculated. The Soil Conservation Services, Technical Release 55 has been referred to in determining the RN for each land use category. In accordance with the NRCC, the runoff depth associated with a 25 year storm event with a RN of 98 is 6.16".

3. Future Hydrology

Determining the hydrology in the future condition is based upon the proposed site plan and applying the methodology above.

<u>Use</u>	<u>RN</u>	<u>Area</u>	<u>Resultant</u>
Roof	98	5,620 sf	555,760

Grass/Landscape	73	1,590 sf	116,070
Pavements	98	<u>813.7 sf</u>	<u>79,742.6</u>
		8,023.7	751,572.8; RCN = 92.86

In a similar manner as described above, the runoff depth during a 25 year storm event, future hydrology of the project site is 5.64".

Simply stated, if no other mitigation was provided, the re-development of the project site would result in an approximately 10% reduction in the amount of runoff flowing into the Long Island Sound.

4. Required Mitigation for Quantity

As there is a decrease in impervious area resulting from the proposed re-development of the property there is a corresponding decrease in the peak rate of runoff, therefore there is no requirement to mitigate for quantity. All impervious areas (approximately 80% of the site, will be directed to the on-site stormwater system. The remaining 20%, which currently flows towards off site lands will be reclaimed with topsoil and landscaping, thereby reducing the peak rate of runoff when compared to the existing conditions.

5. Water Quality Mitigation

Mitigation for water quality is based upon the area of impervious surfaces resulting from the re-development of the property and the following equation:

$$WQ_v = \{[P][R_v][A]\}/12$$

Where:

$$P = 1.5"$$

$$R_v = [(0.05 + 0.009(I))]$$

A = Area

I = Impervious area in %

Therefore:

$$WQ_v = \{(1.5')(0.95)(6,433.7)\}/12 = 764 \text{ cf}$$

That is the mitigation practice must be capable of accommodating a volume of 764 cf of stormwater.

6. Proposed Mitigation

It is proposed to provide water quality mitigation using two separate practices:

- Pretreatment
- Infiltration

Pretreatment

The pretreatment device consists of a pre-filter followed by a single filter cartridge designed to accommodate up to 0.11 cfs

The rate of flow entering the pretreatment system is based upon the Rational Formula whereby:

$$Q = Aci$$

When: A = the drainage area in SF
 c = 0.5
 I = 1.5"

$$\text{Therefore: } Q = 0.11 \text{ cfs (0.85 gpm)}$$

The Perk Filter which is a proprietary device by Oldcastle Stormwater Solutions is a Concrete Catch Basin with Double Cartridge. According to the manufacturer's specifications, each 18" cartridge can treat 36 gpm (0.08 cfs). As detailed, the device will consist of two 18" cartridge filters which would be capable of treating 0.16 cfs of stormwater. The unit consists of a pre-cast concrete basin and meets H-20 design standards and contains traffic rated inlet and access cover plates. On the inlet side, there is a pre-filter trap to catch heavy/large sized debris. .

Infiltration

The proposed infiltration practice is a Cultec Model 330XLHD. The units are to be installed immediately downstream of the pre-treatment device. Each unit has an installed volume of 11.32 cf/ft. Based upon preliminary calculations, a total of

four such units is required to accommodate the 715 cf design load. (Note that testing of the soils in the location of the proposed mitigation has not been completed at this time. Testing will be accomplished after the applicant takes ownership of the property). The analysis applied an presumed percolation rate of 12.5 min/inch as follows:

Area of Perk Hole: $3.14 \times 1 \times 8.5/12 = 2.33$ sf

Area of Bottom: $3.14 \times (0.50)(0.5) = 0.785$ sf

Area of Perk Hole: 0.785 sf + 2.33 sf = 3.01 sf

Volume of Perk Test (3" drop): $0.785 \times 3/12 = 0.196$ cf

Soil Perk Rate (projected): 12.5 min/inch

Associated Perk Rate: 0.196 cf/ 3.01 sf/ 37.5 min = 0.0017 cf/sf/day
 0.0017 cf/sf/day \times 60 min/day \times 24 hr/day =
 2.45 cf/sf/day

Allow 25% Clogging Factor: 0.75×2.45 cf/sf/day = 1.8 cf/sf/day

From above, one cultec unit has an installed capacity of 11.32 cf/ft, therefore including percolation the unit has a capacity of 11.32 cf + 18.5 cf:= 29.8 cf/lf

Required: 764 cf / 29.8 cf/lf = 26 lf; say 4 units

It is acknowledged that when soil testing can be accomplished, the above analysis may need to be verified against the actual percolation rate. Regardless of the results of that testing, the applicant will install no less than four infiltration units to address stormwater mitigation. Conversely, if the testing indicates that more units are necessary, the plans will be revised accordingly.

G. EROSION AND SEDIMENT CONTROL METHODS

1. General

The Site Development Plans, prepared by Nathaniel J. Holt, PE includes plans and details depicting the design of the proposed sediment and erosion controls which are to be

implemented into the work during construction. The intent of the Sediment and Erosion Control Plan is first and foremost to limit the extent and amount of land disturbance at any given time; followed by the containment of sediment laden runoff created by the disturbance. If practicable, disturbed areas are to be treated as soon as possible followed by the (temporary and then final) stabilization of disturbed areas. The design of the sediment and erosion control system is based upon the NYS Guidelines for Urban Erosion and Sediment Control, dated August 2005. Also contained with the Site Development Plans is a continuing maintenance program which is to be implemented for the control of sediment transport and erosion control after throughout the life of the construction process. As stipulated within the General Permit, a Qualified Contractor is responsible for the installation and maintenance during the course of construction. Upon completion of the of the work, the Owner is to name a responsible person to perform the maintenance of the practices installed.

2. Temporary Sediment and Erosion Control Measures

All temporary sediment and erosion control measures shall be put in place and maintained throughout the course of construction. The temporary measures depicted on the Site Development Plans are considered to be the minimum requirement to control sediment laden runoff and erosion. Outlined below is a description of those measures shown on the Site Development Plans.

- Stabilized Construction Entrance will be constructed at the entrance to the site. The stabilized construction entrance will be of AASHTO designation No 1 rock. The minimum dimensions of the entrance shall be 50 feet in length, twenty feet in width and eight inches deep.
- Silt Fence is a geotextile material used to intercept sediment laden runoff from small drainage areas. The fence is to be installed parallel to the site contours.
- Inlet Protection is either made of a geotextile material or hay bales which are placed around a drain inlet. The purpose of these measures to be limit the amount of sediment laden runoff that enters into the (existing or proposed) drainage system.

- Dust Control is the wetting down of disturbed areas and travel ways used by construction vehicles. Dust control shall be employed on a regular basis, however during periods of extended dry weather, the contractor shall sprinkle the area more often.
- Seeding is applied to create a fast dense vegetative cover over the disturbed areas to prevent/limit soil erosion. Seeded areas will be mulched to provide a damp germinating medium for the grass.
- Mulching is used as an anchor medium for seeded and disturbed areas.

3. Permanent Erosion and Sediment Control Measures

The purpose of permanent erosion and sediment controls is to permanently stabilize the ground surface via vegetative and structural practices, while controlling and reducing runoff velocities. Towards the completion of the re-development of the site, permanent erosion and sediment control measures will be implemented for long term protection. The property owner will be the responsible party for the long term maintenance of these measures. The following permanent sediment and erosion control measures will be implemented into the development of the site.

- Seeding a minimum of 80% vegetative cover will be employed to produce a permanent uniform erosion resistant surface. The seeded areas will be mulched with straw or similar manufactured material designed for such purposes. The optimum seasons for planting are early spring and fall. Summer seeding is acceptable providing sufficient water is available.
- Grading is the re-contouring of the existing land surface to create the proposed site improvements while directing runoff to the stormwater mitigation systems. Grading also considers limiting the extent of steep slopes which tend to be highly erodible. Proper grading and compaction

techniques will minimize the amount of long term erosion on the site. Wherever possible retaining walls have been implemented into the design to avoid unnecessary disturbance and grading operations.

- Sumps will be incorporated into the proposed drainage structures. The purpose of the sumps is to provide and containment area for coarse sands and grits, before they flow into the drainage system. The minimum depth of each sump is to be 36 inches.
- Stormwater Mitigation in the form of infiltration will be installed within the garage to collect roof drainage and a limited amount of water that makes its way into the garage. As the re-development results in a reduction in impervious surfaces, the system has been designed for water quality purposes.

H. MAINTENANCE AND INSPECTION REQUIREMENTS

Inspection and maintenance of the sediment and erosion control measures are required to ensure that the practices are performing as intended. Temporary and permanent maintenance inspection requirements are discussed in greater detail below. Proper maintenance and inspections will ensure longevity and effectiveness of the Stormwater Pollution Prevention Plan and the Erosion/Sediment Control Plan.

Contractors and Subcontractors

The Contractor responsible for the installation, constructing, repairing, replacing, inspecting and maintaining of the erosion and sediment control is listed under the "Property Information" at the front of this document. Similarly, the Owner of the property will be responsible for the post construction maintenance of the stormwater management practices included with the SWPPP and is listed in the front of this document under "Property Information". Prior to the start of construction, the Contractor shall name the trained contractor of his firm who will be responsible for the implementation of the above stated practices.

Qualified Inspectors

At the time of this writing, the function of performing site inspections will be Nathaniel J. Holt. However should there be a change the qualified inspector may be any of those listed below:

1. A qualified inspector would have to be:
 - a. Licensed Professional Engineer
 - b. Certified Professional in Erosion and Sediment Control (CPESC)
 - c. Registered Landscape Architect
 - d. A person working under the direct supervision of and at the same company as the licensed Professional Engineer or Registered Landscape Architect, provided they have received four hours of Department endorsed training in proper erosion and sediment control principals from a Soil and Water Conservation District, or other Department endorsed entity.
2. A qualified inspector cannot be the trained contractor unless they meet the conditions of Appendix A of GP # 0 -15-002.
3. Unless otherwise notified by the Department, the qualified inspector shall conduct site inspections in accordance with the following time table:
 - a. for construction sites where soil disturbance activities are on-going, the qualified inspector shall conduct a site inspection at least once every seven (7) calendar days.
 - b. for construction sites where soil disturbance activities are on-going, and the owner or operator has received authorization in accordance with Part IIC.3 to disturb greater than five (5) acres of soil at any one time, the qualified inspector shall conduct at least two site inspections every seven calendar days. The two

inspections shall be separated by a minimum of two full calendar days.

- c. for construction sites where soil disturbance activities have been temporarily suspended (e.g. winter shutdown) and temporary stabilization measures have been applied to all disturbed areas, the qualified inspector shall conduct a site inspection at least once every thirty calendar days
- d. for construction sites where soil disturbance activities have been shut down with partial project completion, the qualified inspector can stop conducting inspections if all areas disturbed as of the project shutdown date have achieved final stabilization and all post construction stormwater management practices for the completed portion of the project have been constructed in conformance with the SWPPP and are operational.
- e. for construction sites that directly discharge to one of the 303(d) segments listed in Appendix E or is located in one of the watersheds listed in Appendix C, the qualified inspector shall conduct at least two site inspections every seven calendar days. The two inspections shall be separated by a minimum of two full calendar days.

Short and Long Term Maintenance and Inspection Requirements

Periodic inspections during construction is to be performed to verify all practices are functioning properly, correctly maintained and accumulated sediment is removed from all structures; including pipes. The Contractor will also examine the site for any evidence of soil erosion, the potential for pollutants to enter the storm drain system, turbid discharges at all outfalls and the potential for soil and other materials to be transported onto the public roadways. In addition, to these guidelines, the project plans will provide more specific erosion control guidelines as well as a construction sequencing protocol to serve as a general overview for the contractor through the construction process. The contractor shall be responsible for the maintenance of all temporary erosion and sediment control measures throughout the work. Maintenance will include, but is not necessarily limited to:

- in general sediment and erosion control practices are to be inspected on a daily basis before the end of the work day. Sufficient time shall be provided so that any repairs or replacement of the practices can take place before the workers have left for the day. In those instances where there has been a heavy rainfall overnight, the contractor shall inspect and repair any breaches in the practices before starting any other work on the site.
- sediment deposits shall be removed from silt fence when the accumulation reaches 1/3 the total height of the fabric. All removed sedimentation shall be incorporated into fill sections upstream of the practice or as may be directed by the engineer of record. Silt fence that becomes damaged during this process or that became damaged through normal use, shall be replaced immediately.
- the construction entrance is to be checked regularly to ensure that no sediment is deposited onto the public roadway. Any sedimentation that is accumulated onto the roadway shall be removed immediately or no later than the end of the work day. In addition, accumulation of dirt and debris on the construction entrance requires that the stone and debris be removed and the stone replaced.
- inlet protection will be inspected for debris and sediment accumulation or clogging. In the event that debris and sediment accumulation has clogged the device such that it can no longer function as intended, the contractor shall either remove the clogged sections of the device (along with any debris) and replace it immediately. In the alternative, the contractor may clean the affected portions of the device.
- inlets and outlets to subsurface drainage piping are to remain clear at all times. Periodic inspection of the pipe network is to be performed to ensure that the system is clear and free of debris accumulation. Any material that has accumulated within the pipes is to be removed and properly disposed of. If necessary the contractor shall clear the pipe with

hydraulic pressure or in the extreme, remove the affected sections of pipe and replace it.

- in general pipe trenches are not be serve as a dewatering device and not to be left open over any extended period of time. However, when sedimentation and silt laden materials enter the trench it shall be removed and properly disposed.
- dust control shall consist of the moistening of all exposed regraded or disturbed areas. Ideally, the dust control operation is to occur twice per day until such time as either temporary or permanent cover is established.
- in preparation of placing vegetated cover, the contractor shall fine rake the surface parallel to the contours of the slope or gradient. The intent is to minimized concentrated flows or rivulets.
- as soon as is practical and following the fine grading, the disturbed areas shall be stabilized with permanent cover (vegetation, pavement, etc). Should it be determined that the permanent cover will not be installed for a period of fourteen days or longer, then the contractor shall be required to place temporary seed, mulch or similar stabilization methods.
- inspection and removal of accumulated sediments within the water quality structures shall follow the maintenance guidelines of the manufacturer. Any material removed from these structures shall be properly disposed of in accordance with all applicable regulations.
- inspection and sediment removal within the subsurface detention systems shall occur on an at least annual basis. Sediment accumulation shall be removed when deposits reach approximately 20% of the total storage capacity of each system. (The contractor shall place a painted mark within the access manholes indicting the point at which the debris is to be removed) sediment removal shall be accomplished using water jets and

vacuums. Under no circumstances shall the debris be flushed out into the downstream drainage channel(s), rather it shall be collected and disposed of in accordance with all applicable regulations.

I. CONSTRUCTION SEQUENCING

From a construction perspective, the work is a relatively simple process: demolish the existing structures, construct the new building extend utilities into the site. More specifically:

1. Utilize the existing curb cuts and driveways to provide construction access to the property.
2. Demolish existing structures. Remove debris and legally dispose of it off-site.
3. Install erosion control measures
4. Establish a construction staging area in the space vacated by the demolition of the structures. Avoid area(s) denoted for infiltration practices. Install construction fence around infiltration area
5. Create subgrade of parking area and core portions of the building (IE: obby and stairwell)Stake out the route of the new driveway and the location of erosion control measures.
6. Connect to existing sewer main and extend service into site.
7. Connect to existing water main, extend fire service line into site.
8. Construct/install new catch basin as shown on plans, extend drain line into site.
9. Install on-site drainage system. Cover inlets to prevent runoff from entering the system.
10. Continue with construction of building. Contractor to determine the timing of installing wearing surface of the parking area according to equipment and available headroom.
11. Install topsoil, plant grass in designated areas.
12. Complete landscaping
13. Construct new curb, sidewalk and new driveway apron. Remove construction access.

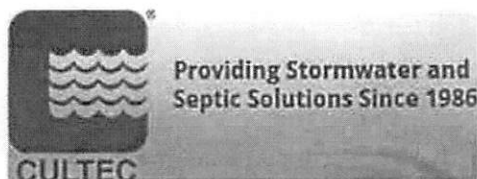
14. Remove erosion controls remove covers from drainage system; clean debris and sediments from drain inlet, catch basin and infiltration system.
15. Demobilize site, remove construction material and excess debris.

J. CONCLUSION

The proposed re-development of the property will result in a reduction in impervious surfaces, which forms one of the core principals of the "Design Manual"; especially as it relates to redevelopment projects. More importantly, stormwater runoff which had previously flowed from the site uncontrolled or untreated will be treated prior to reaching the Long Island Sound.

APPENDIX 1

Nathaniel J. Holt, P.E.


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CONTACTOR & RECHARGER STORMWATER CHAMBERS

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The CULTEC Contactor and Recharger chambers replace conventional stormwater management systems such as ponds, swales, pipe and stone trenches or beds, or concrete structures. The chambers may be used for drywells. They may be installed in trench or bed configurations according to site restrictions or client preference. Contact area is maximized by the fully open bottoms and perforated sidewalls. The chambers are typically installed subsurface beneath parking areas to capitalize on use of

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1

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330XLHD x

Model #	Model Name	Length	Width	Height	Installed Length	Chamber Storage	Compatible End Cap
100LHD	Contactor® 100LHD	8.00 ft 2.44 m	30 in 914 mm	18 in 318 mm	7.50 ft 2.29 m	105 gal 0.17 m ³ /m 0.40 m ³ /unit 396.88 L	N/A
150XLHD	Recharger® 150XLHD	11 ft 3.35 m	33 in 838 mm	18.50 in 470 mm	10.25 ft 3.12 m	2.650 ft ³ /ft 27.16 ft ³ /unit 203 gal 0.25 m ³ /m 0.77 m ³ /unit 769.12 L	N/A
280LHD	Recharger® 280LHD	8.00 ft 2.44 m	47 in 1194 mm	26.50 in 673 mm	7.00 ft 2.13 m	6.079 ft ³ /ft 42.55 ft ³ /unit 318 gal 0.56 m ³ /m 1.21 m ³ /unit 1204.91 L	N/A
						7.459 ft ³ /ft	

<input checked="" type="checkbox"/>	330XLHD	Recharger® 330XLHD	8.50 ft 2.59 m	52 in 1321 mm	30.50 in 775 mm	7.00 ft 2.13 m	52.21 ft ³ /unit 391 gal 0.69 m ³ /m 1.48 m ³ /unit 1478.44 L	N/A
<input type="checkbox"/>	V8HD	Recharger® V8HD	N/A	60 in 1524 mm	32 in 813 mm	N/A	8.68 ft ³ /ft 0.81 m ³ /m	N/A
<input type="checkbox"/>	902HD	Recharger® 902HD	4.1 ft 1.25 m	78 in 1981 mm	48 in 1219 mm	3.67 ft 1.12 m	17.66 ft ³ /ft 64.75 ft ³ /unit 1.64 m ³ /m 1.84 m ³ /unit	<u>Recharger 902HD End Cap</u>
<input type="checkbox"/>	902HD EC	Recharger® 902HD End Cap	0.81 ft 0.25 m	78 in 1982 mm	48.5 in 1231 mm	0.52 ft 0.16 m	5.34 ft ³ /ft 2.76 ft ³ /unit 0.50 m ³ /m 0.08 m ³ /unit	N/A

1 - 7 of 7 | Results Per Page 25 | View

1

CULTEC, Inc.
 878 Federal Rd, P.O. Box 280, Brookfield, Connecticut 06804 USA
 Phone: 203.775.4416 | Toll Free: 1.800.4.CULTEC | Fax: 203.775.1462
 Email: custservice@cultec.com | www.cultec.com

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APPROVED BY:



APPENDIX 2

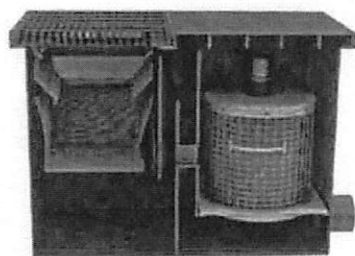
Nathaniel J. Holt, P.E.



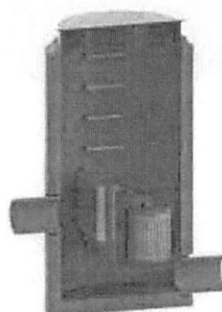
PerkFilter Media Filtration System

Captures sediment, metals, nutrients, and petroleum hydrocarbons, as well as gross solids and trash, to significantly reduce the total pollutant discharge load in stormwater runoff.

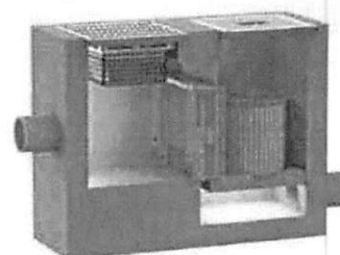
Additional Configuration Options



Steel Catch Basin



Precast Concrete Manhole



Precast Concrete Catch Basin

Applications

Typical installation locations include:

- In-line storm drain
- New drop inlets or vaults in commercial or residential developments
- Industrial applications
- Pre- or post-treatment for retention/detention systems
- Large custom vaults for regional treatment systems

Performance

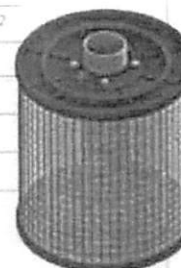
Field tested removal efficiencies of:

- Total Suspended Solids > 80%
- Total Phosphorus > 60%

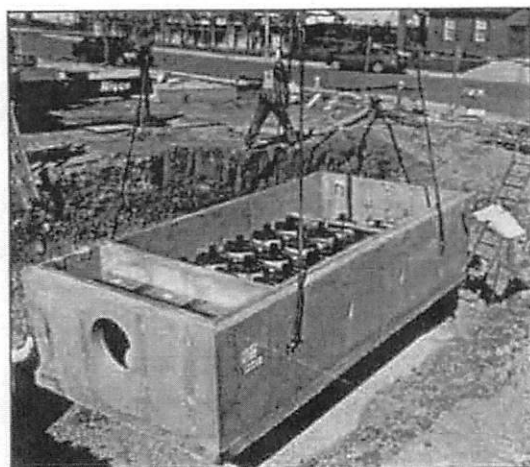
Standard Cartridge Capacities

Cartridge Height (inches)	Treatment Capacity (gpm) at Media Surface Loading Rate of	
	1.5 gpm/ft ²	2.5 gpm/ft ²
12	6.8	12
18	10.2	18
24*	13.6	24
30*	17.0	30

* Standard cartridge heights are 12 & 18 inches.
24" & 30" cartridges use modular stacks.



PerkFilter Cartridge



Precast concrete vault configuration



Custom PerkFilter vault in Redmond, WA

APPENDIX 3

Nathaniel J. Holt, P.E.

Infiltration Trench Operation, Maintenance, and Management Inspection Checklist

Project:

Location:

Site Status:

Date:

Time:

Inspector:

MAINTENANCE ITEM	SATISFACTORY / UNSATISFACTORY	COMMENTS
1. Debris Cleanout (Monthly)		
Trench surface clear of debris		
Inflow pipes clear of debris		
Overflow spillway clear of debris		
Inlet area clear of debris		
2. Sediment Traps or Forebays (Annual)		
Obviously trapping sediment		
Greater than 50% of storage volume remaining		
3. Dewatering (Monthly)		
Trench dewatered between storms		
4. Sediment Cleanout of Trench (Annual)		
No evidence of sedimentation in trench		
Sediment accumulation doesn't yet require cleanout		
5. Inlets (Annual)		

MAINTENANCE ITEM	SATISFACTORY / UNSATISFACTORY	COMMENTS
Good condition		
No evidence of erosion		
6. Outlet/Overflow Spillway (Annual)		
Good condition, no need for repair		
No evidence of erosion		
7. Aggregate Repairs (Annual)		
Surface of aggregate clean		
Top layer of stone does not need replacement		
Trench does not need rehabilitation		

Comments:

Actions to be Taken:

MAINTENANCE PROGRAM FOR INFILTRATION SYSTEM

ACTIVITY	FREQUENCY	EQUIPMENT
CLEAN SPILLS IN PAVEMENT AREA WHICH ARE TRIBUTARY TO THE INFILTRATION SYSTEM		
SWEEP ALL PAVEMENTS AND WALKS CLEAN OF SANDS, SILTS AND DEBRIS MAINTAIN (REPAIR) PAVED SURFACES MAINTAIN AND REPLANT VEGETATIVE COVER. REPLACE MULCH CLEAR DEBRIS FROM NON PAVED AREAS CLEAN PIPES	SEASONALLY OR AS NEEDED	BROOMS HAND SHOVELS JET VACUUM
JET VACUUM ACCUMULATED SILT AND DEBRIS FROM THE HEADER PIPES. USE A HIGH PRESSURE NOZZLE WITH REAR FACING JETS TO WASH SEDIMENT AND DEBRIS INTO THE INLET OR PRE-TREATMENT SUMP.	WHEN 25% OF THE PIPE VOLUME HAS BECOME FILLED WITH DEBRIS	JET VACUUM
REMOVE SEDIMENT AND DEBRIS FROM PRE-TREATMENT SUMP APPLY MULTIPLE PASSES WITH A JET VACUUM UNTIL BACKWASH WATER RUNS CLEAR	WHEN SEDIMENT ACCUMULATION REACHES ONE HALF THE SUMP CAPACITY	VACUUM TRUCK JET VACUUM
CLEAR PIPES AND CHAMBERS OF SILT AND DEBRIS. REMOVE SEDIMENT AND DEBRIS FROM SUMPS IN PRETREATMENT AND OUTLET CONTROL STRUCTURES.	SEMI ANNUALLY IN THE FIRST YEAR; YEARLY THEREAFTER	HAND SHOVELS JET VACUUM

5.

**DRAFT
MAINTENANCE AND ACCESS AGREEMENT**

**SCHEDULE "A" TO STORMWATER CONTROL FACILITY
MAINTENANCE AND ACCESS AGREEMENT
BY AND BETWEEN
THE GIUSEPPE LUPPINO AND CAMILLE FARERI LUPPINO AND THE TOWN OF BEDFORD**

As used herein, "ShortTerm Maintenance Requirements" are those stormwater control measures to be undertaken by a lot owner during such time as a residence is under construction upon said lot. "Long Term Maintenance Requirements" are those stormwater control measures to be undertaken following the completion of construction. Maintenance and inspections shall be performed in accordance with the SWPPP and as described herein.

Maintenance and Inspection Requirements:

Maintenance and inspections are required in order to ensure the storm water and erosion and sediment control practices are acting as designed. Inspections will be performed once a week and/or after 1/2" of rainfall during construction. Upon completion of construction and the subsequent filing of the Notice of Termination, maintenance and inspections are expected to be minimal. Temporary and permanent maintenance and inspection requirements are further discussed below. Proper maintenance and inspections will ensure the longevity and effectiveness of the storm water pollution prevention plan, and erosion and sediment control plan.

Short Term Maintenance and Inspection Requirements:

Inspections performed during construction should verify all practices are functioning properly, correctly maintained, and accumulated sediment is removed from all control structures. The inspector must also examine the site for any evidence of soil erosion, the potential for pollutants to enter the storm drain system, turbid discharge at all outfalls, and the potential for soil and mud to be transported on the public roadway at the site entrance. In addition to these general guidelines, the project plans all provide more specific erosion control guidelines, as well as a construction sequence to guide the contractor through the construction process. Discussed below are specific maintenance and inspection requirements for the temporary practice to be employed at the site.

The contractor shall notify the Town of Bedford stormwater enforcement official at least 48 hours prior to the commencement of any of the following construction stages: start of construction, installation of erosion and sediment control measures, completion of site clearing, completion of rough grading, installation of stormwater management practices, completion of final grading and stabilization of disturbed areas, closure of construction, and completion of final landscaping.

During construction, the silt fence should be inspected to ensure correct installation. In addition, any accumulated sediment resulting in "bulges" in the silt fence should be removed and mixed with the onsite soil. Any damaged or torn silt fence should be replaced. The construction entrance should be checked to ensure no sediment is being deposited onto the public roadway. Should sediment be observed, it should be removed from the street, and the stone in the construction entrance should be replaced.

Appendix E: Plan Review Checklists

Example Checklist for Preliminary/Concept Stormwater Management Plan Preparation and Review

- ☐ Applicant information
- ☐ Name, legal address, and telephone number
- ☐ Common address and legal description of site
- ☐ Vicinity map
- ☐ Existing and proposed mapping and plans (recommended scale of 1" = 50'.) which illustrate at a minimum:
 - ▶ Existing and proposed topography (minimum of 2-foot contours recommended)
 - ▶ Perennial and intermittent streams
 - ▶ Mapping of predominant soils from USDA soil surveys
 - ▶ Boundaries of existing predominant vegetation and proposed limits of clearing
 - ▶ Location and boundaries of resource protection areas such as wetlands, lakes, ponds, and other setbacks (e.g., stream buffers, drinking water well setbacks, septic setbacks)
 - ▶ Location of existing and proposed roads, buildings, and other structures
 - ▶ Existing and proposed utilities (e.g., water, sewer, gas, electric) and easements
 - ▶ Location of existing and proposed conveyance systems such as grass channels, swales, and storm drains
 - ▶ Flow paths
 - ▶ Location of floodplain/floodway limits and relationship of site to upstream and downstream properties and drainages
 - ▶ Preliminary location and dimensions of proposed channel modifications, such as bridge or culvert crossings
 - ▶ Preliminary location, size, and limits of disturbance of proposed stormwater treatment practices
- ☐ Hydrologic and hydraulic analysis including:
 - ▶ Existing condition analysis for runoff rates, volumes, and velocities presented showing methodologies used and supporting calculations
 - ▶ Proposed condition analysis for runoff rates, volumes, and velocities showing the methodologies used and supporting calculations
 - ▶ Preliminary analysis of potential downstream impact/effects of project, where necessary
 - ▶ Preliminary selection and rationale for structural stormwater management practices
 - ▶ Preliminary sizing calculations for stormwater treatment practices including contributing drainage area, storage, and outlet configuration
- ☐ Preliminary landscaping plans for stormwater treatment practices and any site reforestation or revegetation
- ☐ Preliminary erosion and sediment control plan that at a minimum meets the requirements outlined in local Erosion and Sediment Control guidelines
- ☐ Identification of preliminary waiver requests

Example Checklist for Final Stormwater Management Plan Preparation and Review

- ☐ Applicant information
 - Name, legal address, and telephone number
- ☐ Common address and legal description of site
- ☐ Signature and stamp of registered engineer/surveyor and design/owner certification
- ☐ Vicinity map
- ☐ Existing and proposed mapping and plans (recommended scale of 1" = 50' or greater detail) which illustrate at a minimum.
 - ▶ Existing and proposed topography (minimum of 2-foot contours recommended)
 - ▶ Perennial and intermittent streams
 - ▶ Mapping of predominant soils from USDA soil surveys as well as location of any site-specific borehole investigations that may have been performed.
 - ▶ Boundaries of existing predominant vegetation and proposed limits of clearing
 - ▶ Location and boundaries of resource protection areas such as wetlands, lakes, ponds, and other setbacks (e.g., stream buffers, drinking water well setbacks, septic setbacks)
 - ▶ Location of existing and proposed roads, buildings, and other structures
 - ▶ Location of existing and proposed utilities (e.g., water, sewer, gas, electric) and easements
 - ▶ Location of existing and proposed conveyance systems such as grass channels, swales, and storm drains
 - ▶ Flow paths
 - ▶ Location of floodplain/floodway limits and relationship of site to upstream and downstream properties and drainages
 - ▶ Location and dimensions of proposed channel modifications, such as bridge or culvert crossings
 - ▶ Location, size, maintenance access, and limits of disturbance of proposed structural stormwater Management practices
- ☐ Representative cross-section and profile drawings and details of structural stormwater Management practices and conveyances (i.e., storm drains, open channels, swales, etc.) which include:
 - ▶ Existing and proposed structural elevations (e.g., invert of pipes, manholes, etc.)
 - ▶ Design water surface elevations
 - ▶ Structural details of outlet structures, embankments, spillways, stilling basins, grade control structures, conveyance channels, etc
 - ▶ Logs of borehole investigations that may have been performed along with supporting geotechnical report.

- ☐ Hydrologic and hydraulic analysis for all structural components of stormwater system (e.g., storm drains, open channels, swales, Management practices, etc.) for applicable design storms including:
 - Existing condition analysis for time of concentrations, runoff rates, volumes, velocities, and water surface elevations showing methodologies used and supporting calculations
 - ▶ Proposed condition analysis for time of concentrations, runoff rates, volumes, velocities, water surface elevations, and routing showing the methodologies used and supporting calculations
 - ▶ Final sizing calculations for structural stormwater Management practices including, contributing drainage area, storage, and outlet configuration
 - ▶ Stage-discharge or outlet rating curves and inflow and outflow hydrographs for storage facilities (e.g., stormwater ponds and wetlands)
 - ▶ Final analysis of potential downstream impact/effects of project, where necessary
 - ▶ Dam breach analysis, where necessary
- ☐ Final landscaping plans for structural stormwater Management practices and any site reforestation or revegetation
- ☐ Structural calculations, where necessary
- ☐ Applicable construction specifications
- ☐ Erosion and sediment control plan that at a minimum meets the requirements of the local Erosion and Sediment Control Guidelines
- ☐ Sequence of construction
- ☐ Maintenance plan which will include:
 - ▶ Name, address, and phone number of responsible parties for maintenance.
 - ▶ Description of annual maintenance tasks
 - ▶ Description of applicable easements
 - ▶ Description of funding source
 - ▶ Minimum vegetative cover requirements
 - ▶ Access and safety issues
 - ▶ Testing and disposal of sediments that will likely be necessary
- ☐ Evidence of acquisition of all applicable local and non-local permits
- ☐ Evidence of acquisition of all necessary legal agreements (e.g., easements, covenants, land trusts)
- ☐ Waiver requests
- ☐ Review agency should have inspector's checklist identifying potential features to be inspected on site visits

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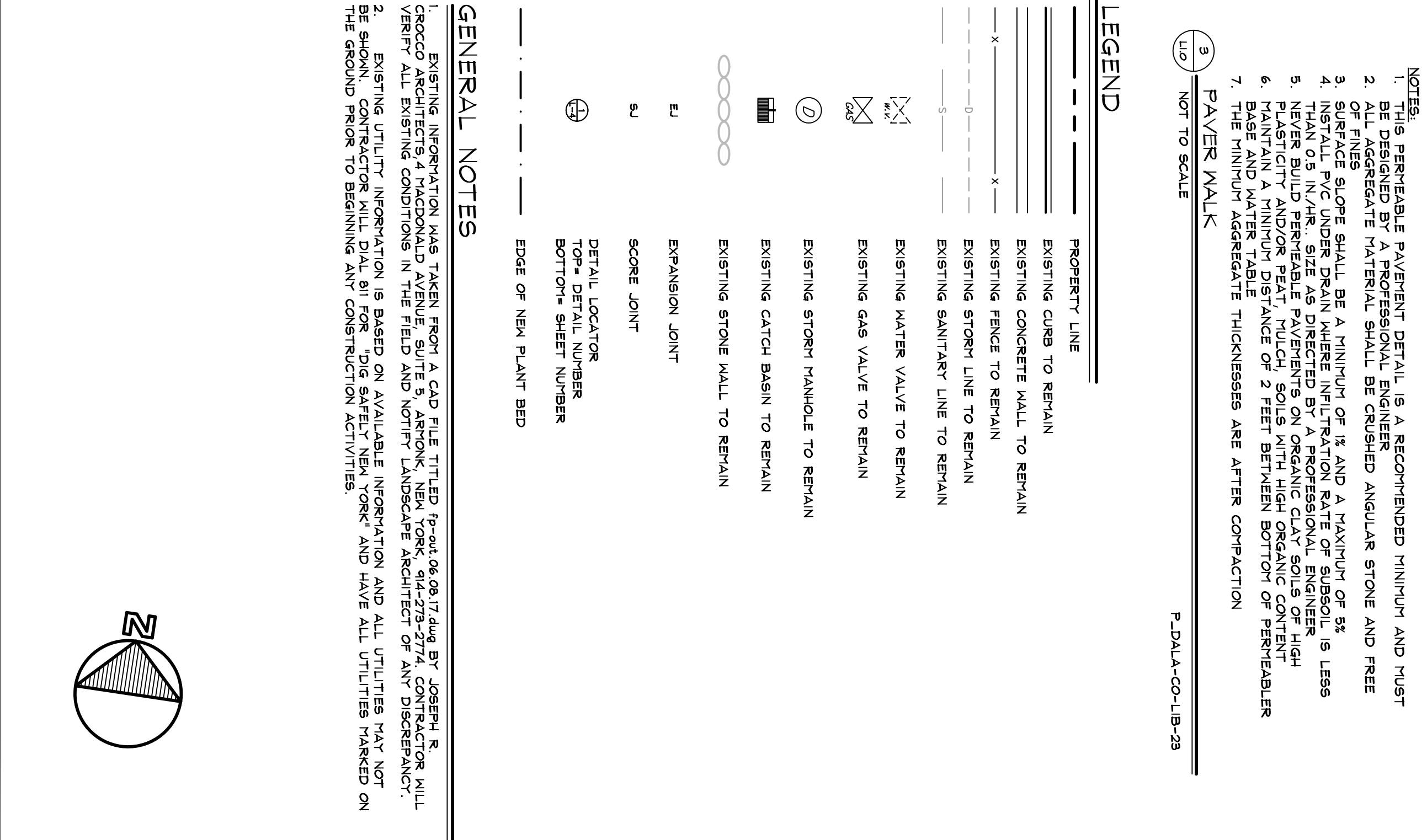
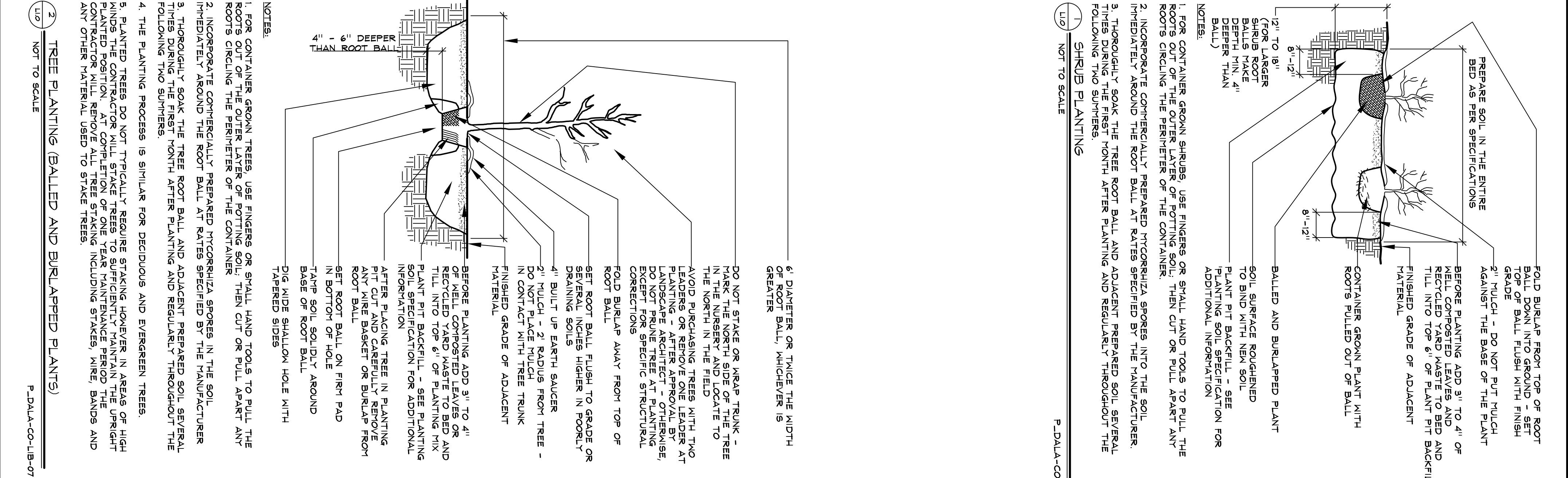
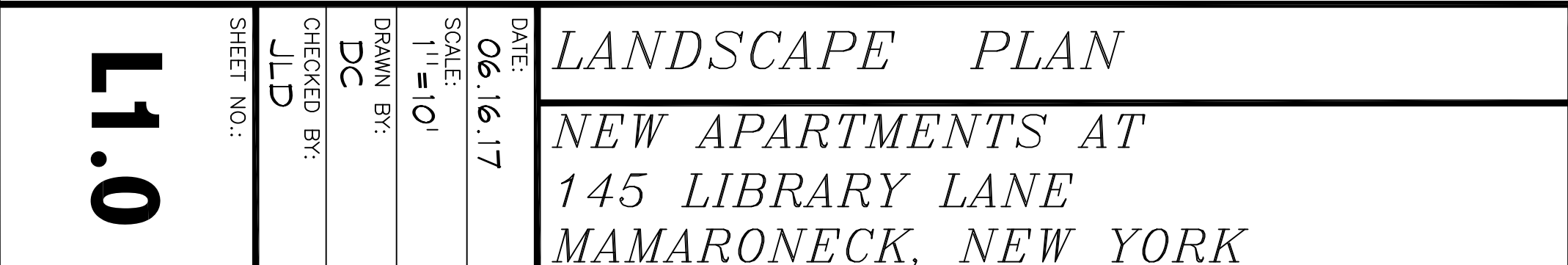
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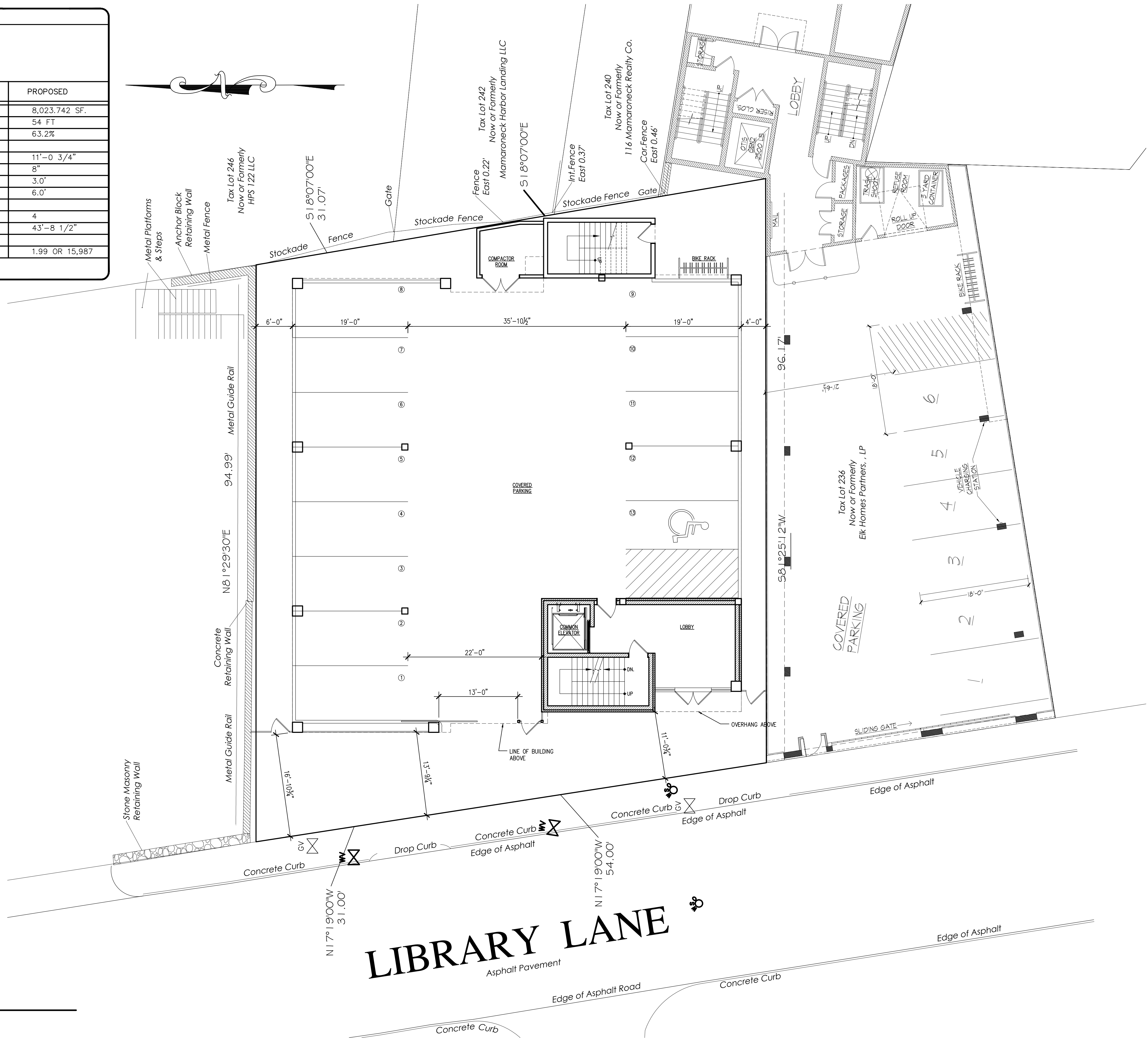
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OF LANDSCAPE ARCHITECT



ZONING ANALYSIS		
LOCATION: 145 & 149 LIBRARY LANE MAMARONECK, NEW YORK	SECTION: BLOCK: LOT: ZONE: C-2	
ZONING DATA:	REQUIRED/ PERMITTED	PROPOSED
MINIMUM LOT	N/A	8,023.742 SF.
MINIMUM LOT WIDTH & FRONTAGE	N/A	54 FT
MAXIMUM BUILDING COVERAGE	N/A	63.2%
MINIMUM SIZE OF YARDS (FT.)		
FRONT YARD	0	11'-0 3/4"
REAR YARD	0	8"
SIDE YARD 1	0	3.0'
SIDE YARD 2	0	6.0'
BUILDING HEIGHT		
STORIES	4	4
IN FEET	45	43'-8 1/2"
FAR	2.0 OR 16,047	1.99 OR 15,987



1 GROUND FLOOR PLAN
A-0 SCALE: 1/8" = 1'-0"

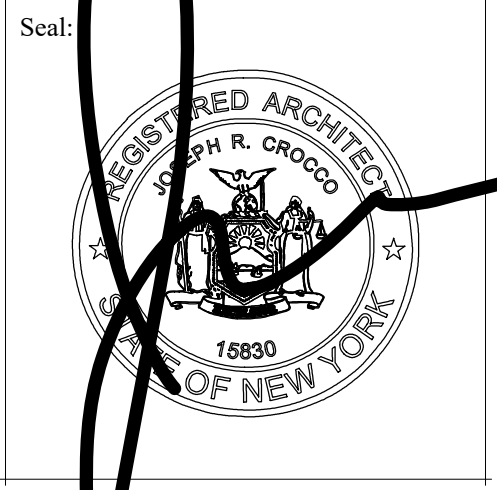
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1. CLIENT MEETING	02.24.17
2. PB SUBMISSION	05.08.17
3. PB SUBMISSION	06.16.17
4. PB SUBMISSION	08.24.17



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NEW APARTMENT BUILDING FOR
145 LIBRARY LANE
MAMARONECK, NEW YORK

Dwg. Name: GROUND FLOOR PLANS

Project No: 17001
Date: FEB 21, 2017
Sheet Number: A-0



1 SECOND- FOURTH FLOOR PLAN
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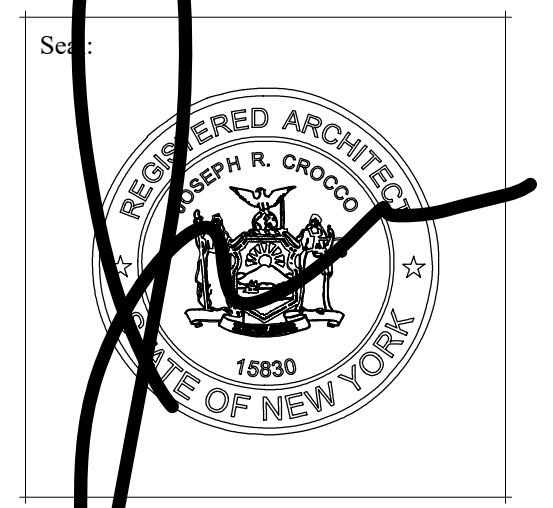
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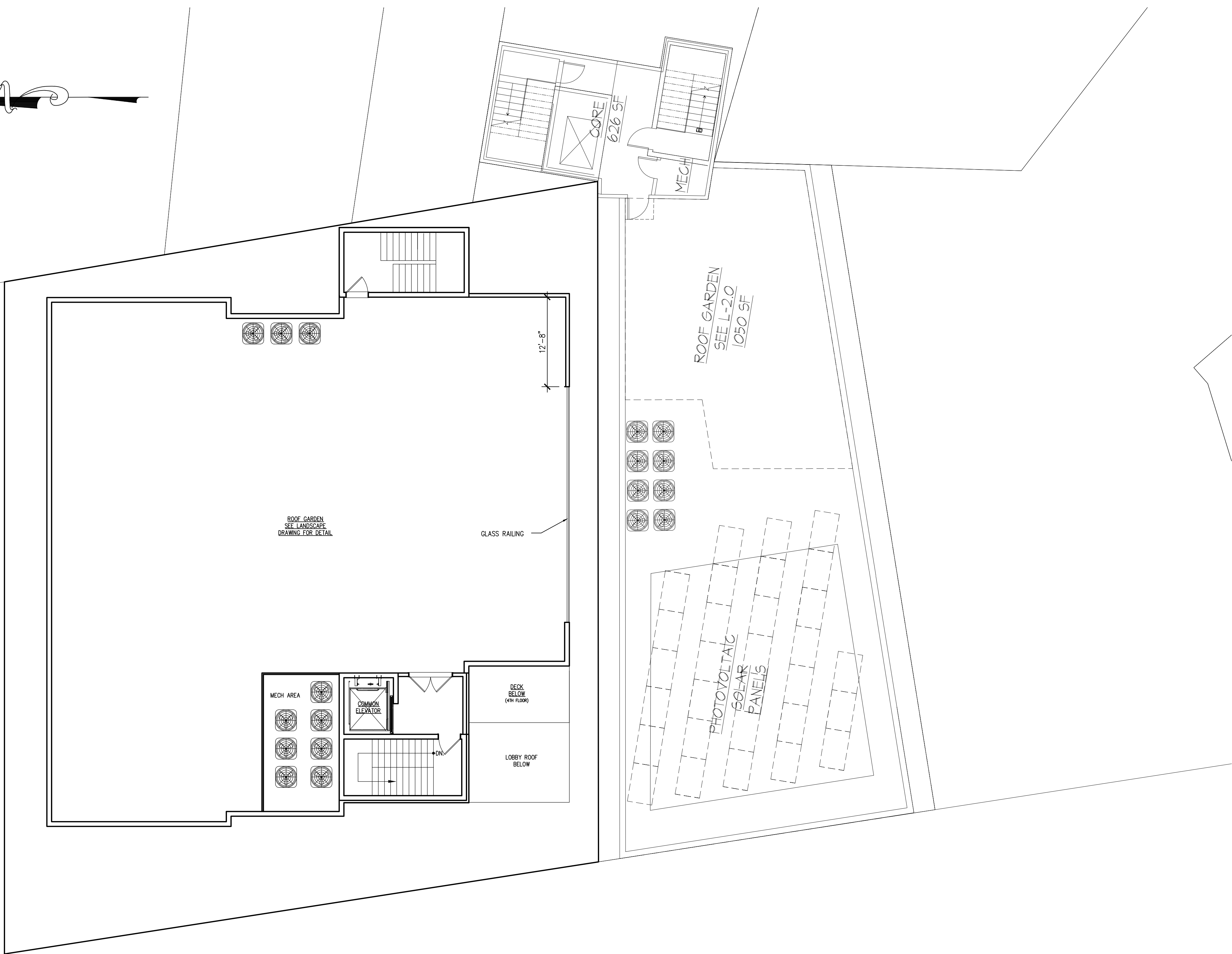
NEW APARTMENT BUILDING FOR
145 LIBRARY LANE
MAMARONECK, NEW YORK

Dwg. Name:
2ND, 3RD & 4TH FLOOR PLAN

Project No:
17001

Date:
MAY 24, 2017

Sheet Number:
A-1



1 ROOF FLOOR
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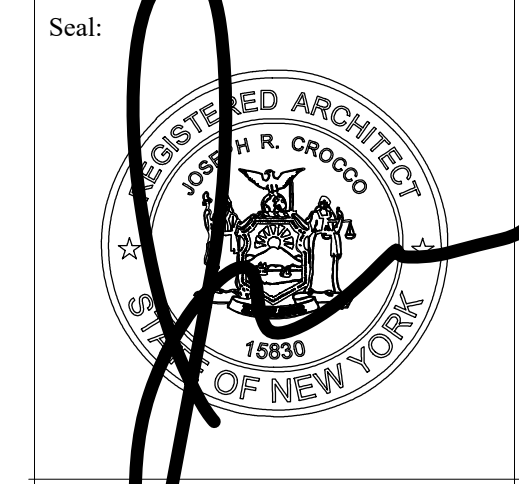
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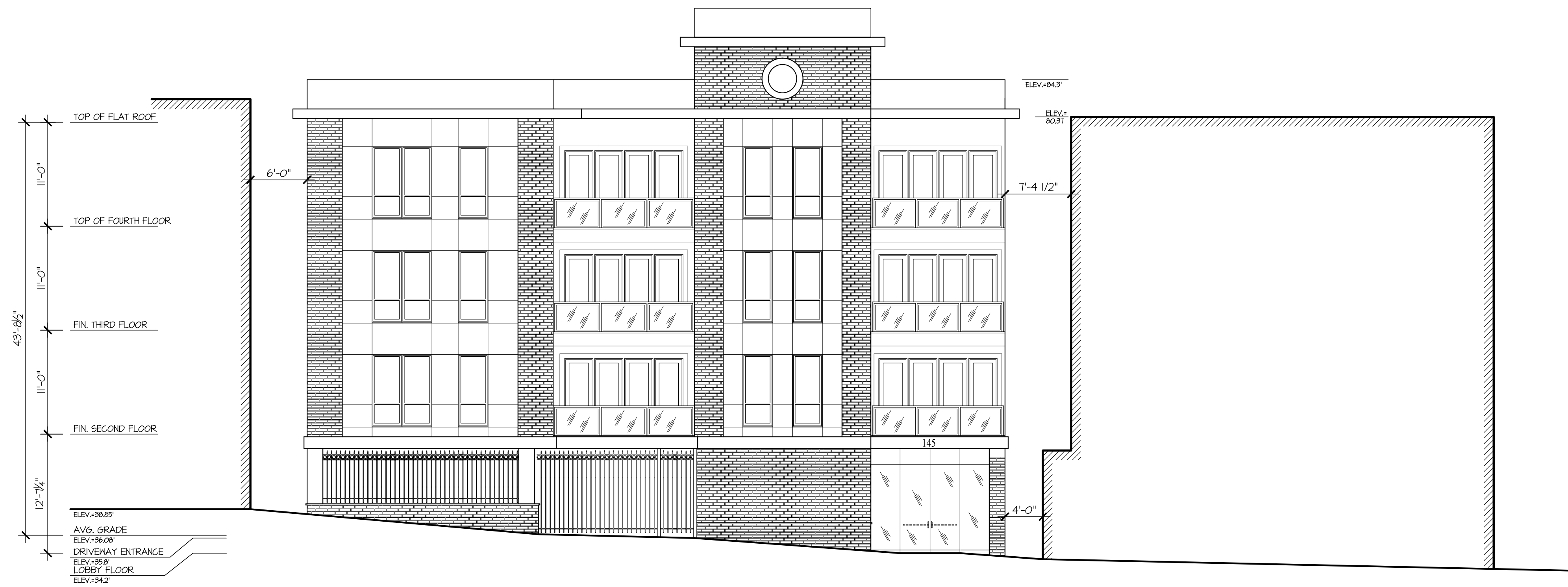


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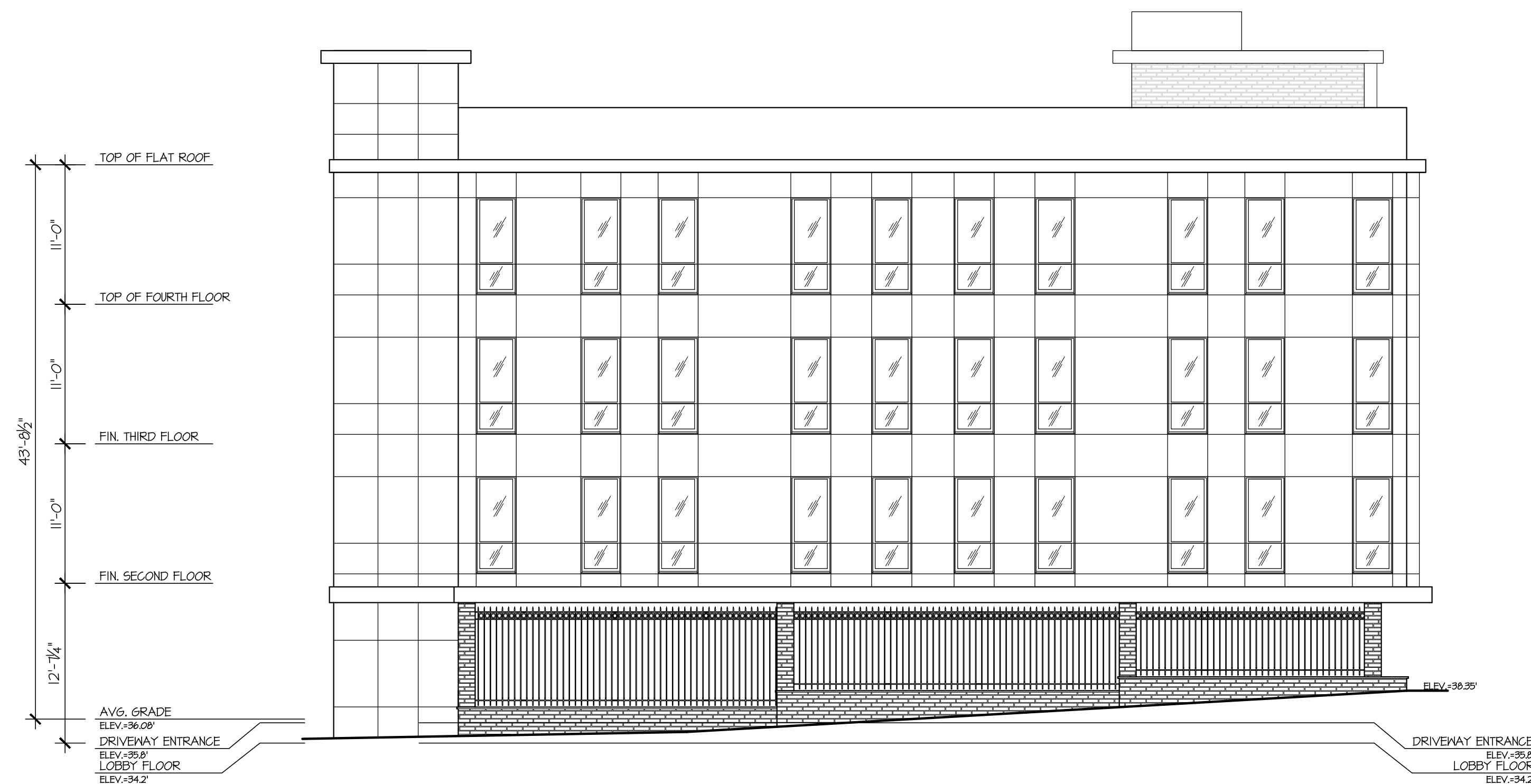
NEW APARTMENT
BUILDING
FOR
145 LIBRARY LANE
MAMARONECK, NEW YORK

Dwg. Name:
ROOF PLAN

Project No:
17001
Date:
MAY 24, 2017
Sheet Number:
A-2



1 FRONT/WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 LEFT SIDE/ NORTH ELEVATION
SCALE: 1/8" = 1'-0"

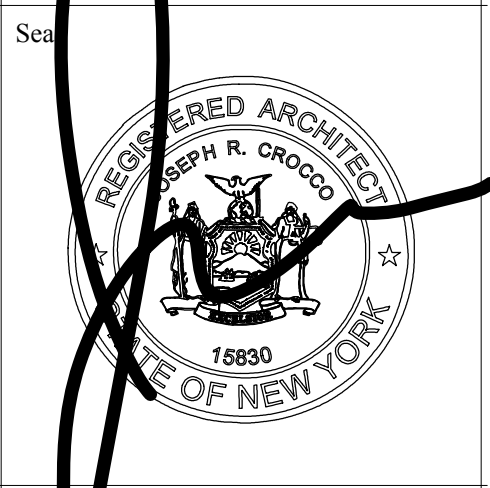
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NEW APARTMENT BUILDING FOR

145 LIBRARY LANE
MAMARONECK, NEW YORK

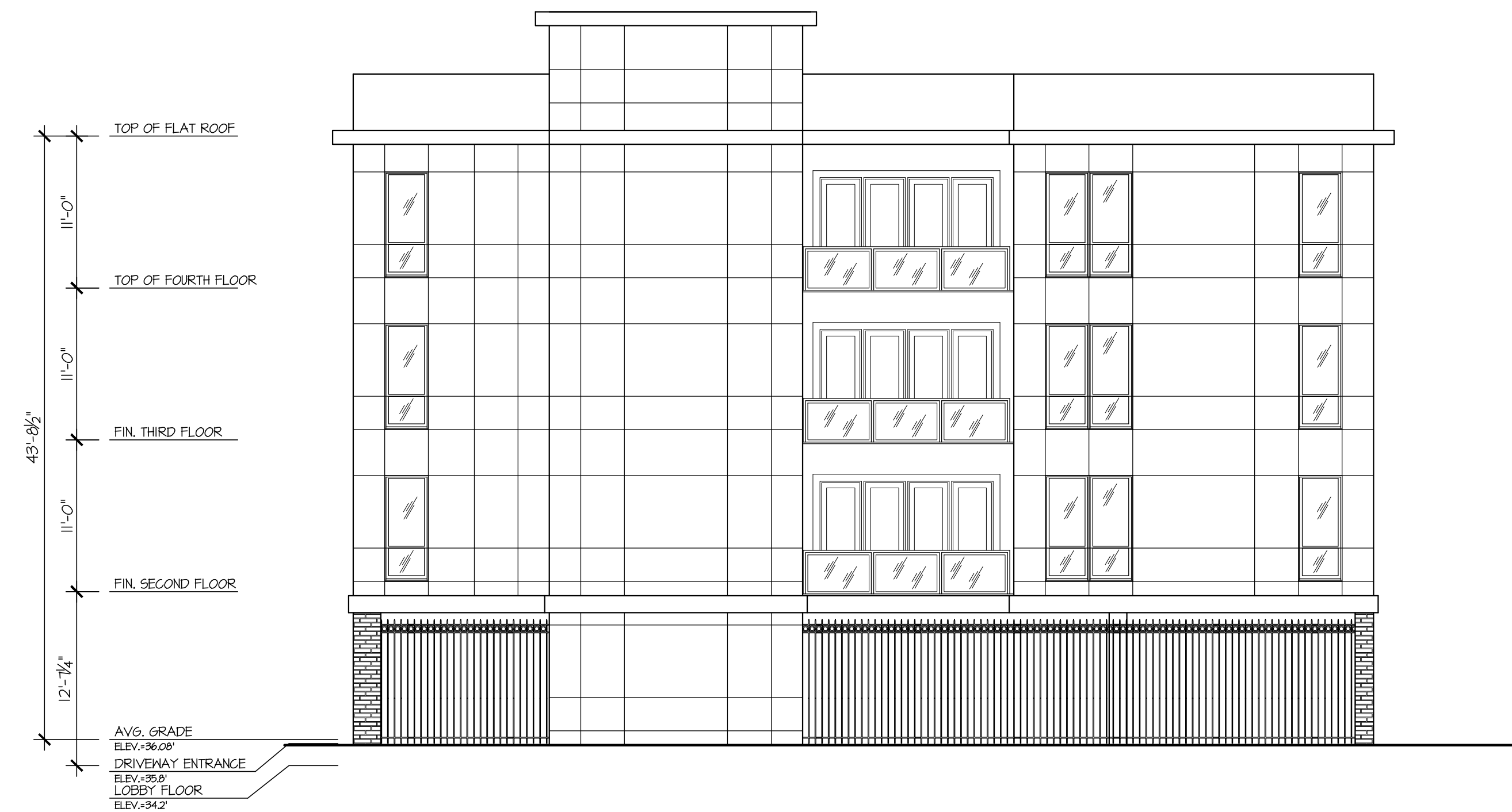
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ELEVATIONS

Project No:
17001

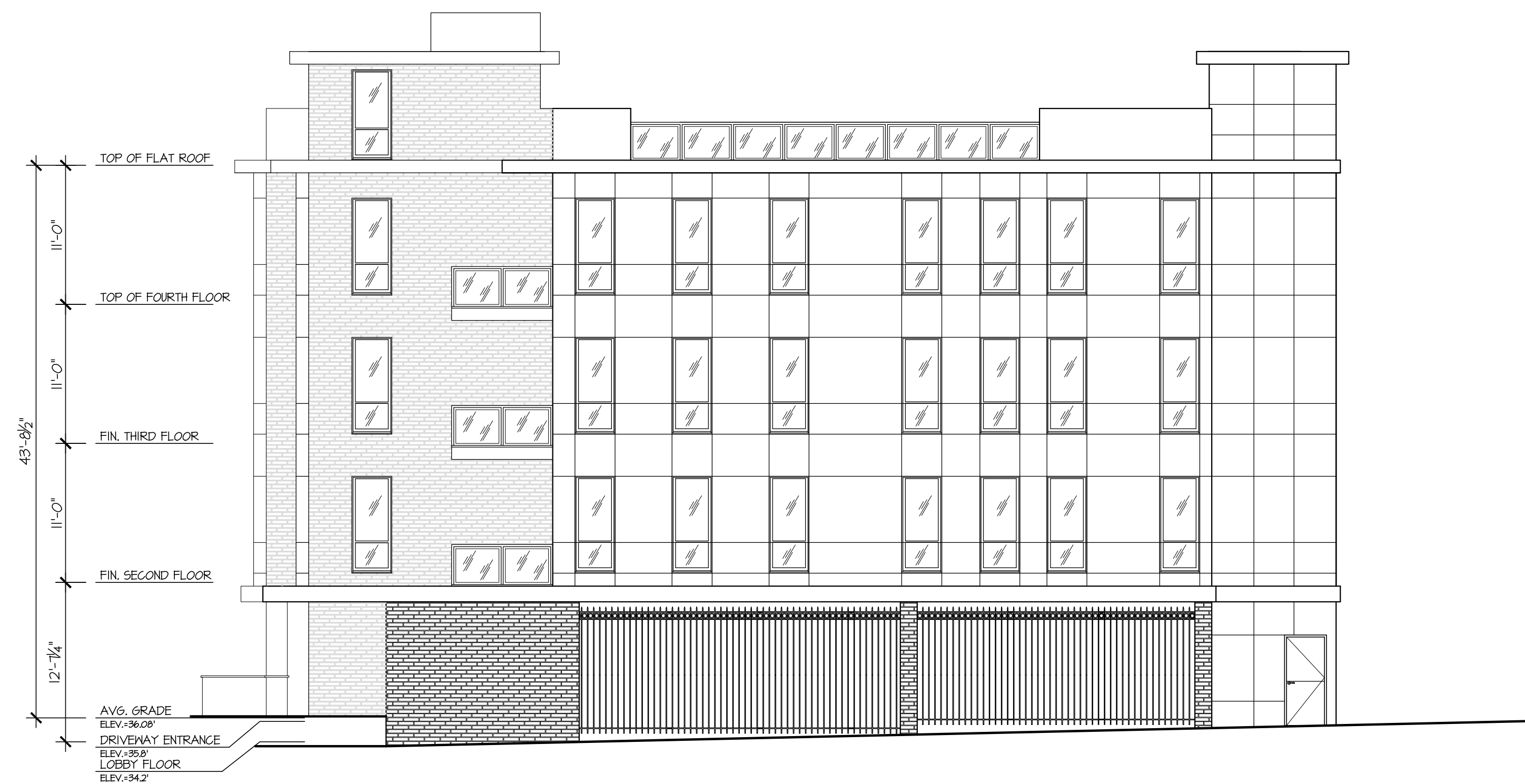
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Sheet Number:

A-3



1 REAR/EAST ELEVATIONS
SCALE: 1/8" = 1'-0"



2 RIGHT SIDE/SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

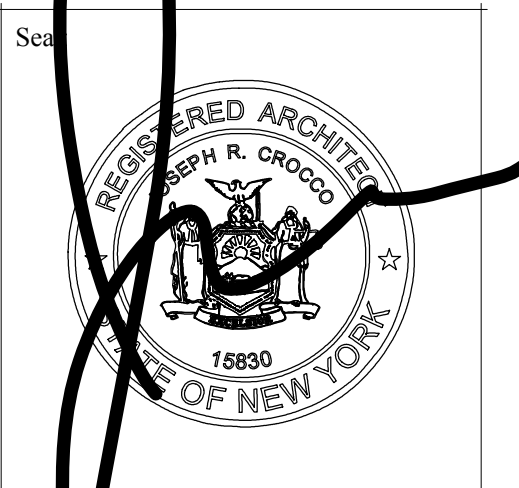
ALL DRAWINGS & WRITTEN MAT'L. APPEARING HEREIN CONSTITUTE ORIGINAL & UNPUBLISHED WORK OF THE ARCHITECT & MAY NOT BE DUPLICATED, USED OR DISCLOSED W/OUT WRITTEN CONCENT OF THE ARCHITECT. THEREFORE, ALL DWGS. HEREIN ARE FOR THE EXPRESS USE OF THE JOB CALLED OUT IN THE TITLE BLOCK & MAY NOT BE DUPLICATED FOR THE USE OF SIMILAR JOBS.

DO NOT SCALE DWGS. USE GIVEN DIMENSIONS ONLY. IF NOT SHOWN, VERIFY CORRECT DIMENSIONS WITH THE ARCHITECT. THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & CONDITIONS AT THE SITE. PLEASE NOTIFY ARCHITECT OF ANY DISCREPANCIES.

UNAUTHORIZED ADDITION OR ALTERATION OF THIS PLAN IS A VIOLATION OF SECTION T204(2) OF THE NEW YORK STATE EDUCATION LAW.

THE ARCHITECT WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHER'S FAILURE TO OBTAIN AND/OR FOLLOW THE ARCHITECT'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

REVISION	DATE
1. CLIENT MEETING	02.24.17
2. PB SUBMISSION	05.08.17
3. PB SUBMISSION	06.16.17
4. PB SUBMISSION	08.24.17



joseph r. crocco
architects
new york connecticut new jersey massachusetts
4 macedonald avenue, suite 5
airmont, new york 10504
(914) 273-2774 fax (914) 273-2776

**NEW APARTMENT
BUILDING
FOR**
145 LIBRARY LANE
MAMARONECK, NEW YORK

Dwg. Name:
ELEVATIONS

Project No:
17001

Date:
APRIL 10, 2017

Sheet Number:
A-4

RECEIVED 10/12/2017

MEMORANDUM



TO: Ms. Cindy Goldstein, HCZMC Chair
CC: Members of the HCZMC
Mr. Bob Galvin, AICP, Consulting Village Planner
FROM: Hugh J. Greechan, P.E., Consulting Village Engineer
DATE: October 13, 2017
RE: 145-149 Library Lane
Site Plan Review

The purpose of this memorandum is to provide the Planning Board with a summary of our review of the initial site plan application documents received related to the proposed improvements at 145-149 Library Lane, located in the Village of Mamaroneck, New York. The application proposes the merger of two lots, demolition of existing buildings, and construction of a new four-story residential building with parking on ground level. This review was focused on the engineering design and the associated Village Code requirements in accordance with the following:

- Village of Mamaroneck Code, Chapter 294 *Stormwater Management and Erosion and Sediment Control*, and other sections, as applicable.
- New York State Department of Environmental Conservation (NYSDEC) *Stormwater Management Design Manual*, last revised January 2015.
- *New York State Standards and Specifications for Erosion and Sediment Control*, dated August 2015.

DOCUMENTS REVIEWED

- Cover Letter, "Re: 145-149 Library Lane", by Nathaniel J. Holt, P.E., dated October 3, 2017.
- *Stormwater Pollution Prevention Plan for The Residences at Library Lane*, by Nathaniel J. Holt P.E., dated June 11, 2017, revised September 28, 2017.
- Engineering Drawings, "The Residences at Library Lane", by Nathaniel Holt, P.E., including:

Sheet Name	Last Dated	Last Revised	Sheet Name	Last Dated	Last Revised
Sheet 1: Existing Conditions	4/5/17	9/28/17	Sheet 5: Hydrology Plan Proposed	4/5/17	9/28/17
Sheet 2: Site Plan	4/5/17	9/28/17	Sheet 6: Details	4/5/17	9/28/17
Sheet 3: Utility Plan With Stormwater Mitigation	4/5/17	9/28/17	Sheet 7: Details	4/5/17	9/28/17
Sheet 4: Grading and Soil Erosion Control Plan	4/5/17	9/28/17			



DISCUSSION

The following is a summary of our comments at this time, based on reviews conducted during Planning Board review. It should be noted that additional comments may be added upon receipt of further information and subsequent submittals. The status of previous comments is noted in **Bold Type**.

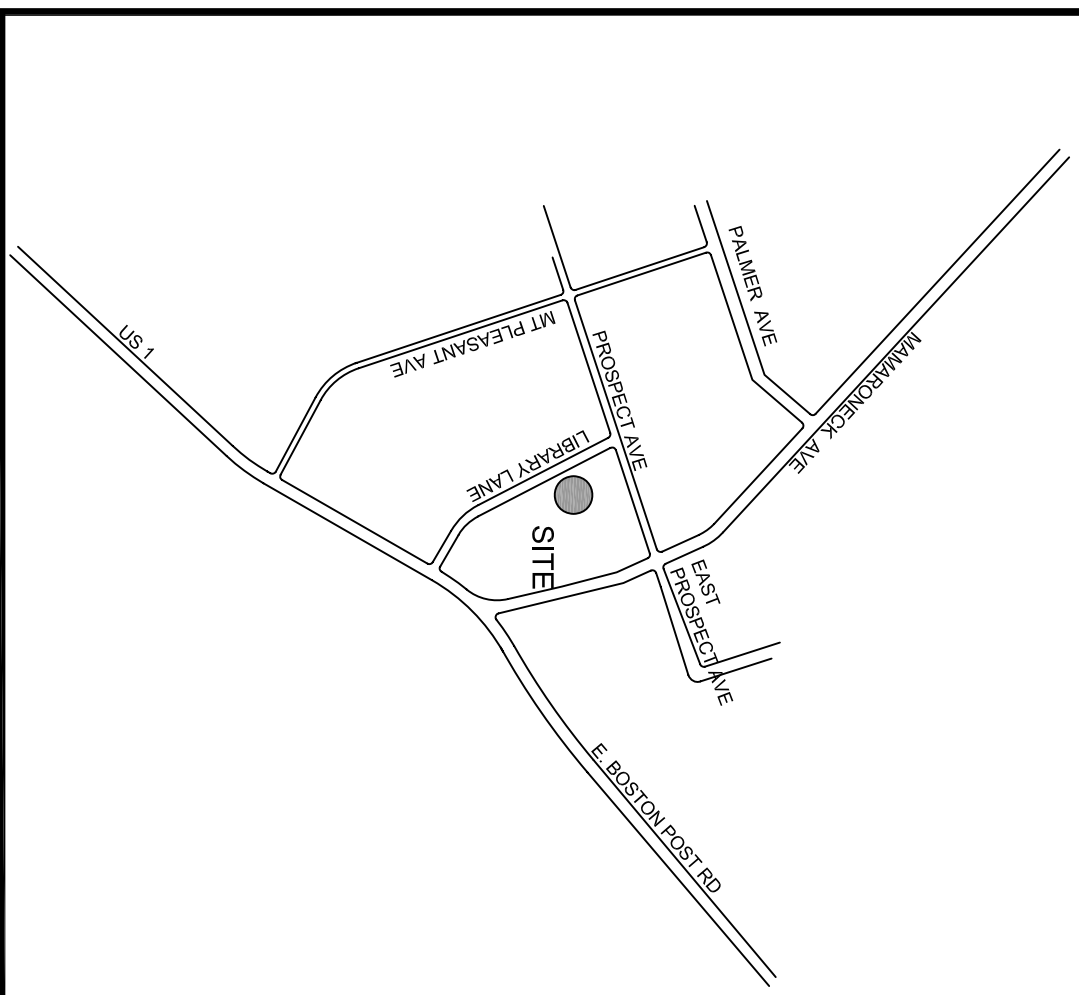
1. The Applicant shall provide a Stormwater Pollution Prevention Plan (SWPPP) in accordance with Chapter 294 "Stormwater Management and Erosion and Sediment Control" of the Village Code (refer to Section 294-8 / B – Contents of stormwater pollution prevention plan). The SWPPP can be provided in the form a brief technical report and must provide stormwater management information including, but not limited to: description of existing and proposed drainage conditions, in-situ hydrologic soil groups, design calculations, field test data, description of proposed stormwater management system, description of temporary and permanent soil erosion and sediment controls, and maintenance requirements for the proposed systems. **Partially Addressed. The Applicant has submitted a SWPPP that shall be revised per the following items:**
 - a. **The Applicant shall specify that topsoil to be imported to reclaim previously impervious areas shall comply with the "Unrestricted Use Soil Cleanup Objectives" set forth in 6 NYCRR Part 375, Environmental Remediation Programs, Section 375-6, Remedial Program Soil Cleanup Objectives.**
 - b. **The Applicant shall revise the hydrologic computations presented in the *Future Hydrology* table (i.e. roof resultant value).**
 - c. **The Applicant shall furnish calculations for the proposed infiltration practice once the percolation tests have been completed, and shall adjust the design as required.**
 - d. **Note 3 of the proposed construction sequence in the SWPPP indicates that the contractor will install erosion control measures after the demolition of existing structures and the removal of debris. The Applicant shall revise the construction sequence to indicate that erosion control measures are to be installed prior to any construction/demolition activities.**
 - e. **Note 14 of the proposed construction sequence in the SWPPP indicates that the contractor will remove erosion and sediment controls and temporary stormwater runoff controls prior to demobilizing from the site. The Applicant shall include a note that temporary sediment trapping erosion and sediment controls are not to be removed until permanent stabilization (80% uniform density of permanent vegetation or permanent mulch/stone) is established in all contributory drainage areas per the latest version of the *New York State Standards and Specifications for Erosion and Sediment Control*.**
2. The Applicant shall assign a curve number (CN) value of 98 to existing gravel drive areas. **Addressed.**
3. The Applicant shall consider a 24-hr rainfall depth of 6.41 inches for the 25-Yr storm in accordance with current NRCC data for the project location. **Addressed.**



4. The 90% Rainfall Event Number used to compute the water quality volume may be decreased to 1.5 in accordance with Figure 4.1 in Chapter 4 of the NYS Stormwater Management Design Manual. **Addressed.**
5. The Applicant shall perform deep tests and percolation tests at the site to confirm the feasibility of the proposed stormwater quality practice (i.e. adequate separation to bedrock and ground water, and favorable percolation rates). Tests and results shall be witnessed and signed and sealed by a professional engineer licensed in the state of New York. **Not Addressed; the Applicant indicated in the SWPPP that deep tests and percolation tests cannot be performed until the Applicant has completed purchase of the property. Satisfaction of this comment will be achieved once the Applicant performs deep test pits and percolation tests, and adjusts the design of the proposed stormwater management system based on results, if necessary. In addition, the Applicant shall show the locations of deep test pits and percolation tests on the plans.**
6. The Applicant shall replace the proposed oil-water separator with an acceptable pre-treatment practice upstream of the proposed stormwater quality practice. Acceptable pre-treatment practices are those described in the NYS Stormwater Management Design Manual, or proprietary pre-treatment practices approved by NYSDEC for effective separation of oil-water and sediment retention. **Partially Addressed; the Applicant shall clarify how the proposed pre-treatment will handle flows that exceed its treatment capacity.**
7. The Applicant shall depict on the plans how roof drainage and other site drainage will be routed into the proposed stormwater pre-treatment and treatment practice. **Addressed.**
8. The Applicant shall consider dropping the invert elevation of the proposed stormwater quality system overflow or the implementation of an upstream bypass structure. Ultimately, the Applicant shall demonstrate that the calculated water quality volume will be fully retained before the system overflows. **Addressed; the Applicant has excluded infiltration and provided a proposed overflow structure with the appropriate outlet elevation to retain the full water quality volume (WQv).**
9. The Applicant shall consider the implementation of maintenance ports and an isolator row to allow maintenance of the infiltration practice. **Addressed.**
10. The Applicant shall depict the location of all proposed drain inlets on the plans. **Addressed.**
11. The Applicant shall replace the catch basin detail with the Village of Mamaroneck's standard catch basin detail that shows a Type N catch basin head, and modify the standard detail as necessary to show how the catch basin will be installed through the existing drain line. **Addressed.**
12. The Applicant shall propose temporary sediment traps/inserts in the proposed catch basin and area drains to prevent sediment migration from the site. **Partially addressed; the Applicant shall include a detail for the proposed catch basin inserts on the plans in accordance with the latest version of the New York State Standards and Specifications for Erosion and Sediment Control.**
13. The Applicant shall confirm that the proposed trench drain is capable of supporting delivery truck loads; and/or revise the detail to include a product that can support such loads. **Addressed; the trench drain has been removed from the plans.**



14. The Applicant shall provide construction details of all proposed soil erosion and sediment controls (i.e. catch basin inserts, stabilized construction entrance, silt fence, etc.). **Addressed.**
15. The Applicant shall include the proposed finished floor elevations and depict the proposed contours on the plans. **Addressed.**
16. The Applicant shall clarify the diameter for the proposed outlet pipe from the proposed stormwater management system. It appears the that "Overflow Pipe" and "Outlet Control" details on Sheet 6 have contradicting pipe sizes. **Not Addressed.**
17. The Applicant shall label all proposed stormwater management infrastructure associated with the stormwater management system on the plans. The rim, invert and sump elevations of the proposed stormwater drainage infrastructure shall be included. **Addressed.**
18. The Applicant shall show the location of the inspection port for the proposed 3 cultec infiltrators on the plans. In addition, the Applicant shall provide a detail of the proposed inspection port. **Partially Addressed. The Applicant shall provide a detail of the inspection port called out on Sheet 3.**
19. The Applicant shall update the proposed pipe alignment for the "Junction Box" detail on Sheet 7 to match the proposed pipe alignment on the plans. **Not Addressed.**
20. The Applicant shall include the construction sequence for the proposed site improvements on the plans. **Addressed. The Applicant has provided the construction sequence in the SWPPP. Refer to our responses to Comment #1 for further action on the construction sequence.**
21. The Applicant shall depict the location and provide a detail for the proposed temporary soil stockpile referenced in the "Site Stabilization Guidelines" on Sheet 7. **Not Addressed.**



LOCATION PLAN

CONTRACT VENDEE: BRETT GARSON
c/o GARSON BROTHERS MAMARONECK, LLC
1180 MIDLAND AVENUE
SUITE 1G
BRONXVILLE, NY 10708

PROPERTY OWNERS: 149 LIBRARY LANE
EMELIN THEATRE

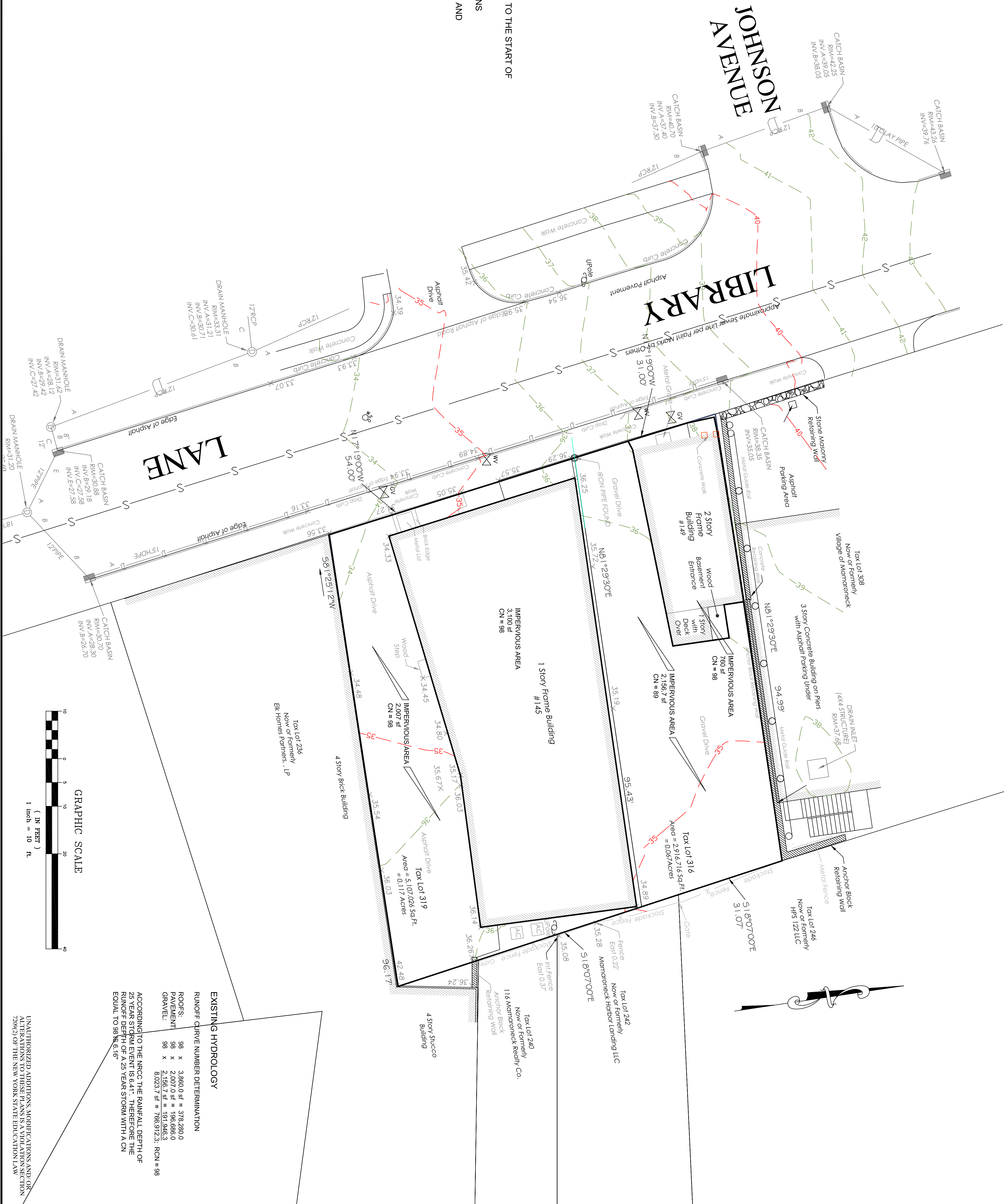
145 LIBRARY LANE
KANE PARTNERS REALTY

PROPERTY TAX ID: SECTION 9; BLOCK 50; LOTS 6A &

ZONING: C-2 (CENTRAL COMMERCIAL)

NOTES

1. BASE MAP FROM A SURVEY PREPARED BY TC MERRITS, ENTITLED "TOPOGRAPHY OF PROPERTY PREPARED FOR GARSON PROPERTIES", DATED FEBRUARY 17, 2017.
2. SEE ARCHITECTURAL PLANS BY JOSEPH OROCCO ARCHITECTS
3. CONTRACTOR TO CALL "DIG SAFELY NEW YORK" DIAL 811, PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES
4. ALL IMPROVEMENTS WITHIN THE RIGHT OF WAY TO BE IN COMPLIANCE WITH THE VILLAGE OF MAMARONECK SPECIFICATIONS AND DETAILS
5. SOIL TESTING TO BE COORDINATED WITH THE DESIGN ENGINEER AND THE VILLAGE OF MAMARONECK UPON COMPLETION OF DEMOLITION ACTIVITIES TO CONFIRM DESIGN CALCULATIONS.



5	
4	
3	September 28, 2017
	Redesign
2	August 15, 2017
	Redesign
1	June 13, 2017
	Address Comments
	Original: April 5, 2017
	Project Code: AGAR-

SHEET:

1 of 7

NATHANIEL J. HOLT, P.E.


592 ROUTE 22
PAWLING, NEW YORK 12564
(914) 760-1800

THE RESIDENCES
at
LIBRARY LANE

145 & 149 LIBRARY LANE VILLAGE OF MAMARONECK, NY

EXISTING CONDITIONS

Nathaniel J. Holt, P.E.



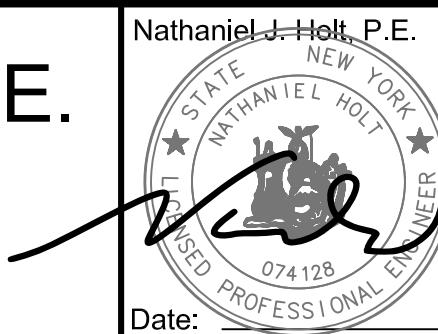
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145 & 149 LIBRARY LANE VILLAGE OF MAMARONECK, NY

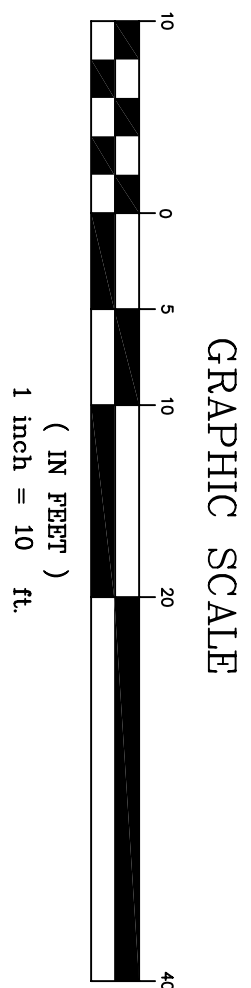
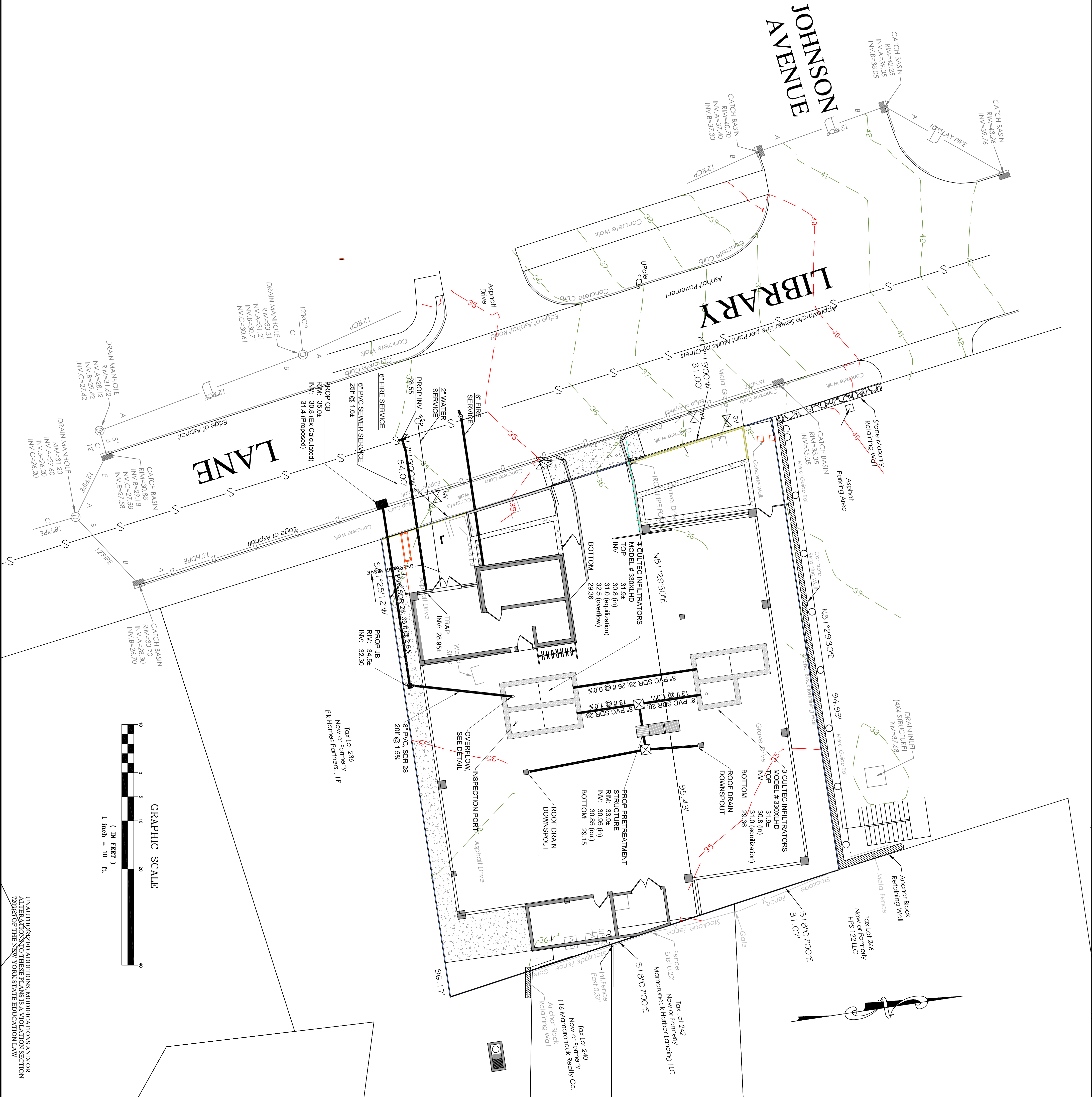
SITE PLAN

592 ROUTE 22
PAWLING, NEW YORK 12564
(914) 760-1800



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3	September 28, 2017
2	Redesign
2	August 15, 2017
1	Redesign
1	June 13, 2017
	Address Comments
	Original: April 5, 2017
	Project Code: AGAR-

2 of 7



Nathaniel J. Holt, P.E.
NEW YORK STATE
REGISTERED PROFESSIONAL ENGINEER
074126
Date: _____

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2	September 28, 2017
1	Redesign
	June 19, 2017
	Address Comments
	Original: April 5, 2017
	Project Code: AGAR-

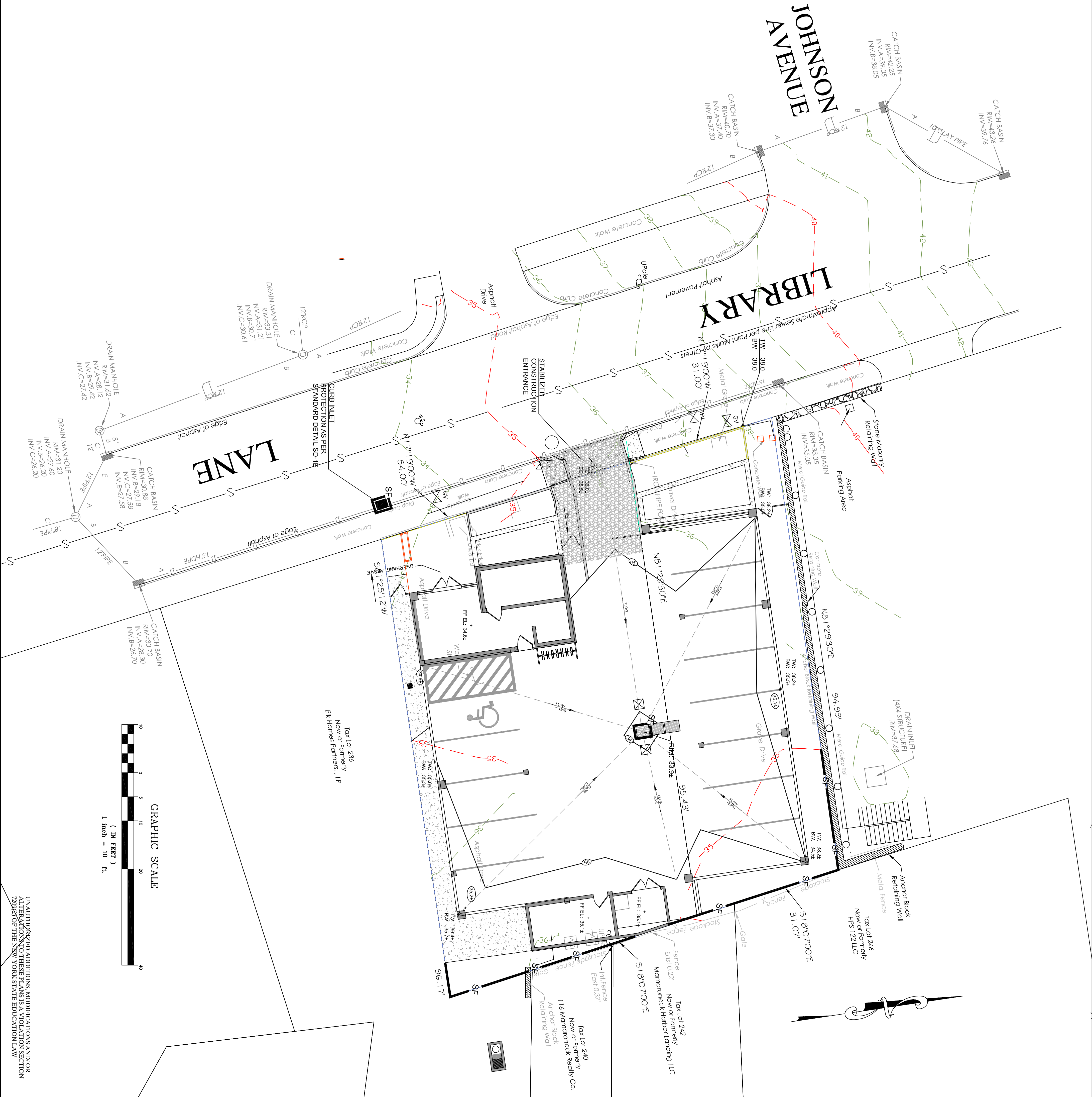
SHEET:
3 of **7**

THE RESIDENCES
at
LIBRARY LANE

145 & 149 LIBRARY LANE VILLAGE OF MAMARONECK, NY

UTILITY PLAN
WITH STORMWATER
MITIGATION

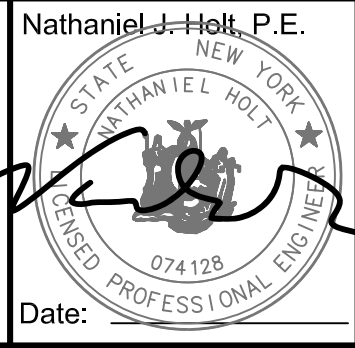
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PAWLING, NEW YORK 12564
(914) 760-1800



THE RESIDENCES
at
LIBRARY LANE
145 & 149 LIBRARY LANE VILLAGE OF MAMARONECK, NY

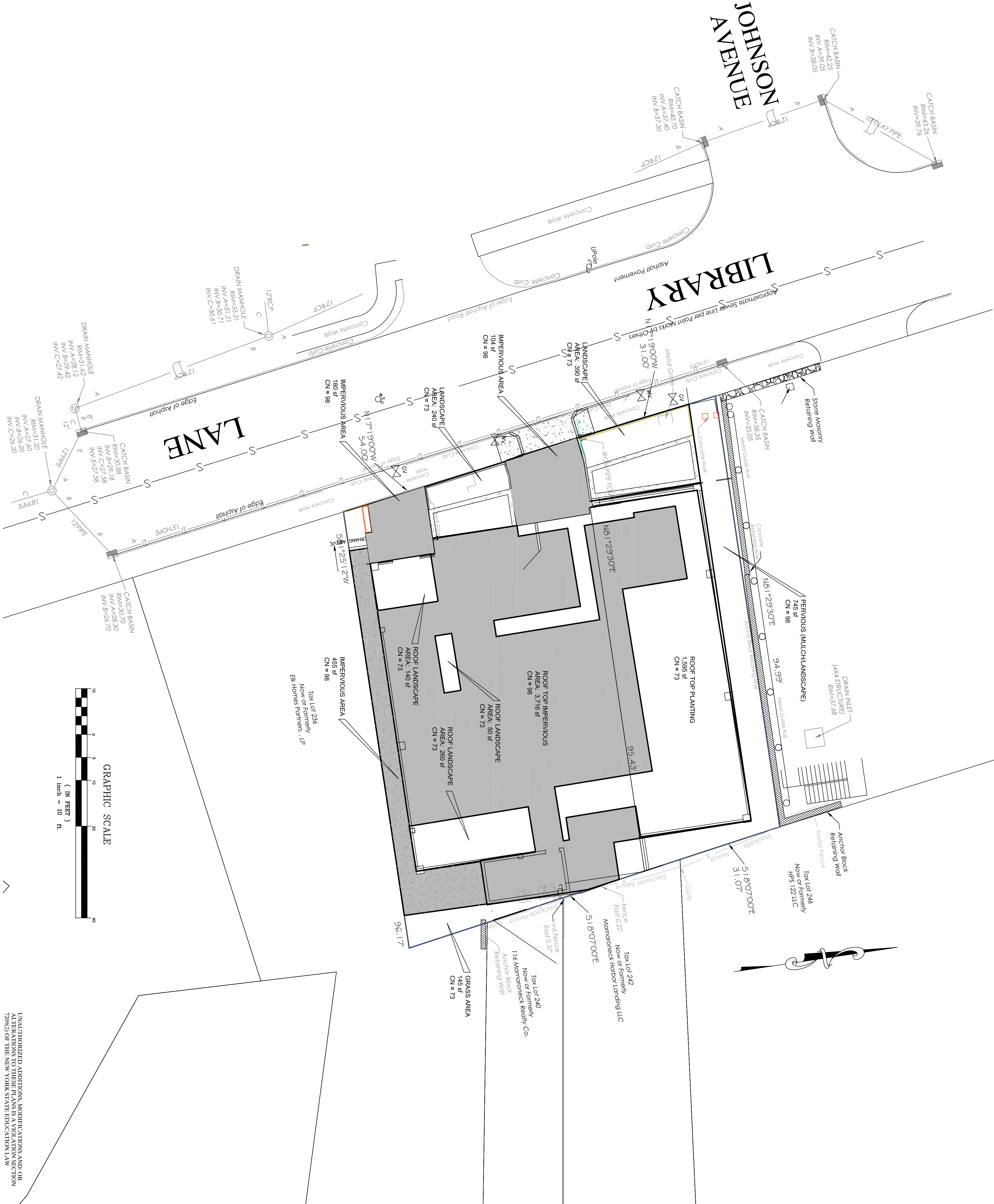
GRADING AND SOIL
EROSION CONTROL
PLAN

NATHANIEL J. HOLT, P.E.
592 ROUTE 22
PAWLING, NEW YORK 12564
(914) 760-1800



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3	September 28, 2017
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	June 19, 2017
	Address Comments
	Original: April 5, 2017
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SHEET:
4 of 7



FUTURE HYDROLOGY

RUNOFF CURVE NUMBER DETERMINATION

ROOF:	98	x	3,710 sf	=	363,580
GRASS/LANDSCAPE:	73	x	3,565 sf	=	260,245
PAVEMENTS:	98	x	8,023.7 sf	=	697,227

RCN = 86.90

IN ACCORDANCE WITH THE NRCC, THE RAINFALL DATA FOR WESTCHESTER COUNTY DURING A 25 YEAR STORM EVENT IS 6.41 INCHES. BY INTERPOLATION, THE RUNOFF DEPTH ASSOCIATED WITH A CN OF 93.67 IS 5.64".

MITIGATION

DESIGN PARAMETERS: CAPTURE AND TREAT THE INCREASE IN RUNOFF OF THE 25 YEAR STORM EVENT

METHODOLOGY: SOIL CONSERVATION SERVICES TR-55 MANUAL

1. FROM SHEET 1: BASED UPON THE EXISTING IMPERVIOUS AREAS, THE RCN WAS DETERMINED TO BE 86.90

2. BASED UPON THE RAINFALL DATA OBTAINED FROM THE NRCC, THE RAINFALL DEPTH ASSOCIATED WITH THE 25 YEAR STORM EVENT IS 6.41". THEREFORE, THE RUNOFF DEPTH ASSOCIATED WITH THE SAME STORM EVENT IS 6.16".

3. SIMILARLY, UNDER THE PROPOSED CONDITION THERE WILL BE A DECREASE IN IMPERVIOUS AREA WHICH RESULTS IN A REDUCTION IN THE RCN TO: 86.90.

4. AS THERE IS A DECREASE IN THE RCN, THERE IS A CORRESPONDING DECREASE IN THE RATE OF RUNOFF. THEREFORE THERE IS NO REQUIREMENT TO MITIGATE FOR QUANTITY.

WATER QUALITY

IN ACCORDANCE WITH THE NYSDEC DESIGN MANUAL: WATER QUALITY IS TO BE MITIGATED BASED UPON THE FOLLOWING EQUATION:

WHERE: WQV = $\frac{P(RV)A}{12}$

P = 1.5"

RV = $(0.05 + 0.009(55.6)) = 0.55$

A = SITE AREA (ACRES) = 0.164 AC

I = IMPERVIOUS AREA IN % = 55.6

WQV = $\frac{(1.5)(0.55)(0.164)}{12} = 0.0127$ ac-ft = 561.6 cf

PROPOSED MITIGATION (without Percolation)

ONE CUL-TEC UNIT (MODEL 330XLHD) HAS THE CAPACITY OF 11.32 cdf. THEREFORE:

552 cdf / 11.32 cdf = 48.7 ft = 7 Units

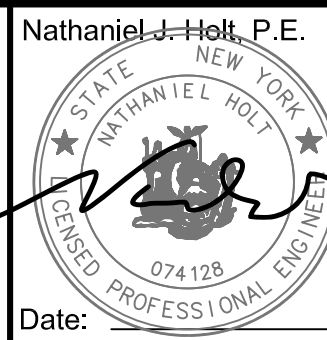


THE RESIDENCES
at
LIBRARY LANE

145 & 149 LIBRARY LANE VILLAGE OF MAMARONECK, NY

HYDROLOGY PLAN
PROPOSED

NATHANIEL J. HOLT, P.E.
592 ROUTE 22
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(914) 760-1800



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3	September 28, 2017
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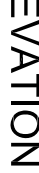
SHEET:

5 of 7

NTS



N.T.S



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NTS

- 'BULGES' DEVELOP IN FENCE.**

NTS



- TRAFFIC RATED

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NTS

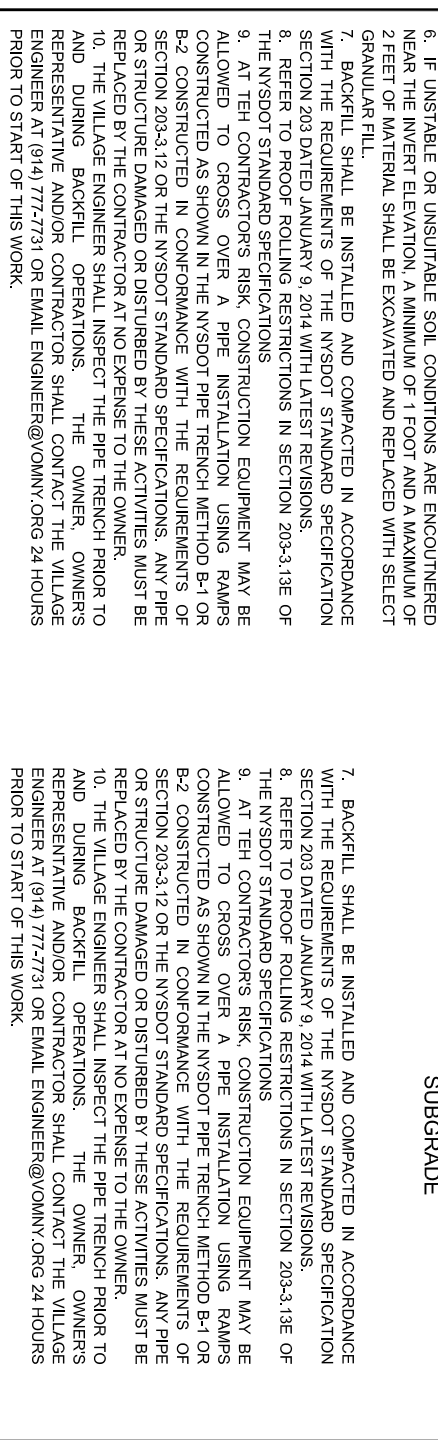


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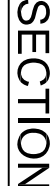
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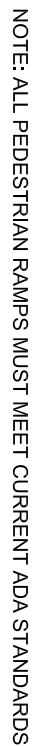


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MEET CURRENT ADA STANDARDS.

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ALL RIGHTS RESERVED. UNAUTHORIZED
DUPLICATION IS A VIOLATION OF
APPLICABLE LAWS

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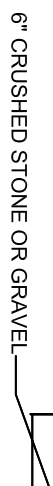
CONCRETE CURB/SIDEWALK DETAIL



1. STONE SIZE - USE 3" CRUSHED STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT

- [illegible]

475



SITE STABILIZATION GUIDELINES

SHOWN ON THESE DRAWINGS

ALSO BE EMPLOYED WHERE NECESSARY.

- # CONSTRUCTION GUIDELINES

SQUARE FEET.

1. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED BY FENCING, FLAGGING OR SIMILAR MEANS.
2. ONLY THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY TIME DURING CONSTRUCTION.
3. SITE CONSTRUCTION ACTIVITIES SHALL START WHENEVER POSSIBLE AT THE NEAREST POINT UPSTREAM OF THE SILT TRAPS AND PROCEED TO ACTIVITIES FURTHER UPSTREAM.
4. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE PERIOD OF EXPOSURE SHALL BE KEPT TO A MINIMUM, INSTALLING PERMANENT AND FINAL VEGETATION, PAVING STRUCTURES, ETC AT THE EARLIEST POSSIBLE OPPORTUNITY.

ACTIVITY

- | | |
|---|---|
| INSPECT INLET, PRETREATMENT STRUCTURE AND OUTLET CONTROL STRUCTURE TO ENSURE GOOD CONDITION. | SEASONALLY/QUARTERLY DURING THE FIRST YEAR, BIANNUALLY THEREAFTER |
| INSPECT SURFACE AND SUBSURFACE SYSTEMS. INSPECT PAVEMENTS FOR STRUCTURAL INTEGRITY | |
| INSPECT NON PAVED AREAS FOR EROSION OR IMPROPER VEGETATIVE COVER | |
| INSPECT INLET, PRETREATMENT STRUCTURE AND OUTLET CONTROL STRUCTURE FOR ACCUMULATION OF SILTS AND DEBRIS | |
| INSPECT HEADER PIPE FOR ACCUMULATION OF SILTS AND DEBRIS | |
| INSPECT YARD DRAINS, CATCH BASINS AND INLETS FOR BLOCKAGE OR ACCUMULATION OF DEBRIS | SEMI ANNUALLY FOR THE FIRST YEAR, ANNUALLY THEREAFTER |
| INSPECT OBSERVATION WELLS AND OUTLET CONTROL STRUCTURES FOR PROPER DRAWDOWN BETWEEN STORM EVENTS | |
| | MONTHLY AND AFTER LARGE SNOW STORMS OR RAIN FALL EVENTS |

ACTIVITY

EQUIPMENT

- | | | | |
|--|---|--|----------------------------|
| CLEAN SPILLS IN PAVEMENT AREA WHICH ARE TRIBUTARY TO THE INFILTRATION SYSTEM | | | |
| SWEEP ALL PAVEMENTS AND WALKS CLEAN OF SANDS, SILTS AND DEBRIS | | | BROOMS |
| MAINTAIN (REPAIR) PAVED SURFACES | SEASONALLY OR AS NEEDED | | HAND SHOVELS |
| MAINTAIN AND REPLANT VEGETATIVE COVER. REPLACE MULCH | | | JET VACUUM |
| CLEAR DEBRIS FROM NON PAVED AREAS | | | |
| CLEAN PIPES | | | |
| JET VACUUM ACCUMULATED SILT AND DEBRIS FROM THE HEADER PIPES. USE A HIGH PRESSURE NOZZLE WITH REAR FACING JETS TO WASH SEDIMENT AND DEBRIS INTO THE INLET OR PRE-TREATMENT SUMP. | WHEN 25% OF THE PIPE VOLUME HAS BECOME FILLED WITH DEBRIS | | JET VACUUM |
| REMOVE SEDIMENT AND DEBRIS FROM PRE-TREATMENT SUMP | | | |
| APPLY MULTIPLE PASSES WITH A JET VACUUM UNTIL BACKWASH WATER RUNS CLEAR | WHEN SEDIMENT ACCUMULATION REACHES ONE HALF THE SUMP CAPACITY | | VACUUM TRUCK
JET VACUUM |
| CLEAR PIPES AND CHAMBERS OF SILT AND DEBRIS. REMOVE SEDIMENT AND DEBRIS FROM SUMPS IN PRE-TREATMENT AND OUTLET CONTROL STRUCTURES. | SEMI ANNUALLY IN THE FIRST YEAR:
YEARLY THEREAFTER | | HAND SHOVELS
JET VACUUM |

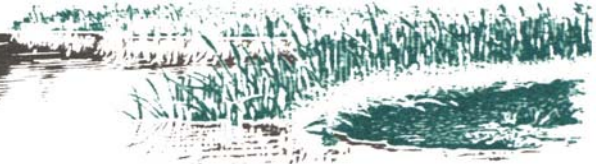
592 ROUTE 22
PAWLING, NEW YORK 12564
(914) 760-1800

145 & 149 LIBRARY LANE VILLAGE OF MAMARONECK, NY

DETAILS

Creative Habitat Corp.

253 Old Tarrytown Road, White Plains, NY 10603
T. 914-948-4389 F. 914-948-4390 www.creativehabitatcorp.com



From: Sven Hoeger, Environmental Consultant to the Village Landuse Boards

To: Members of the HCZM Commission

Date: October 11, 2017

**RE: Local Waterfront Revitalization Policies Review
145 & 149 Library Lane Redevelopment Proposal**

Commentary:

The Sediment and Erosion and Stormwater Pollution Prevention Plans look good to me, but I typically refer to the Village engineer on those issues. There appears to be a positive water quality impact on stormwater discharges, which flow directly into the harbor. LWRP Policies 33 and 37 apply.

***Policy # 33.** Best Management practices will be used to ensure the control of stormwater runoff and combined sewer overflows draining into coastal waters.*

Commentary: The project reduces impervious surface and provides water quality control. The use of Best Management practices makes it **consistent with Policy 33.**

***Policy #37.** Best management practices will be utilized to minimize the nonpoint discharge of excess nutrients, organics, and eroded soil into coastal waters.*

Commentary: The project reduces impervious surface and provides water quality control. The use of Best Management practices makes it **consistent with Policy 37.**

Plantings:

As noted in my July commentary, it would be desirable to use primarily native plants for all planting plans in the Village of Mamaroneck. The landscape plans for this project, furnished by Didona Associates and labeled L1.0 and L1.1 of June 16, 2017, propose mostly non-native plants for foundation plantings and the roof garden. Those plantings are mostly of esthetic value to the eye of the observer and perhaps add a little to the improvement of air quality. Native plants on the other hand – if chosen for the planting beds – can add ever more critical habitat for our native fauna (mostly butterflies, beetles, bees, birds, etc.). While any environmental benefit derived of plantings at this project will be minute in the overall Village context, it is the philosophy behind the design that counts most. I would urge the landscape designer to include as many native plants as possible – for the sake of increasing awareness of ecological connections the inner village has to its natural surroundings. Climate change is real and happening! The more we promote the natives the more we contribute to the buffering ability of our environment. Policies 7 – 10 Fish and Wildlife Policies, and policy 44, tidal and freshwater wetland protection are not directly applicable, but they convey the idea of the LWRP that all natural habitats have intangible benefits.

End of commentary

E-Mail: Sven@creativehabitatcorp.com ; Jacqueline@creativehabitatcorp.com

RECEIVED 10 12 2017
REVISED

MEMORANDUM



TO: Ms. Cindy Goldstein, HCZMC Chair
CC: Members of the HCZMC
Mr. Bob Galvin, AICP, Consulting Village Planner
FROM: Hugh J. Greechan, P.E., Consulting Village Engineer
DATE: October 13, 2017
RE: 145-149 Library Lane
Site Plan Review

The purpose of this memorandum is to provide the HCZMC with a summary of our review of the initial site plan application documents received related to the proposed improvements at 145-149 Library Lane, located in the Village of Mamaroneck, New York. The application proposes the merger of two lots, demolition of existing buildings, and construction of a new four-story residential building with parking on ground level. This review was focused on the engineering design and the associated Village Code requirements in accordance with the following:

- Village of Mamaroneck Code, Chapter 294 *Stormwater Management and Erosion and Sediment Control*, and other sections, as applicable.
- New York State Department of Environmental Conservation (NYSDEC) *Stormwater Management Design Manual*, last revised January 2015.
- *New York State Standards and Specifications for Erosion and Sediment Control*, dated August 2015.

DOCUMENTS REVIEWED

- Cover Letter, "Re: 145-149 Library Lane", by Nathaniel J. Holt, P.E., dated October 3, 2017.
- *Stormwater Pollution Prevention Plan for The Residences at Library Lane*, by Nathaniel J. Holt P.E., dated June 11, 2017, revised September 28, 2017.
- Engineering Drawings, "The Residences at Library Lane", by Nathaniel Holt, P.E., including:

Sheet Name	Last Dated	Last Revised	Sheet Name	Last Dated	Last Revised
Sheet 1: Existing Conditions	4/5/17	9/28/17	Sheet 5: Hydrology Plan Proposed	4/5/17	9/28/17
Sheet 2: Site Plan	4/5/17	9/28/17	Sheet 6: Details	4/5/17	9/28/17
Sheet 3: Utility Plan With Stormwater Mitigation	4/5/17	9/28/17	Sheet 7: Details	4/5/17	9/28/17
Sheet 4: Grading and Soil Erosion Control Plan	4/5/17	9/28/17			



DISCUSSION

The following is a summary of our comments at this time, based on reviews conducted during Planning Board review. It should be noted that additional comments may be added upon receipt of further information and subsequent submittals. The status of previous comments is noted in **Bold Type**.

1. The Applicant shall provide a Stormwater Pollution Prevention Plan (SWPPP) in accordance with Chapter 294 "Stormwater Management and Erosion and Sediment Control" of the Village Code (refer to Section 294-8 / B – Contents of stormwater pollution prevention plan). The SWPPP can be provided in the form a brief technical report and must provide stormwater management information including, but not limited to: description of existing and proposed drainage conditions, in-situ hydrologic soil groups, design calculations, field test data, description of proposed stormwater management system, description of temporary and permanent soil erosion and sediment controls, and maintenance requirements for the proposed systems. **Partially Addressed. The Applicant has submitted a SWPPP that shall be revised per the following items:**
 - a. **The Applicant shall specify that topsoil to be imported to reclaim previously impervious areas shall comply with the "Unrestricted Use Soil Cleanup Objectives" set forth in 6 NYCRR Part 375, Environmental Remediation Programs, Section 375-6, Remedial Program Soil Cleanup Objectives.**
 - b. **The Applicant shall revise the hydrologic computations presented in the *Future Hydrology* table (i.e. roof resultant value).**
 - c. **The Applicant shall furnish calculations for the proposed infiltration practice once the percolation tests have been completed, and shall adjust the design as required.**
 - d. **Note 3 of the proposed construction sequence in the SWPPP indicates that the contractor will install erosion control measures after the demolition of existing structures and the removal of debris. The Applicant shall revise the construction sequence to indicate that erosion control measures are to be installed prior to any construction/demolition activities.**
 - e. **Note 14 of the proposed construction sequence in the SWPPP indicates that the contractor will remove erosion and sediment controls and temporary stormwater runoff controls prior to demobilizing from the site. The Applicant shall include a note that temporary sediment trapping erosion and sediment controls are not to be removed until permanent stabilization (80% uniform density of permanent vegetation or permanent mulch/stone) is established in all contributory drainage areas per the latest version of the *New York State Standards and Specifications for Erosion and Sediment Control*.**
2. The Applicant shall assign a curve number (CN) value of 98 to existing gravel drive areas. **Addressed.**
3. The Applicant shall consider a 24-hr rainfall depth of 6.41 inches for the 25-Yr storm in accordance with current NRCC data for the project location. **Addressed.**



4. The 90% Rainfall Event Number used to compute the water quality volume may be decreased to 1.5 in accordance with Figure 4.1 in Chapter 4 of the NYS Stormwater Management Design Manual. **Addressed.**
5. The Applicant shall perform deep tests and percolation tests at the site to confirm the feasibility of the proposed stormwater quality practice (i.e. adequate separation to bedrock and ground water, and favorable percolation rates). Tests and results shall be witnessed and signed and sealed by a professional engineer licensed in the state of New York. **Not Addressed; the Applicant indicated in the SWPPP that deep tests and percolation tests cannot be performed until the Applicant has completed purchase of the property. Satisfaction of this comment will be achieved once the Applicant performs deep test pits and percolation tests, and adjusts the design of the proposed stormwater management system based on results, if necessary. In addition, the Applicant shall show the locations of deep test pits and percolation tests on the plans.**
6. The Applicant shall replace the proposed oil-water separator with an acceptable pre-treatment practice upstream of the proposed stormwater quality practice. Acceptable pre-treatment practices are those described in the NYS Stormwater Management Design Manual, or proprietary pre-treatment practices approved by NYSDEC for effective separation of oil-water and sediment retention. **Partially Addressed; the Applicant shall clarify how the proposed pre-treatment will handle flows that exceed its treatment capacity.**
7. The Applicant shall depict on the plans how roof drainage and other site drainage will be routed into the proposed stormwater pre-treatment and treatment practice. **Addressed.**
8. The Applicant shall consider dropping the invert elevation of the proposed stormwater quality system overflow or the implementation of an upstream bypass structure. Ultimately, the Applicant shall demonstrate that the calculated water quality volume will be fully retained before the system overflows. **Addressed; the Applicant has excluded infiltration and provided a proposed overflow structure with the appropriate outlet elevation to retain the full water quality volume (WQv).**
9. The Applicant shall consider the implementation of maintenance ports and an isolator row to allow maintenance of the infiltration practice. **Addressed.**
10. The Applicant shall depict the location of all proposed drain inlets on the plans. **Addressed.**
11. The Applicant shall replace the catch basin detail with the Village of Mamaroneck's standard catch basin detail that shows a Type N catch basin head, and modify the standard detail as necessary to show how the catch basin will be installed through the existing drain line. **Addressed.**
12. The Applicant shall propose temporary sediment traps/inserts in the proposed catch basin and area drains to prevent sediment migration from the site. **Partially Addressed; the Applicant shall include a detail for the proposed catch basin inserts on the plans in accordance with the latest version of the New York State Standards and Specifications for Erosion and Sediment Control.**
13. The Applicant shall confirm that the proposed trench drain is capable of supporting delivery truck loads; and/or revise the detail to include a product that can support such loads. **Addressed; the trench drain has been removed from the plans.**



14. The Applicant shall provide construction details of all proposed soil erosion and sediment controls (i.e. catch basin inserts, stabilized construction entrance, silt fence, etc.). **Addressed.**
15. The Applicant shall include the proposed finished floor elevations and depict the proposed contours on the plans. **Addressed.**
16. The Applicant shall clarify the diameter for the proposed outlet pipe from the proposed stormwater management system. It appears the that “*Overflow Pipe*” and “*Outlet Control*” details on Sheet 6 have contradicting pipe sizes. **Not Addressed.**
17. The Applicant shall label all proposed stormwater management infrastructure associated with the stormwater management system on the plans. The rim, invert and sump elevations of the proposed stormwater drainage infrastructure shall be included. **Addressed.**
18. The Applicant shall show the location of the inspection port for the proposed 3 cultec infiltrators on the plans. In addition, the Applicant shall provide a detail of the proposed inspection port. **Partially Addressed. The Applicant shall provide a detail of the inspection port called out on Sheet 3.**
19. The Applicant shall update the proposed pipe alignment for the “*Junction Box*” detail on Sheet 7 to match the proposed pipe alignment on the plans. **Not Addressed.**
20. The Applicant shall include the construction sequence for the proposed site improvements on the plans. **Addressed. The Applicant has provided the construction sequence in the SWPPP. Refer to our responses to Comment #1 for further action on the construction sequence.**
21. The Applicant shall depict the location and provide a detail for the proposed temporary soil stockpile referenced in the “*Site Stabilization Guidelines*” on Sheet 7. **Not Addressed.**

Village of Mamaroneck, NY

**Item
Title:** Hillside Avenue Bridge

**Item
Summary:** **HILLSIDE AVENUE BRIDGE-** The Board of Trustees will hold a Public Information meeting on October 23, 2017 @ 7:30 pursuant to the Village grant program for the replacement of the Hillside Avenue Bridge. The Commission has been asked to submit comments and questions.

**Fiscal
Impact:**

Village of Mamaroneck, NY

Item Title: Minutes

Item Summary: Minutes of April 19, May17, June 21 and July 19, 2017

Fiscal Impact:

ATTACHMENTS:

<u>Description</u>	<u>Upload Date</u>	<u>Type</u>
DRAFT MINUTES APRIL 2017	10/13/2017	Backup Material
DRAFT MINUTES MAY 2017	10/13/2017	Backup Material
DRAFT MINUTES JUNE 2017	10/13/2017	Backup Material
DRAFT MINUTES JULY 2017	10/13/2017	Backup Material

DRAFT –NOT APPROVED
VILLAGE OF MAMARONECK
HARBOR AND COASTAL ZONE MANAGEMENT COMMISSION MEETING MINUTES
APRIL 19, 2017 – 7:30 PM
COURT ROOM- 169 MT. PLEASANT AVENUE

PRESENT:

Chairperson: Cindy Goldstein
Commissioners: Brian Glattstein
Kevin LaFollette
Jennifer Bienstock Cohen
Doreen Roney @ 7:47pm
Clark Neuringer

Also Present:

Anna Georgiou, Counsel
Hugh Greechan, Consulting Engineer
Sven Hoeger, Environmental Consultant
Bob Galvin, Village Planning Consultant
Susan Favate, Planning Consultant

Absent:

Pam Michels

1. OPEN MEETING

Chair Goldstein opened the meeting at 7:30 pm.

OLD BUSINESS

A. MAMARONECK BEACH & YACHT CLUB – UPDATE

The Commission discussed the following Planning Board memo to the HCZMC of April 7, 2017:

By memorandum dated January 30, 2017 the HCZMC requested information on the status of the captioned project. The Planning Board reviewed your memorandum at its February 8, 2017 meeting and directed that the applicant be requested to attend an upcoming Planning Board meeting. Arrangements were initially made for the President of MBYC, Lisa Rosenshein, and MBYC counsel to attend the March 8, 2017 Planning Board meeting. However, due to Ms. Rosenshein having surgery, the applicant's counsel, in a letter to the Planning Board dated March 2, 2017, requested that the matter be rescheduled for the Planning Board's March 22, 2017 meeting.

As you will recall, on April 20, 2016, the Planning Board accepted, as complete, MBYC's Draft Supplemental Environmental Impact Statement ("DSEIS") for the installation of a new sewer line. The DSEIS was circulated to the HCZMC and other involved agencies and a public hearing on the DSEIS was held on May 25, 2016. After the closer of the public hearing, the applicant was directed to prepare a Final Supplemental Environmental Impact Statement ("FSEIS") responding to the comments received on the DSEIS. In that March 2 letter, counsel advised that MBYC is close to completing the response to comments on the DSEIS. The letter explained that "the process was delayed due to the inability to obtain design drawings

needed to determine the best location for the new sewer pipe on the bridge spanning Otter Creek". The letter goes on to say that this issue has now been resolved and the responses to DSEIS comments would be completed within 60 days.

Ms. Rosenshein and MBYC counsel, Eric Gordon, appeared before the Planning Board at its March 22nd meeting. Mr. Gordon reiterated the reason for the delay expressed in his March 2 letter and also mentioned that, in the interim, MBYC had obtained an easement from the Westchester Land Trust necessary for the installation of the proposed new sewer line. Mr. Gordon opined that the FSEIS would be submitted to the Planning Board by the end of April.

The Planning Board inquired as to the condition of the existing sewer line. Mr. Gordon reminded the Planning Board that, at the Board's request, dye testing of the existing sewer line was conducted in July 2016. No dye was observed in Otter Creek or at the ground surface along the alignment of the existing force main.

At the Planning Board's request, MBYC has agreed to repeat the dye test in April and in October of this year. The results of those tests will be submitted to the Planning Board and then shared with the HCZMC.

We trust this responds to your inquiry. The Planning Board will continue to keep the HCZMC apprised of the status of this application as it moves forward.

Mr. Neuringer stated that he still has concerns that the pipe is tenuous and there will be another leak or it will burst. The sewage will go into Otter Creek and The Long Island Sound. The pipe should be replaced or suitably repaired. He asked who granted a waiver for the pressure test, as this test is for a reduced psi level. He would like an explanation. Ms. Georgiou suggested that an inquiry be made of the Building Department and Village Engineer. Ms. Bienstock Cohen believes that the Commissioners should be notified of the specific date and time the dye testing will be performed in order for members to attend.

Mr. Greechan stated that he inquired when the test would be done with the new engineer. Mr. Neuringer asked who hired the engineers. Mr. Greechan stated that it is Mamaroneck Beach and Yacht Club engineers who will be performing the test.

Ms. Goldstein stated that the next application would be taken out of order.

C. ALTER SUBDIVISION- CONSISTENCY

1000 Taylors Lane, (Section 4 Block 77, Lot 14), Consistency for a proposed 3 lot subdivision located at 1000 Taylors Lane in the R-15 District

Susan Favate Planning Consultant for the Village appeared and noted it has been 4 1/2 years since the DEIS was completed. SEQRA has now been completed as the Planning Board has accepted an alternative presented and the applicant now appears for a Consistency Determination. If this is found to be Consistent with the LWRP, the applicant will go back to the Planning Board for subdivision approval and wetlands permit.

She reviewed the key changes since the DEIS. The applicant revised the proposed action to incorporate a significant conservation lot. This area covers 2/3 of the property. (Member Roney arrived at 7:47pm). It will be deeded over to a not-for-profit organization. The Planning Board believed that this works better. The potential size and location of the new homes were a concern for the Planning Board because of the wetlands. There are building envelope restrictions limiting the size and location. It also restricts the expansion of the existing home

on lot 2. The applicant has agreed to that. They have also accepted larger setbacks on the other lots. The applicant has agreed to abide by what is in the FEIS. The Planning Board views this as a good compromise.

Mr. Glattstein stated that he has not seen any drainage or storm water plan. Mr. Neuringer asked if these lots are zoning complaint. Ms. Favate stated that they meet the zoning requirements and that the applicant will address the drainage and storm water plan. Ms. Roney asked about the home on lot 2 being in the wetland buffer and that this was supposed to be addressed in the DEIS. Ms. Favate stated that is a Building Department issue and it was discussed in the FEIS.

Ms. Beth Evans, environmental consultant for the applicant appeared. A copy of alternative 4 was submitted to the HCZMC. She stated that there is no wetland buffer encroachment. A table of requirements in the zone and how this applicant meets these requirements is in the FEIS. She stated that the Commission raised concerns on the DEIS that the applicant addressed in the FEIS.

Ms. Goldstein stated that on the Consistency memo, the response to Policy 1 states that the property is not in the jurisdictional area. This is not correct. Ms. Evans agreed and stated that this will be amended. Ms. Goldstein asked why these building envelopes are pushed to the edge of the wetlands buffer; as they are very large lots, why not push back further as this is the most environmentally sensitive area in the Village. Ms. Evans stated that the only area left outside of the wetland buffer is a buildable lot, especially in the case of lot 3. If the building envelope were moved further away, it would no longer be a buildable lot. In lot 1 there is an outcrop in the center of the site. The 100-foot buffer line was used because they needed to comply with that restriction.

Ms. Roney had a chart from the Watershed Advisory Council (WAC4) Report 4, which stated that a 100-foot buffer only deals with watershed temperature moderation. Sediment and nutrient removal are well over 200 feet. Ms. Evans stated that the Village wetland regulation is a 100 foot buffer and only certain types of organic materials will be used and there are other measures that will be used so that the wetlands will be protected.

Ms. Jennifer Gray from Keane and Beane appeared and discussed the conditions that would be part of the deed restrictions. Mr. Neuringer had zoning questions regarding determinations made. There are no documents that indicate that at the time the home was built on lot 2 there was a waiver or variance that allowed it to be built in the wetland buffer. He is concerned and stated that it is impermissible if the non-conformity would be increased. He would like confirmation that this subdivision would not be increasing the non-conformity. Ms. Favate appeared again and stated that this is addressed in the FEIS on page 8. Regarding the non-conformity, this does not change. There is no ability to increase the incursion.

Ms. Gray appeared again and stated that she cannot answer why this home was allowed to be built in the buffer without a waiver; however the incursion is not being increased and they are not causing any additional incursion with the application.

Ms. Goldstein asked the applicant to review the SWPPP and their storm water management plan. Ms. Evans stated that there was a SWPPP prepared when the 2010 storm water regulations were in force. The 2015 requirements were reviewed and the lots meet these requirements. The proposed storm water management facilities were reviewed. Soil testing was done to assure that these facilities could be accommodated. Maintenance requirements are part of the storm water plan. Ms. Roney asked about the slopes on lot 3. Ms. Evans stated that there will be retaining walls and that there will be no soil brought in, the existing soil will be moved around.

Mr. Hoeger stated that there was a finding statement from the Planning Board where they recommend that a retaining wall be built on both lots so that the property owners do not develop beyond. Mr. Neuringer again stated concern as these lots will be sold to individual owners and unless there are specific restrictions imposed, there is no way to control the building. Ms. Evans reminded the Commission that this is a subdivision application, not a building application. They were asked to provide certain elements of what could be built so that the Planning Board could make a SEQRA determination. When these lots are sold and homes built, these applications will have to come before the Building Department showing all of the things that the Commission is concerned with. Ms. Goldstein stated that the issue is determining Consistency without knowing all of this information, as these plans will never come before them again.

The DEC comment letter from May of 2013 was discussed. Ms. Roney tried to contact Ms. Crist, the author of the letter to get clarification, but did not get a return call. Ms. Evans appreciates this information but these were comments on the DEIS alternative and the Planning Board threw out most of these alternatives. Ms. Evans again read "C" of the comment letter, which states that if there is a conservation lot that would alleviate all of DEC's concerns. That is the plan that they have submitted, one, which has lot 4 as a conservation lot. Ms. Roney still has questions on this as well as the sea level rise. Ms. Evans stated that they used the Village's projected sea level maps.

Ms. Goldstein stated that as they are an involved agency, that allows them to do their own SEQRA findings. Ms. Georgiou stated that is technically correct, however, in most of these cases, the findings of the Lead Agency are adopted. Ms. Georgiou informed the Commission that this is something that will have to be done with their Consistency Determination. Ms. Goldstein asked what types of limitations the Commission would like to put on the building lots. Ms. Gray appeared again and informed the Commission that they have been in discussion with the Land Trust on acquiring lot 4 as a conservancy lot. They have also been in discussion regarding their acquiring lots 1 and 3 as well. Ms. Ensinger from the Land Trust intended to be here this evening, but unfortunately became ill. There can't be anything formal done in this regard until the granting of the preliminary subdivision is done.

Ms. Roney does not believe that this can be decided this evening, as the information is not complete. Ms. Goldstein polled the Commission as to if they would like to do their own finding statement or adopt the Planning Board's. Mr. Neuringer suggested adding conditions above and beyond what the Planning Board has done as the process of having conditions on the building go forward with the application. Ms. Georgiou stated that can be done, but the conditions would have to be within the Commission's jurisdiction.

Ms. Bienstock Cohen asked about the scenic limitations and if those could be addressed. Ms. Evans stated that a visual assessment was done. Ms. Goldstein believes that this is something that is within their jurisdiction and could be addressed. Ms. Goldstein stated that this would be held over to the next meeting to review the Planning Board's findings. The Commission asked for full-sized plans before the next meeting. Ms. Roney also asked that a copy of the DEC wetland certification be provided to the Commission.

B. 805, 817- 819 MAMARONECK AVENUE -CONSISTENCY

805, 817-819 Mamaroneck Avenue (Section 8, Block 21, Lots 228 & 233), Subdivision and Site plan for redevelopment/new construction of retail shops along Mamaroneck Avenue. The proposal seeks to combine two sites: the first site (2.23 acres) contains a vacant 25,377 square foot retail building, previously occupied by A&P supermarket. The second site (0.113 acres) contains a vacant three-story residential apartment building. These two parcels will be combined in the Subdivision (merger) process. The new building will consist of five single story retail units totaling approximately 11,975 square feet in floor area in the C-1 district.

Ms. Bienstock Cohen is recused from this project review

Mr. Andrew Spatz Attorney for the Applicant, Mr. Greg Merritt Landscape Architect, Mr. Joe Riina Engineer, Mr. Steve Ciambuschini of Langan Engineering, Ms. Amelia Dos of Creative Architecture, Mr. Brandon Fritz and Mr. Marc Newman of Brixmor appeared. Mr. Spatz reviewed the application, which was reviewed as a preliminary application at the December 2016 and February 2017 meetings. The applicant was also before the Planning Board at their March meetings. A Negative Declaration was issued. A memo was issued by the HCZMC in January with 19 points and requests for clarification. Mr. Spatz indicated that the applicant pursued addressing these comments with due diligence and that the applicant is confident that the Commission will find their application Consistent with the policies of the LWRP after this evening's presentation.

Mr. Newman gave the Commissioners a status update for the grocery component of this application. Mr. Riina then presented a plan, which demonstrated the revised storm water routing. It was noted no runoff will go to the river and the new drainage is shown in the SWPPP post development. Ms. Dos appeared and reviewed the flood protection measures taken on the site. There will be removable barriers and sealant additives will be added to the building. Backflow measures have been taken. All of this is being done on the new structure. Mr. Spatz stated that this was previously submitted and he reviewed those measures. Previous pavers have been added as green infrastructure. This project began by meeting the minimum requirements of the Village Code and now the entire site is being treated.

The Commissioners discussed the February 28, 2017 Brixmor memo to the Building Inspector, Mr. Gray regarding Chapter 186 Flood Damage Prevention. Mr. Neuringer stated that there is nothing in the plans that show the specific flood protection measures. He also asked if the walls would be able to withstand the water pressure, as the water will be kept outside of the building during a flood event. Mr. Riina stated that the memo did list the specific measures that will be done. The question if the walls can withstand the water pressure

during a flood event has not yet been answered. This is something the applicant will look at and report back to the Commission.

Ms. Roney asked about the Flood Emergency Plan. Mr. Spatz stated that there are particular areas in the Village that have water rising faster. In the event of a severe weather situation where flooding is a likelihood, the business would be made aware of this the same as the other businesses on Mamaroneck Avenue and the Mamaroneck Avenue School. He does not see flash flooding as much of an issue on this part of Mamaroneck Avenue. He also stated that CVS has a plan in place. Mr. Riina worked on this plan. They made sure that this plan was effective. Ms. Roney recommended that the applicant work with the Emergency Management personnel in the Village. Mr. Riina asked if there are other plans in the Village that work well, as they were at a loss when looking for one. The only plan they found is the one for the new development across the street.

The Commission noted that there are open items from Mr. Greechan's memo. Mr. Greechan stated that they are working on these items and these should not prevent the Commission from voting on Consistency. Ms. Goldstein stated that there were documents presented today, but not in time for the Commission to review. Mr. Riina reviewed what was on the memo presented today. Mr. Glattstein believes that this project furthers the policies of the LWRP. Life safety is the most important part of the LWRP and this project takes an apartment building out of the flood zone. He appreciates the efforts and hopes that they are on the way to wrapping this up. Mr. Neuringer agrees; his only issue is to address what will happen to the existing building during a flood event.

Mr. Riina stated that CVS has been ready to open since February, but cannot until they receive their Special Permit from the Zoning Board of Appeals and that cannot happen until SEQRA Determination has been done and a Consistency Determination made. Ms. Roney raised the issue of Policy 23. Ms. Georgiou stated that she could address that either in public or in advice of counsel. The Commission asked Ms. Georgiou to report in public. Ms. Georgiou stated that their opinion on Policy 23 is that it is reasonable that it would apply to specific sites listed in the LWRP and 817-819 Mamaroneck Avenue is not one of those sites and therefore they do not agree with Ms. Roney's interpretation. She can put this recommendation in a memorandum. Ms. Georgiou also stated that the structure's status was addressed by the Planning Board as part of their SEQRA determination and that is binding on the Commission as an involved agency. Mr. Spatz referenced the Negative Declaration and Mr. Galvin provided background communications with SHPO. The Commission asked counsel to prepare a memo on this.

The Applicant understands that they are to submit the following to the Planning Board during their site plan review as conditions of the Consistency approval:

Detail for impervious pavers
Condition of the sewer laterals and remediated if necessary
More details on low points and sloping for tree pits
Flood proofing detail on existing building

Structural integrity detail; for existing building
Detailed Flood Emergency Plan

It was noted these documents are part of the documents required for the site plan and building permit application. There was further discussion by the Commission and the Commission then adopted the following resolution:

HARBOR & COASTAL ZONE MANAGEMENT COMMISSION

CONSISTENCY RESOLUTION

Mamaroneck Centre - 805, 817-819 Mamaroneck Avenue

WHEREAS, Brixmor Property Group (“Applicant”) applied to the Planning Board for site plan approval to redevelop property located at 805, 817-819 Mamaroneck Avenue, Mamaroneck, New York (“Premises”) for retail shops, including renovation of the former A&P supermarket building consisting of 25,377 square feet to serve two retail stores and on the adjacent site, demolition of a vacant apartment building and construction of a new five store retail building consisting of approximately 11,975 square feet with shared on-site parking, entitled the “Mamaroneck Centre Project”; and

WHEREAS, the Commission conducted its preliminary review of the Mamaroneck Centre Project on December 21, 2016 and February 15, 2017 and submitted a memorandum to the Planning Board summarizing the Commission’s preliminary review comments; and

WHEREAS, after circulating its intent to be Lead Agency to involved agencies and having received no objection within thirty days, the Planning Board declared Lead Agency pursuant to SEQRA and thereafter issued a Negative Declaration dated March 22, 2017, finding no significant adverse environmental impacts for the Mamaroneck Centre Project; and

WHEREAS, the Planning Board referred the Applicant to the Commission to review the Mamaroneck Centre Project’s consistency with the Village of Mamaroneck’s Local Waterfront Revitalization Program (“LWRP”) pursuant to Village Code §240-29; and

WHEREAS, the Applicant submitted an application for a consistency determination dated April 5, 2017 for the Mamaroneck Centre Project, including Coastal Assessment Form, SEQRA documentation, Building Permit documentation, project correspondence, photos, and with plans prepared by Site Design Consultants, Joseph Riina, PE: Title Sheet and “Site Plans Prepared for Brixmor Property Group” Sheets 1-4 [with inserted Landscape Plans by Bayview Landscape Architecture, L-1, L-2 , L-3] and Sheets 5-11, last revised April 3, 2017, among other materials submitted (“Project”) and appeared at the hearing held at the April 19, 2017 Commission meeting.

On motion of Mr. Neuringer, seconded by Mr. Glattstein:

NOW, THEREFORE BE IT RESOLVED that the Commission has completed its review and evaluation of said application, including the Coastal Assessment Form, and after conferring with its consultants has determined that the Project is consistent, to the maximum extent practicable, with policies of the LWRP and the Project will not substantially hinder the achievement of any of the policies set forth in the LWRP with satisfaction of the following conditions required:

1. Prior to site plan approval, a detailed Flood Emergency Evacuation Plan shall be submitted to and approved by the Planning Board.

2. Prior to site plan approval, flood-proofing details for the existing building (805 Mamaroneck Avenue) shall be submitted to the Planning Board demonstrating the building's structural capacity to resist flood loads and withstand hydraulic forces during flood conditions, to be signed and sealed by a licensed engineer.
3. Prior to issuance of building permits, condition of the lateral sewer line shall be evaluated and remediated if necessary.

The motion passes:

Ayes: Mr. Glattstein, Ms. Goldstein, Mr. LaFollette, Mr. Neuringer

Nays: Ms. Roney

Abstain: None

Absent: Ms. Michels

[Ms. Bienstock-Cohen recused]

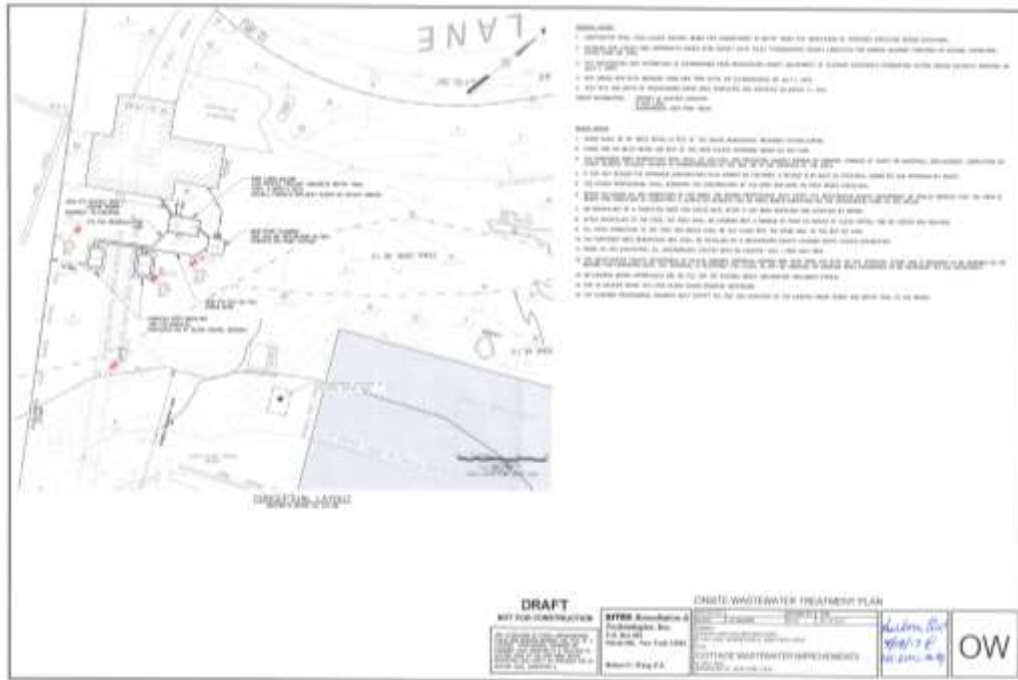
D. JEFFREY & VICTORIA MAGGARD- CONSISTENCY

8 Oak Lane, (Section 9, Block 92, Lot 8), Consistency for a Wetlands Permit to construct an addition to a single family home, a new in ground swimming pool, remove the existing asphalt tennis court, replace existing septic tank and associated site work in the R-20 District.

Mr. Glattstein will be chairing this hearing as Ms. Goldstein disclosed she may be buying property on Oak Lane; however she can view this application objectively and is not recused from the hearing.

Mr. Dan Natchez of Daniel S. Natchez and Associates appeared and reviewed the application. The information asked for at the last meeting has been submitted. He noted the CAF has been revised and the LWRP narrative has been expanded to include policies 7, 7A, 13 & 44. He also noted that the drainage is to be channeled to the rain garden. The best management practices have been provided on the construction plans. No Army Corps of Engineers or DEC permit is required. Getting a letter from the DEC stating this will take 2-6 months. They worked with Susan Oakley on revising the landscaping plan. A narrative was developed on the addition and cottage septic system. There is currently no leeching field for the cottage, only a tank. The tank is now alarmed and when the alarm goes off, it will be pumped out. They also sealed a pipe. The Department of Health mandated a separate system for the cottage. Perk tests were not done as the Health Department needs to be present and they were not available. Five trees will be removed as per the County Health Department

The following plan was discussed and submitted during this meeting:



Mr. Bob Wasp of Sites Remediation Technologies appeared. They specialize in environmental and civil projects. He reviewed the previous plan, which the Department of Health gave them a qualified no on. They asked that other opportunities be explored, which was done and a site behind the cottage was discovered. Mr. Wasp reviewed the plan submitted to the Health Department. The test pit review was done today. Informal perc tests have been done. The formal tests will be done next week.

Mr. Alan Pilch for the applicant appeared and noted a second rain garden was added to pick up the pool and terrace water. The new drain in the driveway goes to the first rain garden the second rain garden picks up the additional capacity.

Mr. Glattstein raised the issue of jurisdiction and asked the Commissioners if they are satisfied with the documents. Ms. Roney said that she is; however, the newly proposed work is in the wetlands buffer. Mr. Glattstein stated that would be reviewed later. Mr. Glattstein believes that the applicant made every effort to reach out to the DEC & ACOE and the feedback and evidence provided leads him to believe that they would not take jurisdiction over this project. The building in the 100-foot wetland buffer was raised and Mr. Glattstein stated that Mr. Hoeger gave tremendous insight on this.

Mr. Sven Hoeger reviewed his 4/11/17 memo, which follows in its entirety:

From: Sven Hoeger, Environmental Consultant to the HCZMC
To: Members of the HCZM Commission
Date: April 11, 2017

RE: Maggard house addition and in-ground pool - 8 Oak Lane Consistency considerations regarding policies 7, 7a, 44, and wetland adjacent area

Additional documents reviewed:

- Cover letter by Daniel Natchez Associates, dated 4-4-2017, stamped received 4-5-2017.
- A revised page of the Coastal Assessment Form (III, IV)
- The applicant's LWRP review and commentary revised 4-3-2017.
- Three pages of photos and dated aerials regarding shoreline issues.
- Three pages of state DEC wetland regulations
- 2 pages of e-mail correspondence between US ACE and D. Natchez
- A Stormwater Management Report by Alan L. Pilch, dated 4-3-2017
- A set of additional revised application drawings:
 - SD-03 by Michael Quadagno, stamped & signed, dated 2-1-2017, last revised 4-4-17 and SD-04 NEW, dated 4-4-2017.
 - S1 – S3, by Sean Jancski Landscape Architects, stamped and signed, dated 2-1-2017, last revised 3-31-2017.
 - C 101, C102.1, C102.2 (NEW), C 111, and C 112 by ALP Eng., stamped, dated 1-30-2017, rev. 4-3-17.

During the March 15, 2017, regular meeting of the Harbor and Coastal Zone Management Commission (HCZMC) I stated my opinion that an encroachment into the wetland adjacent area of the proposed action at 8 Oak Lane is NOT INCONSISTENT with LWRP policy 7a. The chair of the committee requested a detailed explanation for my interpretation of LWRP policies 7, 7a, and 44 to assure the Village the protection of the natural habitats of Delancey Cove. The correct interpretation of the LWRP should prevent a precedent setting “arbitrary” approval of a building addition in the wetland adjacent area at a significant fish and wildlife habitat. The Commission wants to make sure that it's determination for this project will not be interpreted as a generic acknowledgement that building in the wetland adjacent area of a Significant Fish and Wildlife Habitat will be automatically found consistent (or “not inconsistent”, or “not applicable”) with LWRP policies by future applicants.

Delancey Cove is one of eight Significant Fish and Wildlife Habitats identified in the Village of Mamaroneck Local Waterfront Revitalization Policies (LWRP Policy 7a). The proposed building expansion of the residence at 8 Oak Lane encroaches onto the 100 foot wetland adjacent area (a.k.a. wetland buffer) of Delancey Cove, a legal set-aside by the Village wetland law (Chapter 192 – Freshwater Wetlands). The law includes tidal wetlands defined at the state level in Article 25 NYS Environmental Conservation Law (Tidal Wetlands law). As such the question was raised if the LWRP would also require considering the protection of the wetland buffer as part of the protection of a Significant Fish and Wildlife Habitat.

The recently resubmitted documents address various concerns raised during the March 15th commission. Direct stormwater discharges from the driveway into Delancey Cove have been revised to now discharge into the raingarden. As a consequence of additional stormwater volume a second, smaller raingarden was added to the project.

The addition of 12 oaks to the planting plan is a major environmental improvement. Plans (currently still pending) to combine the septic from the guest house with that of the main house also constitute environmental improvements.

There are three distinct issues to be considered regarding LWRP Policies:

- 1) **Delancey Cove** is a Village-listed **Significant Fish and Wildlife Habitat**.
- 2) The Village Code specifies a protected **100-foot wetland adjacent area** along the shore of Delancey Cove.
- 3) The **nature of the encroachment** into the wetland adjacent area.

Prior to detailed commentary, **I would like to caution that the Village of Mamaroneck has no records of nor does it facilitate the collection of records that qualify or quantify the importance of the eight Significant Fish and Wildlife Habitat Areas listed in the LWRP. This deficiency significantly**

hinders an informed decision making process that at its core is designed to “preserve, protect and where practicable restore” those very areas.

Discussion of LWRP wetland and wildlife policies, 7, 7a and 44

***Policy #7** significant coastal fish and wildlife habitats, as identified on the N.Y. Coastal Area Map (when finalized), shall be protected, preserved, and where practical, restored so as to maintain their viability as habitats.*

LWRP Policy 7 does not apply:

New York State currently lists 114 areas along the Long Island Sound and Atlantic shore as “Significant Coastal Fish and Wildlife Habitat Areas”. Each area is described in detail for its particular wildlife value and the threats that it faces. At the time the Village’s LWRP was written and adopted by local and state agencies, between 1984 and 1986, a state list of significant fish and wildlife areas was not yet finalized. Delancey Cove, along with the other seven Village-protected areas, listed in policy 7a, was therefore included in a special sub-category of policy 7 that specifically protects these eight areas regardless of state significance. The nearest state-protected Significant Fish and Wildlife Habitat Areas are the Premium River-Pine Brook wetlands, which are located approximately 1.2 miles to the south of Delancey Cove in the Town of Mamaroneck, the Marshlands Conservancy, 2.5 miles to the north in the Town of Rye, and the Play land Lake and Manursing Islands Flats in the City of Rye (ca. 4 miles north). These areas are much larger than any of the Village-listed areas. **Policy 7 does not apply** to Delancey Cove; it applies only to the 114 state-protected Significant Coastal Fish and Wildlife Habitat Areas. The policy sub-category 7a takes its place for consideration by the HCZMC.

***Policy #7a.** Significant coastal fish and wildlife habitats, as identified in the LWRP, shall be protected, preserved, and where practical, restored so as to maintain their viability as habitats.*

LWRP Policy 7a does not apply/application is not inconsistent with policy 7a: Issue 1) Delancey Cove is a Village-listed Significant Coastal Fish and Wildlife Habitat. The eight significant fish and wildlife areas in the Village are of environmental importance and should be protected by any means possible. They are like the smaller pearls on a necklace between the larger, shinier stones (the state-protected habitats). Migratory birds (especially threatened shore birds) find additional sources of food and shelter in the smaller, Village-protected areas. Fish larvae and juvenile fish similarly find food and shelter in protected coves, inlets and tidal marshes, regardless of size. In the explanation to this policy the following text applies:

*“In order to protect and preserve these significant habitats, land and water uses or development shall be undertaken only if such actions are consistent to the maximum extent practicable with the intent and purpose of this policy. **When the action significantly reduces a vital resource** (e.g. food, shelter, living space) or change environmental conditions (e.g. temperature, substrate, salinity) **beyond the tolerance range of an organism, then the action would be considered to significantly impair the habitat.** Indicators of a significantly impaired habitat may include: reduced carrying capacity, changes in community structure (food chain relationships, species diversity), reduced productivity and/or increased incidence of disease and mortality. The range of physical, biological and chemical parameters which should be considered include:*

a. physical parameters such as living space, circulation, flushing rates, tidal amplitude, turbidity, water temperature, depth (loss of littoral zone), morphology, substrate type, vegetation, structure, erosion and sedimentation rates;

b. biological parameters such as community structure, food chain relationships, species diversity, predator/prey relationships, population size, mortality rates, reproductive rates, behavioral patterns, and migratory patterns;

c. chemical parameters such as dissolved oxygen, carbon dioxide, ph, dissolved solids, nutrients, organics, salinity, pollutants. When a proposed action is likely to alter any of the biological, physical or chemical parameters as described above beyond the tolerance range of the organisms occupying the habitat, the viability of that habitat has been, therefore, would be inconsistent with the above policy.”

Policy 7a must be considered by the HCZMC in its finding of “consistency” regarding the house addition at 8 Oak Lane. In my opinion, **policy 7a does NOT APPLY in this very specific case - alternatively the action can be regarded as “not inconsistent” with LWPR #7a.** In the following paragraphs I will explain that the proposed changes on the property do not impair, and specifically do not alter the habitat value in the backyard of 8 Oak Lane significantly (at best will improve it slightly). Neither does the proposed action protect nor preserve the “significant fish and wildlife habitat” of Delancey Cove. I am making this distinction because the minor improvements of storm water discharge quality and upgrades to the septic system have simply resulted from compliance with other rules and regulations, rather than being specifically targeted at improving, protecting or preserving habitats in and at the periphery of Delancey Cove. Two photos showing the general nature of Delancey Cove are appended.

Delancey Cove is a shallow inlet bordered almost entirely by residential lawns and landscaping, with minor salt marsh patches of *Spartina alterniflora* (smooth cordgrass) as well as a circa 2-acre freshwater wetland at its eastern-most landward extent. Oak Lane and Hommocks Road form a small, rocky “island” that separates Delancey Cove from the Hommocks tidal marshes to the west. The marshes are protected under the Town of Mamaroneck LWRP as a Critical Environmental Area and are listed as the Hommocks Conservation Area. Together the habitat complex of Delancey Cove with its mostly open, shallow water and the tidal marshes at the Hommocks provide suitable feeding and resting places as well as limited breeding habitat for a variety of animals, primarily bird and fish species, along with numerous invertebrates. The largely wooded character of the “island” provides suitable roosting perches for a variety of bird species. All three habitats, the shallow cove, the marshes, and the wooded “island” are one functional habitat complex worth protecting. The Village Planning Department does not collect specific records of natural resources observed and recorded at Delancey Cove.

Generically speaking however, the area has all the attributes of valuable and significant coastal fish and wildlife habitat.

The explanation of policy 7a reads as follows:

“...the action significantly reduces a vital resource (e.g. food, shelter, living space)”

The proposed action does not reduce “food or shelter”. With regard to living space it could be argued that the conversion of an asphalt surface (tennis court) to lawn will improve “living space” for some creatures, primarily birds and specifically migrating geese.

“...or change environmental conditions (e.g. temperature, substrate, salinity) beyond the tolerance range of an organism...”

The same argument applies to this condition, namely the conversion to lawn has the potential to reduce heating of runoff from an asphalt surface. The effect would be small but beneficial rather than an impairment of the adjacent aquatic habitat. The proposed action would not alter the aquatic substrate. The proposed raingardens and reduction of impervious surface can only positively influence the salinity of this protected cove, since there will be less concentrated rainwater runoff into the saltwater body of Delancey Cove. This effect also would be minimal at best.

“The range of physical, biological and chemical parameters which should be considered include:”

a) *physical parameters such as living space,”* - lawn is perhaps a slight improvement over asphalt,

“circulation,” - no change anticipated

“flushing rates,” - no change anticipated

“tidal amplitude,” - no change anticipated

“turbidity,” - no change anticipated

“water temperature,” - no change anticipated

“depth (loss of littoral zone),” - no change anticipated

“morphology,” - no change anticipated

“substrate type,” - no change anticipated

“vegetation,” - no change anticipated

- “structure,” - no change anticipated
- “erosion and sedimentation rates” - no change anticipated
- b) “biological parameters such as community structure,” - no change anticipated
 - “food chain relationships,” - no change anticipated
 - “species diversity,” - no change anticipated
 - “predator/prey relationships,” - no change anticipated
 - “population size,” - no change anticipated
 - “mortality rates,” - no change anticipated
 - “reproductive rates,” - no change anticipated
 - “behavioral patterns,” - no change anticipated
 - “and migratory patterns,” - no change anticipated
- c) chemical parameters : dissolved oxygen, - no change anticipated
 - “carbon dioxide,” - no change anticipated
 - “ph”, - no change anticipated
 - “dissolved solids,” - no change anticipated
 - “nutrients,” - no change anticipated, unless the applicant increases fertilizer application to the backyard lawn,
 - “organics,” - no change anticipated
 - “salinity,” - no change anticipated
 - “pollutants” - no change anticipated

Policy #44. *Preserve and protect tidal and freshwater wetlands and preserve the benefits derived from these areas.*

LWRP Policy 44 does not apply:

For the reasons outlined above under policy #7a it equally follows that the proposed action does not affect existing tidal or freshwater wetlands. The proposed action does not “preserves or protect” those wetlands or the values derived from them – I interpret the proposed development on the property 8 Oak Lane as environmentally neutral. In the following sections I am further explaining the rationale for a 100-foot wetland buffer and the impact the proposed action has on it.

Issue 2) Village Code specifies a protected 100-foot wetland adjacent area along the shore of Delancey Cove.

The fact that the Village Code specifies a protected 100-foot wetland adjacent area (buffer) along the shore of Delancey Cove, is not strictly an LWRP issue. It is however important to understand if an encroachment of the buffer affects the functioning of the wetland and whether this action hinders the preservation and protection of the wetland. It is therefore important to understand the functions of a wetland buffer generally and how these functions apply at this particular property.

To understand the function of a wetland buffer, it is important to review the functions of a wetland and its value to the community. In § 192-1. Legislative intent, *“The Board of Trustees of the Village of Mamaroneck hereby finds that wetlands play a fundamental role in the environment of the Village of Mamaroneck. Wetlands provide a natural habitat for many forms of wildlife; aid flood control and storm drainage by absorbing and storing excess precipitation; protect subsurface water resources and recharge groundwater supplies; protect water quality by functioning as sedimentation and filtration basins; facilitate recreational and educational activities; and offer natural open spaces where such open spaces are in very short supply. This chapter shall be known as the “Wetlands Protection Law.”* § 192-2. Definitions, lists the following under the category:

“ADJACENT AREA Any land in the Village of Mamaroneck immediately adjacent to a wetland or lying within 100 feet, measured horizontally, of the boundary of a wetland.”

A wetland buffer does not serve a function of its own; it simply protects the wetlands to do their respective functions. Buffers prevent encroachment of a wetland by adjacent land use.

Excerpts from text provided by the New York State Department of Environmental Conservation website, labeled: **“Brief Description of the Freshwater Wetlands Act and What it Means to Wetlands Landowners”.**

Fish and Wildlife Habitat

Wetlands are one of the most productive habitats for feeding, nesting, spawning, resting and cover for fish and wildlife, including many rare and endangered species.

Flood and Storm Water Control

Wetlands provide critical flood and stormwater control functions. They absorb, store, and slow down the movement of rain and melt water, minimizing flooding and stabilizing water flow.

Surface and Groundwater Protection

Wetlands often serve as groundwater discharge sites; maintaining base flow in streams and rivers; and supporting ponds and lakes. In some places, wetlands are very important in recharging groundwater supplies. Wetlands also improve water quality by absorbing pollutants and reducing turbidity.

Erosion Control

Wetlands slow water velocity and filter sediments, protecting streams, lakes, reservoirs and navigational channels. They also buffer shorelines and agricultural soils from water erosion

Pollution Treatment and Nutrient Cycling

Wetlands cleanse water by filtering out natural and many manmade pollutants, which are then broken down or immobilized. In wetlands, organic materials are also broken down and recycled back into the environment, where they support the food chain.

Public Enjoyment

Wetlands provide areas for recreation, education and research. They also provide valuable open space, especially in developing areas where they may be the only green space remaining

Wetland buffers in general can facilitate access to and the study of wetlands. However, the property at 8 Oak Lane is privately owned. With regard to the other functions of a wetland that the buffer is supposed to protect, the effective width will differ from case to case, from location to location and with each subject of concern. A 100-foot buffer, as I see it, and as it was described quite elaborately in Mitchell, Frank, 1996*, is an artificial construct. In his article Mr. Mitchell points out that there is a “*methodology dilemma*” which often results in a standardized 100-foot wetland buffer as a compromise fallback position, due to the fact that a “*complex decision-making process*” that ideally uses a “*prescriptive width determination model*” poses inordinate “*extra costs to the land owner*” and requires special technical expertise from the normally volunteer reviewers. A 100-foot buffer, or adjacent area, is nonsensical at the foot of a steep slope for example (NYS DEC modifies buffer width at bluffs and on elevations above elevation +10). It also does not work at freshwater wetlands, such as vernal pools, in areas where there are still large native salamanders, spotted and marbled salamanders, for example. Those animals can migrate 300 to 3,000 feet or more to and from their respective breeding and living habitats. A 100-foot buffer does not serve to protect those creatures. On the other hand, a strict 100-foot buffer along Delancey Cove will include mostly lawn and landscaped backyards, where the creatures of the intertidal zone find little to no habitat value. Potentially of wildlife value are 10 trees slated for removal. The lack of wildlife inventory data however makes this a speculative assumption. The apparent values of the setback in this case are primarily for assuring good water quality, groundwater recharge, and erosion control. The width needed for those functions will depend on prevailing site conditions. It is my understanding that the applicant has given these functions enough thought as to include mitigating measures that can justify a site specific (one time) reduction in the buffer width and allow the construction of an addition to the existing building while simultaneously preserving, perhaps even minimally improving these functions in the wetland buffer.

The proposed encroachment into the standard wetland adjacent area along Delancey Cove should therefore be no cause for alarm that LWRP policies 7a and 44 would be affected – in fact, the proposed activity in **the wetland buffer** along Delancey Cove is of **no concern to consistency considerations**. The applicants have shown that they are willing to mitigate any potential future environmental impacts on Delancey Cove “to the maximum extent practicable”.

Issue 3) The nature of the encroachment into the wetland adjacent area.

The proposed house addition and new swimming pool in the backyard of 8 Oak Lane result in the following potentially environmentally important changes on the property:

- 1) New impervious surfaces are added (new roof, new driveway, swimming pool).
- 2) An existing asphalt tennis court is going to be removed and converted to landscaping and lawn.
- 3) Two raingardens are proposed for storm water impact mitigation
- 4) The existing septic system to the main house is going to be upgraded and modernized. Changes to the septic system of the cottage are under review.
- 5) A total of 15 trees are being removed – replacements are adequate.

The applicant's representative claims reductions of impervious surface for this project overall of 12 % (43% in the wetland buffer). The amount of impervious surface is typically directly proportional to the amount of storm water runoff from a given property.

Where such a property is located inland, its storm water discharge ultimately ends up in a storm sewer pipe and/or in a natural stream. The more impervious surface the more runoff and the more flow capacity storm sewers and streams need to have. The property at 8 Oak Lane does however border directly onto Delancey Cove, part of Long Island Sound. There are no conveyance considerations to be had. In this respect (volume) the reduction of impervious surface as a result of development is meaningless. Storm water runoff conveys sediments and pollutants. These are issues the applicant attempts to mitigate with the addition of two rain gardens that intercept drainage from the new driveway, from the perimeter drain of the pool, and some roof drainage from the front of the house. The proposed drainage from the new driveway into one of the rain gardens has the added benefit of intercepting currently uncontrolled runoff from Oak Lane through the Maggard property into Delancey Cove.

A total of 15 trees are being removed. Nine (9) of those trees are located within the 100-foot wetland buffer and 6 of them are white oaks. The white oaks are of substantial size, between 12 and 36 inches in diameter. An additional 4 large white oaks are going to be removed just outside of the wetland buffer. White oaks in particular are of concern since they are very slow growing; they produce acorns and offer potential roosting and perching habitat for large predatory birds, such as herons, owls, hawks, osprey and bald eagle. However, the trees slated for removal are part of a larger grove, much of which will be preserved. Their loss could potentially have negative habitat impact, but given the lack of information available about their actual usage by wildlife, it is impossible to gauge if their removal will ultimately diminish the habitat value of the wetland buffer around Delancey Cove. The applicant proposes to "replace" the cut oaks with young oaks – 5 white oaks and 7 swamp white oaks**. Over time these trees may functionally replace the habitat value represented by the cut trees – they will represent a younger cohort of trees, which is missing at this location due to intense landscaping that prevents oak seedlings from growing to maturity. Proposed replacement plantings of shadbush, flowering dogwood, and Eastern red cedar offer the possibility to replace fruit and seed eating songbird habitat of roughly equal value. During their presentation at the March 15th HCZMC meeting the applicant explained upgrades of the existing septic system at the main house, which are required by County health department regulations. These upgrades will include nutrient removal devices and will therefore be an improvement over existing conditions. The septic field is located close to shore of Delancey Cove. Any reduction in nitrogen in the seepage from the septic field would be an improvement of water quality in Delancey Cove. Changes to a separate septic system of the cottage are under review.

The conversion of an existing asphalt tennis court to lawn and landscaped area can be regarded as a potentially beneficial action. Its removal means less concentrated storm water runoff into Delancey Cove during rain events; less nitrogen and sulphur input from atmospheric deposition and bird droppings will wash into the cove. Asphalt surfaces heat up significantly during the summer. Nutrients and heat can get transferred into the cove during summer storms. The cumulative effect of nutrients and warm water discharge into the sea can lead to diminished dissolved oxygen carrying capacity of the water and to diminished habitat value, which in extreme cases can lead to massive fish die-off events.

Lawn and landscape plantings on the other hand tend to keep the soil surface cool through shading and evapotranspiration. Any runoff from these areas during summer storms is likely going to be temperature neutral with regard to the cove. There is however one caution to the assumption of only beneficial effect on the environment. It is the unknown future landscape and lawn management at this property. Excessive use of fertilizer and other lawn chemicals, used to keep the lawn green and free of weeds, has the potential to neutralize or even worsen the potentially positive effects the removal of the tennis court can have on the environment. **The commission may want to go on record to recommend restrictions on future use of inorganic fertilizers, pesticides and herbicides.**

In response to questions about the extent of rock ledge and depth of soil on the property, the engineer provided an additional sheet that shows boring locations and depth-to-rock measurements. My visual inspection of the property confirms the applicant's assertion that solid rock outcroppings are minimal in the area where the house addition is proposed – see annotated photos in the appendix.

Summary

I hope that these comments adequately address the commission's concerns with regard to LWRP policies 7, 7a and 44. As explained **this development is somewhat atypical, in that it is neutral with regard to the referenced policies**, or perhaps minimally reduces some environmental threats to Delancey Cove by adding two raingardens for water quality protection. The wildlife habitat value of the wetland buffer may be somewhat minimally improved for grazing birds by the addition of new lawn surface, while there may be temporarily a minimally negative impact caused by a reduction in perching and roosting places on mature large trees.

Annotated site photos are appended

End of commentary

Reference:

* Mitchell, Frank 1996*Vegetated Buffers for Wetlands and Surface Waters: Guidance for New Hampshire Municipalities (Wetland Journal Vol 8 (4): 4-8. Environmental Concern Inc., Maryland)

** Swamp white oaks, as their name indicates, require moisture to grow well. Proper placement that assures this access to all-year-round moisture is recommended. Since the property has a lot of ledge that is susceptible to periodic drying out during the summer, and mature trees that further reduce water availability, planting locations for the swamp white oaks should be carefully considered to assure their continued successful establishment.

APPENDIX

8 Oak Lane Annotated Site Photos

Photo of existing conditions at the general area designated for new swimming pool.

Photo of existing conditions at the general area designated for new rain garden below residence.

Photo of existing conditions at the area designated for new rain garden below pool.

Yellow line indicates approximate outline of new building envelope.

Yellow line indicates approximate outline of new building envelope.

Yellow lines indicate approximate outline of new building envelope; ocre lines indicate approximate outline of new driveway.

Erosion channel from road runoff.

View west from a pier into a small lateral bay of Delancey Cove – at center right the cottage and the tennis court.

Intertidal marsh plants are sparse.

View east toward the terminus of Delancey Cove – the arrow points toward a 2-acre freshwater wetland. The cove is shallow and generally devoid of any significant stand of intertidal vegetation.

Ms. Goldstein stated that the removal of the tennis court helps her with the encroachment. The Commission discussed its concern about the lack of wildlife inventory and suggested that they ask the Board of Trustees for the funds to do this. Mr. Glattstein asked Ms. Georgiou to review the mitigating factors and the four

conditions that needed to be true to make this action Consistent with the LWRP. Ms. Goldstein asked Ms. Georgiou to explain what a determination of not inconsistent means. Ms. Georgiou read the conditions. Ms. Georgiou also stated that Mr. Hoeger's memo could be made a part of the record and minutes. Mr. Neuringer stated that the Maggard's were previous clients of his, but he has no issue with deliberating on this. Mr. Natchez stated that the applicant has no issue with Mr. Neuringer deliberating and voting on this determination. The following resolution was adopted by the Commission:

HARBOR & COASTAL ZONE MANAGEMENT COMMISSION

CONSISTENCY RESOLUTION

8 Oak Lane

WHEREAS, Jeffrey and Victoria Maggard ("Applicants") applied to the Planning Board for wetlands permit approval for construction of an addition to an existing home, installation of a new underground swimming pool, removal of a tennis court and related site work in a tidal wetlands buffer for property located at 8 Oak Lane in the Village of Mamaroneck ("Premises") with plans (i) SD-01, SD-02, SD-03 dated 2/1/17 by Michael Quadagno, PE, (ii) T-100, A-200, A-201 dated 7/14/16 and revised 2/1/17 by Rex Gedney, RA, (iii) S-1, S-2, S-3 dated 1/31/17 and revised on 2/1/17 by Sean Jancski and C-101, C-102, C-111, C-112 dated 1/30/17 by Alan L. Pilch, PE and with additional information and revised drawing sheets provided in a submission dated April 4, 2017 by Applicants' consultant Daniel S. Natchez, received on April 6, 2017 ("Project"); and

WHEREAS, after having classified the proposed home addition as a Type II action requiring no further action under the State Environmental Quality Review Act ("SEQRA"), the Planning Board referred the Applicants to the Commission to review consistency with the Village of Mamaroneck's Local Waterfront Revitalization Program ("LWRP") pursuant to Village Code §240-29; and

WHEREAS, the Applicants submitted an application for a consistency determination and supplemental documentation for the Project and appeared at hearings held at the March 15, 2017 and April 19, 2017 Commission meetings; and

WHEREAS, the Commission has reviewed and considered the Coastal Assessment Form, application materials, and correspondence and memoranda submitted to the Commission by its consultants, the Applicants and the public at the March 15, 2017 and April 19, 2017 meetings for the purpose of determining Project consistency with the LWRP; and

WHEREAS, the Commission, based upon review of the application, including the Environmental Assessment Form, and all other relevant materials confirms this Project is a Type II action requiring no further action under SEQRA.

On motion of Mr. LaFollette, seconded by Ms. Bienstock-Cohen:

THEREFORE BE IT RESOLVED that the Commission has completed its review and evaluation of said application, including the Coastal Assessment Form, and after conferring with its consultants has determined that the Project will not substantially advance any LWRP policies, but will not substantially hinder the achievement of any LWRP policies. Therefore there is no obstacle to a finding of consistency with the LWRP.

The motion passes:

Ayes: Mr. Glattstein, Ms. Goldstein, Mr. Neuringer, Mr. LaFollette, Ms. Bienstock Cohen

Nays: Ms. Roney

Abstain: None

Absent: Ms. Michels

3. NEW BUSINESS (Taken out of order)

A. ORIENTA BEACH CLUB - SITE PLAN-PRELIMINARY REVIEW

1054 Walton Avenue Site Plan (Section 9, Block 98, Lot 1) Application to relocate an existing platform tennis court, add an additional court, add a new Warming hut and decking and install storm water recharging system (MR District)

Mr. Rex Gedney, Project Architect for the applicant appeared with Mr. Benedict Salanitro, Project Engineer, Beth Evans, Mark Shehan the General Manager and Jim Hanley, Board member of the Club. They have been before the Planning Board. He reviewed the purpose of this application. Mr. Greechan has reviewed the plan. Ms. Goldstein asked Mr. Gedney to give an overview of what exists and what is planned. Mr. Gedney reviewed the site plans.

Mr. Salanitro appeared and discussed the percentage of impervious surface with the new plan, which is an increase because of having a fully paved parking lot. The storm water plan was reviewed. There will also be a bio swale in addition to the infiltrators. The perc tests were reviewed. The warming hut was reviewed next. Everything will be raised 4 feet above ground. Mr. Gedney stated that 12 trees will be removed, they are large, but close together and their health is in question. At least the 12 trees that are being removed are being replaced. One large maple is being transplanted. As the Planning Board is completing SEQRA, Mr. Glattstein asked if Consistency could be done with the completion of SEQRA as a condition. Ms. Georgiou believes that this is a coordinated review; therefore, Consistency cannot be done tonight. Even if this was not a coordinated review, this was put on the agenda as a preliminary review; therefore it is not appropriate for the Commission to take action. If SEQR is complete, consistency review will be scheduled for the May meeting.

2. OLD BUSINESS (Continued)

F. DISCUSSION- NYS DEC Article 19 Air Permit - Mount Vernon Plastics 460 Ogden Ave.
(Taken out of order)

Ms. Goldstein stated that a citizen noted that the DEC stated that as this was not in a coastal area, it was not subject to Consistency review. Ms. Goldstein spoke with a representative of the DEC, who seemed new to the process. Ms. Goldstein informed her that the entire Village is subject to the LWRP. She will follow up before the next meeting.

E. DISCUSSION: West Basin Pump Station in Harbor Island Park.

Proposed upgrades and construction by Westchester County Department of Environmental facilities.

Ms. Goldstein stated that a memo was received from the Village Engineer outlining what the project would be. It stated that no action was needed or required by the HCZMC. The pump station at Otter Creek did need Consistency from the DEC and Ms. Goldstein asked Ms. Georgiou to let them know why this is different. Ms. Georgiou stated that the DEC does not have jurisdiction on this pump station. Mr. Neuringer stated that is because this one is located on Village property and the other on County property. Ms. Georgiou does not have an answer as to whether or not this is within the Army Corps' jurisdiction. If it were, that would trigger a referral by DOS and an advisory review from this Commission. As Mr. Neuringer has stated, this is on Village property and it is also in the scenic resource listed in the LWRP. In so far as there are concerns regarding the county's work on this, this can be addressed to the Board of Trustees. She recommends going through the Board of Trustees to communicate with the County.

Ms. Goldstein stated that the revised Chapter 240, states that a project or physical activity that may affect the environment by changing the use, appearance or condition of any natural resource or structure that is directly undertaken, funded or approved by the Village, the Village has to grant authority. Ms. Georgiou stated that having to get a building permit would not automatically trigger referral to the Commission; this would occur only if there were certain land use approvals needed. Mr. Neuringer stated that there has been substantial angst with the East Basin structure. Mr. Neuringer was insulted that the Engineer stated that this Commission did not need to review. Even though the County has an easement on this property, he believes that Village attorneys need to look at this easement carefully to see if it grants the County the ability to do whatever they like. In respect to Ms. Georgiou's suggestion of contacting the Board of Trustees, Mr. Neuringer attended a recent meeting and he expressed outrage that the Village is not participating at all in this project. He suggested to the Board that they at least refer this to the HCZMC and Planning Board and ask for an advisory opinion on what is being proposed. He believes that should be done. Citizens should be outraged on what is happening on Village land without any participation. He believes that the Commission should state an opinion that they do have jurisdiction on this project.

Ms. Georgiou would exercise caution as far as the Commission having jurisdiction. Based on the nature of the work, there is case law that would suggest that the County would not have to seek land use permits. The Board of Trustees could certainly try, but it could end up in litigation. Mr. Neuringer believes that a building permit is about to be issued for this project. No one he knows of is questioning the need of the County to do this. It is viable. It is a site plan issue and believes that is the kind of input the Planning Board and this Commission can give. The Commission agreed that a memo should be drafted by the Chair in concert with Counsel and sent to the Board of Trustees. Mr. Glattstein believes it important to see the plans. Mr. Greechan believes that it will mimic the Pavilion with a stone veneer. Mr. Neuringer stated he doesn't have issue with what it is going to be constructed of, but where it is going to be. Ms. Goldstein asked that this remain on the agenda going forward.

5. ADJOURN MEETING

Motion by Mr. Neuringer; seconded by Ms. Roney and carried by the Commission the meeting was adjourned at 11:12pm

Vote:

Ayes:	Ms. Goldstein, Mr. Glattstein, Mr. Neuringer, Ms. Roney, Mr. LaFollette, Ms. Bienstock Cohen
Nays:	None
Abstain:	None
Absent:	Ms. Michels

Respectfully submitted,

Betty-Ann Sherer

Betty-Ann Sherer

DRAFT –NOT APPROVED
VILLAGE OF MAMARONECK
HARBOR AND COASTAL ZONE MANAGEMENT COMMISSION MEETING MINUTES
MAY 17, 2017 – 7:30 PM
COURT ROOM- 169 MT. PLEASANT AVENUE

PRESENT:

Chairperson: Cindy Goldstein
Commissioners: Brian Glattstein
Kevin LaFollette
Jennifer Bienstock Cohen
Doreen Roney
Clark Neuringer

Also Present:

Anna Georgiou, Counsel
Hugh Greechan, Engineer
Sven Hoeger, Environmental Consultant
Bob Galvin, Planning Consultant

Absent:

Pam Michels

1. OPEN MEETING

Chair Goldstein opened the meeting at 7:30 pm.

2. OLD BUSINESS

A. **MAMARONECK BEACH & YACHT CLUB – UPDATE**

Ms. Goldstein noted that the Commission had requested that they be notified when the dye test of the sewer line was being done. A dye test was done on May 1; however, there was no notification to the Commissioners. Mr. Greechan was notified the day of the testing. He was given no direction to witness the testing. It seems it was a successful dye test.

Ms. Goldstein stated that she would develop a memo to the Acting Village Manager with the Commissioners' concerns. Mr. Neuringer expressed his disappointment in the lack of proper notification and felt the memo to the Board of Trustees should include questions on the pressure testing. They felt 15psi did not adequately represent adequacy of the pipe. There were concerns with the pump station improvements, as the sewer line would not support this new station. They felt the Code required higher testing levels than what the pipe was tested. They wanted to know who made the decision and what the basis for it was. HCZMC had made specific requests, which were not responded to.

Mr. Greechan explained the testing and the rational on the pressures used for this test. Mr. Neuringer thanked Mr. Greechan for this explanation. He is still concerned that the pump station will have to be replaced and the existing pipe will not be able to handle the pressure and sewage will go into our waters. He wished the Village expressed the same concern. Ms. Goldstein asked if this pipe is inspected on any regular basis. Mr. Greechan said that the pipes are very small so only dye tests can be done and they are being done twice a year. This question will be added to the memo sent by the Commission.

B. ORIENTA BEACH CLUB - SITE PLAN-CONSISTENCY

1054 Walton Avenue Site Plan (Section 9, Block 98, Lot 1) Application to relocate an existing platform tennis court, add an additional court, add a new Warming hut and decking and install storm water recharging system (MR District)

Ms. Goldstein stated that a preliminary review was done at the last meeting and the Commission was prepared to act but procedurally needed to wait for the Planning Board to complete SEQRA.

Mr. Rex Gedney, architect for the project appeared. They were back before the Planning Board and the SEQRA determination was done. He stated that nothing has changed since the last meeting.

The Commissioners discussed the site retention and water quality in the bio swale. Mr. Gedney stated that the culvec would provide 100% water quality and quantity. Any overflows will go to the bio swale. They felt this was a more sensitive approach to keep all of their water on site. It will also take some of the water from the road. The paddle courts are treated as impervious even though they are pervious as they are decks with gravel beneath. The following resolution was adopted by the Commission:

HARBOR & COASTAL ZONE MANAGEMENT COMMISSION CONSISTENCY RESOLUTION

1054 Walton Avenue * Orienta Beach Club

WHEREAS, Orienta Beach Club ("Applicant") applied to the Planning Board for site plan approval to relocate an existing platform tennis court, add an additional court, add a new warming hut and deck, install a stormwater recharging system and improve parking areas at 1054 Walton Avenue, Mamaroneck, New York ("Premises") with (i) architectural plans prepared by Rex B. Gedney, R.A. dated 9/22/16 and last revised on 4/5/17 (T-100, S-001, S-002); (ii) plans prepared by Benedict A. Salanitro, PE dated 11/21/16 and last revised on 3/23/17 (ER-1), plans dated 2/28/17 and last revised on 3/20/17 (ER-1A) and plans dated 11/21/16 and last revised on 3/10/17 (ER-2); (iii) survey prepared by Michael W. Finkbeiner, PLS dated 3/1/17 and (iv) landscape plan prepared by Melissa Brent dated 1/8/16 ("Project"); and

WHEREAS, the Commission conducted its preliminary review of the Project on April 19, 2017; and

WHEREAS, after circulating its intent to be Lead Agency to involved agencies (unlisted action) and having received no objection within thirty days, the Planning Board declared Lead Agency pursuant to SEQRA and thereafter issued a Negative Declaration dated April 26, 2017, finding no significant adverse environmental impacts for the Project; and

WHEREAS, the Planning Board referred the Applicant to the Commission to review Project consistency with the Village of Mamaroneck's Local Waterfront Revitalization Program ("LWRP") pursuant to Village Code §240-29; and

WHEREAS, the Applicant submitted an application for a consistency determination and appeared at the hearing held at the May 17, 2017 Commission meeting; and

WHEREAS, the Commission has reviewed and considered the Coastal Assessment Form, application materials, and correspondence and memoranda submitted to the Commission by its consultants and the Applicant for the purpose of determining Project consistency with the LWRP.

On motion of Ms. Bienstock-Cohen, seconded by Ms. Roney:

THEREFORE BE IT RESOLVED that the Commission has completed its review and evaluation of said application, including the Coastal Assessment Form, and after conferring with its consultants has determined that the Project is consistent, to the maximum extent practicable, with the policies of the LWRP and will not substantially hinder the achievement of any of the policies set forth in the LWRP.

The motion passes:

Ayes:	Mr. Glattstein, Ms. Goldstein, Mr. LaFollette, Mr. Neuringer, Ms. Bienstock-Cohen, Ms. Roney
Nays:	None
Abstain:	None
Absent:	Ms. Michels

C. ALTER SUBDIVISION- CONSISTENCY for a Proposed 4 Lot Subdivision

1000 Taylors Lane, (Section 4 Block 77, Lot 14), Consistency for a proposed 4 lot subdivision located at 1000 Taylors Lane in the R-15 District

Ms. Goldstein stated that the Commission decided to do their own SEQRA findings. Mr. Neuringer disclosed that he has had interaction with Ms. Gray advocating on behalf of one of his projects, but it does not have bearing on his hearing this application. Ms. Gray agreed.

Ms. Jennifer Gray attorney for the applicant appeared. She gave a brief recap of this 4-lot subdivision. She noted the Westchester Land Trust has significant interest in the 3.2 acres that make up lot 4. Since the last meeting, they have evaluated the lot. The restricted building envelopes for proposed lots 1 & 3 are setback as far from the wetlands that they can be. The Planning Board has restricted Floor Area Ratios. The applicant has agreed to additional restrictions on their existing parcel and residence. Ms. Gray stated that the Land Trust has also expressed interest in acquiring lots 1 and 3, so there is a possibility that those lots will never be developed. The applicant wholeheartedly supports this.

The Commission was concerned if the Land Trust does not take the parcels what would the backup plan be? Ms. Gray stated that the alternatives were discussed in the FEIS. There will be deed restrictions in place, and if the land trust does not take them all – except for the conservation lot- only a single-family home can be built on lots 1 and 3.

Ms. Roney stated that there is still an issue regarding the subdivision as not all of the lots conform to the Code. Mr. Gray does not interpret this the same way; the home on lot 2 is viewed as zoning compliant. Mr.

Neuringer stated that wetlands and buffers are not listed in the Zoning Code. There is non-conformity on the lot, but not with respect to zoning.

Mr. Neuringer recalls that the Commission wanted more information on how the Certificate of Occupancy was issued for the existing home on lot 2. He believes that a mistake was made. There are mitigations that could be required in the buffer. Mr. Neuringer is concerned that the applicant can add an additional 500 square feet to the structure with no restriction on an accessory structure. He suggested that as a result of the mistake made, would the applicant agree to limit any addition to the house or additional accessory structures in perpetuity. Ms. Roney suggested adding any imperious surface to the restriction. Ms. Georgiou asked for clarification as to what policy of the LWRP this relates to.

The Commissioners then discussed the 44 policies of the LWRP, specifically policies: 7, 7A, 8, 11, 12, 14, 17, 23, 25 & 44. Ms. Gray stated that the applicant would not have an issue with adding the restriction of using pesticides or herbicides to lot 2. Ms. Evans appeared to discuss the slope analysis on lot 3. Mr. Glattstein asked if there could be a deed restriction on the lots that any construction would have to come before this Commission or one like it for Consistency with the LWRP. Ms. Bienstock Cohen said that all of this would be obviated if the Land Trust took over lots 1 and 3 as well as lot 4. She asked if the Commission could wait until this determination is made. Ms. Evans stated that these lots could not be conveyed before the subdivision took place and that cannot happen without a Consistency Determination. Ms. Georgiou suggested that the Commission does not have the jurisdiction to add the restriction that Mr. Glattstein suggested. Mr. Neuringer does not believe that this subdivision is being applied for with the intent to give these other two lots to a conservatory. That is what acquired means, to sell, not to give away. He believes that lot 4 is being conveyed for conservation. Ms. Gray appeared and stated that Mr. Neuringer is correct. Lot 4 is being dedicated to the Land Trust. If lots 1 and 3 go to the Land Trust it will be through a financial transaction.

Ms. Roney asked about the FEMA restrictions and if lots 1 and 3 are in the X flood zone in the new mapping. Ms. Evans stated it is in X but they are meeting the AE requirements. This is a possible deed restriction. Ms. Goldstein asked that a deed restriction that lot 4 would be a conservation lot be added as a possible condition for Consistency. Ms. Georgiou confirmed that it would be within their jurisdiction to do so. Ms. Gray stated that although the Alter's have no intention of adding square footage to the existing home on lot 2, having this be a deed restriction was not discussed. She would discuss this with the applicant before the next meeting. The Commission asked that the issue of restricting the use of herbicides and pesticides be a deed restriction as well. Mr. Hoeger again suggested having a visible demarcation of where the wetland buffer begins. A survey marker is often used and was suggested. Ms. Goldstein would like to see a letter or intent or a written document containing their thoughts on the acquisition of lot 4 and also on lots 1 and 3. Mr. Neuringer also asked for a memo from Ms. Georgiou stating why she believes that the Commission should not ask the applicant to voluntarily put a restriction on any future building on lots 1 and 3 without a Consistency Determination for the construction of single family homes on each lot.

The Commission asked that a draft resolution with conditions be prepared by counsel for possible review at the June meeting. The Commission will request that the Building Department pull the file for lot 2, for their review.

3. NEW BUSINESS

A. **740 SOUNDVIEW DRIVE- PRELIMINARY SUBDIVISION REVIEW AND PLANNING BOARD CIRCULATION FOR LEAD AGENCY**

O'Keefe 740 Soundview Drive (Section 4, Block 74, Lots 36, 37A, 37B, 38, 39& 40) Subdivision -Lot Merger to combine multiple lots to create 2 zoning compliant lots in the (R-10 District)

Ms. Goldstein discussed disclosures of connections or prior associations between certain Commissioners and the Applicants or their representatives; she confirmed that none of these circumstances would affect this project review including the objectivity of Commissioners.

Ms. Martha McCarty, attorney for the applicant appeared and noted these are 5 tax lots to be merged to create 2 zoning compliant lots. The line will be moved to allow the existing house to then be conforming as well as the creation of a new conforming lot. They have been before the Planning Board. The applicants have the intent to sell one of the lots and are sure that there will be a home built there.

Ms. McCarty stated that it was thought that this is a Type II action under SEQRA, however, it was decided that it was an Unlisted Action. That will have to be changed on the application. They are not moving any dirt or taking down any trees. There will be no significant impacts to the environment.

Ms. McCarty referenced the May 14, 2017 Bob Galvin memo for this project:

The Planning Board has requested information on the potential FAR resulting from the subdivision (lot Adjustment) application for 740 Soundview Drive. The application seeks the lot line adjustment that would result in a New Lot 2. The existing property at 740 Soundview Drive is in the R-10 zoning district and totals 28, 750 sf. The existing house is approximately 3,600 sf.

The lot line adjustment would result in two zoning compliant lots. The requested FAR information resulting from the subdivision/lot adjustment is provided below:

Lot 1 (existing house) – existing lot size – 17,250 sf – existing house size – 3,600 sf - potential FAR using sliding scale – 5,132 sf (0.2975) – previous potential before sliding scale – 6,900 sf + 400' garage exclusion (7,300 sf)

New Lot 2 – Lot size – 11,500 sf – potential FAR using sliding scale – 3,833 sf (0.3650) – previous potential before sliding scale – 4,600 sf + 400' garage exclusion (5,000 sf)

The sliding scale results in significantly lower house size for Lot 2, which would be comparable to the existing size of the residence on Lot 1 (3,600 sf).

We have provided a map showing nearby lots and distance (183') to Magid Pond across Soundview and properties bordering the pond. From the map it appears that the resulting lot adjustment fits in with the neighborhood, which appears to be primarily developed.

Ms. Goldstein appreciates the information, but they have no jurisdiction over what is built on the lots. Mr. Neuringer asked who had determined zoning compliance since the form submitted by Mr. Gray only noted the lot area and frontage and was silent on lot coverage. Ms. Roney stated that they didn't receive all of the information that they need to make a determination. Ms. McCarty stated that she met with the Planning Department and went over what information was needed and she believes that everything they needed to get, they did. Mr. Neuringer again stated his concern with lot coverage. Ms. McCarty does not understand the concern because anyone who is going to build on these lots will have to go before the Building Department and it will have to be zoning compliant.

Ms. O'Keefe appeared and stated that lot 1 is 17,250 square feet with a 3,500 square foot structure on it, which is 20%. Mr. Neuringer appreciated that and stated that the Building Department should have a document that states that. Ms. McCarty stated that Mr. Gray has looked at this in great detail and if either of the lots were non-conforming, he would have noted it. She is happy to get another survey and ask Mr. Gray to put in writing that they are conforming; however, it was her view that this is the not purview of this Commission.

Ms. Goldstein stated that things should not appear on their agenda if they are not zoning compliant; the application not complete. Ms. Goldstein asked if they could make a Consistency Determination with the condition that the Building Department assure that the lots are compliant. Ms. Georgiou reminded the Commission that this is a preliminary review. They cannot complete Consistency review tonight; the Planning Board is lead agency and SEQR is not complete.

The Commission requested the plat be revised with the addition of a zoning compliance table, which addresses coverage be provided to them before the next meeting. Ms. Goldstein asked that the Commission get copies of the Planning Board application and any determination made by them with their packets. Consistency review is anticipated for the June meeting.

- D. (Continue Old Business)**DISCUSSION:** West Basin Pump Station in Harbor Island Park.
Proposed upgrades and construction by Westchester County Department of Environmental facilities.

Ms. Goldstein stated that in regard to their memo sent to the Board of Trustees, at this time there is no response and the issuance of a Building Permit was put on hold. Discussion will continue at the June 21, 2017 meeting

4. APPROVAL OF MINUTES

- A. **MINUTES:** Approval of October 19, 2016 minutes

Motion by Mr. LaFollette to adopt the minutes of October 19, 2016; seconded by Mr. Glattstein

Vote:

Ayes: Ms. Goldstein, Mr. Glattstein, Mr. Neuringer, Mr. LaFollette, Ms. Roney

Nays: None

Abstain: Ms. Bienstock Cohen

Absent: Ms. Michels

5. ADJOURN MEETING

Motion by Ms. Bienstock Cohen; seconded by Ms. Roney and carried by the Commission the meeting was adjourned at 9:59pm

Vote:

Ayes: Ms. Goldstein, Mr. Glattstein, Mr. Neuringer, Ms. Roney, Mr. LaFollette, Ms. Bienstock Cohen

Nays: None

Abstain: None
Absent: Ms. Michels

Respectfully submitted,

Betty-Ann Sherer

Betty-Ann Sherer

DRAFT

DRAFT – NOT APPROVED
VILLAGE OF MAMARONECK
HARBOR AND COASTAL ZONE MANAGEMENT COMMISSION MEETING MINUTES
JUNE 21, 2017 – 7:30 PM
COURT ROOM- 169 MT. PLEASANT AVENUE

PRESENT:

Chairperson: Cindy Goldstein
Commissioners: Pam Michels
Brian Glattstein
Doreen Roney
Anthony Carr

Also Present:

Anna Georgiou, Land Use Counsel
Bob Galvin, Village Planning Consultant
Sven Hoeger, Consulting Environmental Engineer
Hugh Greechan, Consulting Engineer

Absent:

Jennifer Bienstock Cohen
Kevin LaFollette

1. OPEN MEETING

Chair Goldstein opened the meeting at 7:30 pm.

Ms. Goldstein stated that Mr. Neuringer has left the Commission to serve on the Zoning Board of Appeals and welcomed Anthony Carr as the newly appointed member.

2. OLD BUSINESS

A. MAMARONECK BEACH & YACHT CLUB - STATUS UPDATE

Ms. Goldstein asked if there is an update on this application. Ms. Georgiou stated that she understands that it is anticipated that the supplemental FEIS will be submitted on or before the next Planning Board meeting. Ms. Goldstein asked that the Commission receive a copy of that as well.

C. 740 SOUNDVIEW DRIVE – CONSISTENCY FOR SUBDIVISION/LOT MERGER

O’Keefe 740 Soundview Drive (Section 4, Block 74, Lots 36, 37A, 37B, 38, 39 & 40) – Lot Merger to combine multiple lots to create 2 zoning compliant lots in the R-10 District.
(Taken out of Order)

Ms. Goldstein stated that preliminary review was held at the last meeting, however, the Commission had to wait for the Planning Board to adopt their Negative Declaration before moving forward. That has been done.

Ms. Martha Sokol McCarty, attorney for the applicant appeared. She confirmed that the Planning Board did adopt a Negative Declaration on this application. The applicant was asked to submit an amended plot plan dealing with lot coverage. Ms. Roney asked about the existing lot and conformity with zoning. Mr. Glattstein believes that this had to do with the stairs on the deck, which are in the setback and the garage, which is an existing condition. Ms. McCarty stated that this is a pre-existing non-conformity, which they are not expanding. Ms. Roney stated that she believes that this needs to be zoning compliant before a subdivision can be approved. Mr. Galvin stated that this is something that the Building Inspector will opine on before the Planning Board. Ms. Roney also stated that the Commission does not have a storm water plan. Ms. McCarty stated that would be difficult to do as they are not doing any building; they are moving a lot line, which can be done without the Village's permission so that there will be a new conforming lot. When this lot is sold, there will have to be a SWPPP done.

Mr. Glattstein stated that a letter was received from a resident stating that with a subdivision, a SWPPP should be done sooner rather than later. Ms. Georgiou stated that it is her understanding that if there is no planned development on a subdivision, it is almost impossible to do a SWPPP. Usually with a site plan application, there is planned development and a SWPPP provided. Mr. Greechan agreed that with no building plan, there is nothing to review. Ms. Goldstein stated that there is inconsistency in the Code. Mr. Galvin agrees that there are inconsistencies in the Subdivision Code and this needs to be addressed.

Mr. Glattstein stated that not having a SWPPP makes their Consistency Determination difficult, as they need to look at water quality, quantity and flow. Mr. Galvin agrees and believes that a subdivision with no planned development should not be before this Commission. Mr. Glattstein stated that this is backward, as if and when there is development on this going forward requiring a SWPPP, this Commission will not have to review it. Ms. Georgiou stated that is correct, unless a wetlands permit is required. However, the Village Engineer would review and approve the SWPPP.

Mr. Stuart Tiekert of Beach Avenue appeared. He was the resident who raised the issue of the SWPPP. He believes that this is something that has to be addressed by the Village. Perhaps this Commission could request an interpretation of the Code.

Ms. Goldstein reviewed the possible Consistency Determinations. Ms. Michels believes that due to the limitation on what they can review, at this moment she believes that the Determination should

be that this would not substantially advance or hinder any of the LWRP policies. Ms. Roney asked that the Planning Board address the non-conformity issue.

Mr. Dan Natchez of Alda Road appeared. He understands the Commission's concern with the conflicts in the Code. There is a reason that the Commission may put something in the Resolution regarding there not being a SWPPP. The inconsistency in the Code should be distinguished. Ms. Goldstein agrees that the Resolution should state that a SWPPP was not provided, as there is no planned development at this time. The Commission agreed. Mr. Natchez believes that the Commission should go further as there will be other applications that will not have a SWPPP, but will have storm water implications, where this site does not. The Commission discussed the language that should be included in the Resolution. The following resolution was adopted:

**HARBOR & COASTAL ZONE MANAGEMENT COMMISSION
CONSISTENCY RESOLUTION**

740 Soundview Avenue

WHEREAS, Catherine and William O'Keefe ("Applicant") applied to the Planning Board for subdivision approval for property located at 740 Soundview Ave. ("Premises") to create two lots with a redrawn boundary line with a survey map prepared by Richard A. Spinelli dated April 6, 2017 and updated on May 31, 2017 ("Project"); and

WHEREAS, the Commission conducted its preliminary review of the Project on May 17, 2017; and

WHEREAS, after circulating its intent to be Lead Agency to involved agencies and having received no objection within thirty days, the Planning Board declared Lead Agency pursuant to SEQRA and thereafter issued a Negative Declaration dated June 14, 2017, finding no significant adverse environmental impacts for the Project; and

WHEREAS, the Applicant submitted an application for a consistency determination and appeared at the hearing held at the June 21, 2017 Commission meeting; and

WHEREAS, the Commission has reviewed and considered the Coastal Assessment Form, application materials, and correspondence and memoranda submitted to the Commission by its consultants and the Applicant at the June 21, 2017 hearing for the purpose of determining consistency with the Village of Mamaroneck's Local Waterfront Revitalization Program ("LWRP"); and

WHEREAS, there is no imminent or planned development of the newly created lot and accordingly no SWPPP was submitted by the Applicant for the proposed subdivision, which is not situated adjacent to an environmentally sensitive area.

On motion of Ms. Michels, seconded by Mr. Carr:

NOW, THEREFORE BE IT RESOLVED that the Commission has completed its review and evaluation of said Project, including the Coastal Assessment Form submitted, and after conferring with its consultants has determined that the Project will not substantially advance any LWRP policies, but will not substantially hinder the achievement of any LWRP policies. Therefore there is no obstacle to a finding of consistency with the LWRP.

The motion passes:

Ayes: Mr. Glattstein, Ms. Goldstein, Ms. Michels, Ms. Roney, Mr. Carr

Nays: None

Absent: Mr. LaFollette, Ms. Bienstock-Cohen

- B. ALTER SUBDIVISION – CONSISTENCY for a Proposed 4 Lot Subdivision 1000 Taylors Lane (Section 4, Block 77, Lot 14). Consistency for a proposed 4 lot subdivision located at 1000 Taylors Lane in the R-15 District

Mr. Justin Siebert, attorney for the applicant appeared. At the conclusion of the May meeting, the Commission authorized the preparation of a Resolution for Consistency Determination and also posed several questions to the applicant. The responses were sent to the Commission on June 7, which were reviewed by Mr. Siebert.

Ms. Laurie Ensinger, President of the Westchester Land Trust appeared to answer the Commissions questions. Ms. Goldstein asked where they are in the acquisition of land in lot 4. Ms. Ensinger explained the process and in her experience, the set aside becomes effective when the plat is filed and asked that the organization being granted this land be stated in the approvals. Her board can then turn this around quickly. She does believe that her board will require that that boundaries that are not adjacent to the Otter Creek preserve be marked with iron pins. Also, clarification as to whether the parcel would be subject to property taxes the first year until it comes off the tax rolls is needed. They cannot accept it in that instance. It would have to be clear of any property tax liability. What is done to land put into conservation was discussed. Ms. Ensinger stated that there would be very little done to this particular piece of land. The possible purchase of lots 1 and 3 was discussed. As these are buildable lots, Ms. Ensinger believes that the amount would be sizable. This land could also be donated or a combination of the two.

Ms. Goldstein had questions regarding the June 2 memo from Ms. Crist. Ms. Goldstein asked that Ms. Evans review the requirement of a tidal wetland permit. Ms. Evans stated that the requirement is correct according to New York State regulations for the subdivision of property that has tidal wetlands or tidal wetlands adjacent. The DEC was an involved agency in this application. As far as a freshwater wetland permit, Ms. Evans prepared a grading and erosion sediment control plan in response to a request by the DEC that she had available for the Commission's review. This shows that the properties can be graded and built upon with no encroachment into the tidal or freshwater wetland buffers. Deep water hole tests were also done on lots 1 and 3. Ms. Evans stated that a preliminary storm water management plan was prepared and submitted to the Village Engineer. The handling of storm water on this property was discussed by the Commission and that when there is a plan for building on these lots, this will not come back to the HCZMC, which gives the Commission pause. Ms. Evans understands but stated that a plan will have to be done that will comply with all requirements and that this plan will be reviewed by the Village Engineer. She reiterated that on-site soil and deep hole testing were done with the previous application to build on these lots. A full Storm Water Pollution Prevention Plan was done at that time. All of this information was submitted to the Planning Board prior to their making their positive declaration. Ms. Roney asked if it would be possible to get this information to the Commission.

Ms. Goldstein reviewed the SEQRA finding statement adopted by the Planning Board. The grading process was discussed. Ms. Evans stated that there would be minimal soil disturbance. This process, however, will be up to whomever builds on these lots. Potential blasting was discussed. Ms. Evans believes that this would not be necessary, but the Planning Board is being conservative and believes that there is a potential for blasting. Building on steep slopes was discussed. An above ground swimming pool was discussed to anticipate the build out of lot 1, but not an in-ground pool.

Mr. Glattstein asked Ms. Evans what is needed from the DEC. Ms. Evans stated that they contacted SHPO as a study was submitted previously. They asked to review the situation again if this subdivision is approved. The information required by them as been provided, but they have yet to get a determination. Ms. Evans also stated that this application will go to the DEC and DOS for consistency and for a tidal wetlands permit but only after the local municipality has done their review and the subdivision is approved.

Ms. Goldstein asked that the Commission review the policies pertinent in this case. Policy 7 and 7A was discussed and would need to be reviewed. Mr. Glattstein stated this is hard to determine with no site plan for building. The Commission agreed that Policy 8 will have to be looked at in regard to this application, as well as Policies 11, 12, 14, 17, 23, 25, 33, 37, 38 and 44. Ms. Goldstein asked what would happen in the event future work needs to be done in the area that is currently in the wetland buffer. Ms. Georgiou stated that based on the contemplated condition the applicant would not be allowed to apply for a wetlands permit in the future to complete any new work, but she is not sure how an existing condition would be handled. Ms. Roney would like an opinion from the Building Inspector on this matter before moving forward.

Mr. Sven Hoeger spoke regarding the memo he prepared in reference to the buffer width. It is a 100-foot buffer and the applicant is outside of this regulated buffer and therefore they are compliant. Ms. Goldstein does not believe that applying a 100-foot buffer to every site in the Village works particularly if you have an environmentally sensitive area. Mr. Glattstein believes that the applicant showed some sensitivity to that, particularly on lot 1, as they will have an additional 60 feet from the 100-foot buffer. On lot 3, he believes the setback is less, 30 feet from the 100-foot buffer. Ms. Evans stated that they have committed the building envelope to not encroach on the buffer. To set the same setback on lot 3 as in lot 1, they would not be able to get a reasonable house built in that building envelope. Mr. Glattstein asked if there could be a provision in their approval that the building envelope proposed needs to remain when any building is done. He believes that this will address Policies 7 and 7a.

Policy 8 was discussed. Mr. Glattstein stated that on the one developed lot; there is sanitary sewer service. It would put his mind at ease if any future development would be hooked up to that sanitary sewer service. Ms. Evans stated they did pursue that and it is the intent of this subdivision that they would hook up to this sanitary sewer system. Ms. Michels stated that she would like to see that provision added to the Commission's approval as a condition. Ms. Evans stated that she is happy to have that on the record. Ms. Roney read from the section of the watershed management plan governing runoff rates for the watershed that they are in and those parameters need to be met. She further stated

that none of the information needed to comply with this is before the Commission. Mr. Glattstein stated this is for Planning Board guidance and needs to be addressed in their SWPPP.

Mr. Stuart Tiekert appeared again and stated that a Storm Water Management Plan and SWPPP have been used interchangeably. He believes that you can have a Storm Water Management Plan that does not comply with a SWPPP. He asked if this applicant's Storm Water Management Plan has met all of the requirements of Chapter 294. He was told that it does. Ms. Evans stated that the SWPPP has been submitted to the Village Engineer at the initiation of the subdivision application. As there are no building plans, she asked if the SWPPP could be updated if need be; however, it has not been updated, as there is no construction anticipated. Mr. Tiekert believes that if a SWPPP has been submitted to the Village Engineer that should be a public document and available for review and comment by the public. Ms. Evans stated that this document is available on the Village's website. The Commission stated that they never received the document. Ms. Sherer stated that all of these documents are on the Planning Department's page under SEQRA documents. Mr. Tiekert suggests that if a document is being reviewed by the HCZMC, it should be attached to the agenda.

Mr. Dan Natchez appeared again. He stated that the Village's Storm Water Code has changed since 2010 and asked if their Plan was updated. He asked if the infiltrators shown in the 100-foot buffer on the original plan have been moved. Mr. Natchez stated that a list of animal species have been noted by an ornithologist during the comment period, who happens to live on Otter Creek. Among that list, there has been testimony that a bald eagle nest is in that area. When habitats are discussed in regard to building envelopes, it does not include canopy habitats. In a highly sensitive environmental area, the 100-foot buffer may not be sufficient.

Ms. Evans stated that she was not aware that the Village's Storm Water Code had been updated and will look at that. The storm water plan has never been within the 100-foot buffer and in reference to the animal species, they did see the comments. They have done the best that they can to identify those species and protect them.

Mr. Natchez also believes that the Commissioners need to review the grading plan that was just done. Ms. Evans stated that she would be happy to submit it and that all grading and disturbance have been kept well outside the 100-foot wetlands buffer. Ms. Goldstein stated that this should be part of the record.

Policy 11 was then discussed. Ms. Roney had difficulty finding a map or plan with FEMA lines. Ms. Evans stated that FEMA elevations were given on the topographic map. The Commissioners agreed that there is no concern with this policy.

Policy 12 was discussed and is still potentially an issue. Policy 14 was reviewed and the BMPs for erosion protection and sediment control measures discussed. Mr. Hoeger stated that this policy refers specifically to coastal areas and is not relevant in this application.

Policy 17 was reviewed and how this was acknowledged and the measures that will be taken during the build out of these lots were discussed. Building above the base elevation was addressed making this policy no longer an issue.

Policy 23 was discussed. This has also been addressed and no longer an issue.

Policy 25 was reviewed next. How the applicant is addressing this was read from the FEIS by Ms. Goldstein. The materials that will be used to build the homes on these lots may be an issue in reference to this policy. The Board of Architectural Review will review this. The photos taken by a drone and the coverage on the lots were reviewed and discussed. Ms. Goldstein believes the risk here is slim. The Commission agreed.

Policy 33 was discussed and the addition of the requirement of the sanitary sewer hookup will resolve any issue with this policy. The Commission also agreed to send guidance to the Planning Board of the watershed requirement raised earlier by Ms. Roney.

Policy 37 was reviewed. Mr. Hoeger stated that this would be dealt with when the applicant prepares the SWPPP.

The Commission reviewed policy 44. Ms. Goldstein read the pertinent section of the FEIS regarding safeguarding freshwater or tidal wetlands and asked Ms. Evans how they know that they will be protecting these. Ms. Evans stated that making lot 4 a conservation lot assures this. Mr. Glattstein stated that there is still a question of whether the Westchester Land Trust will accept this parcel and because of that, he believes that the Commissions Consistency Determination should state that nothing should be sold or developed until the time that this parcel is taken over by the Land Trust. Mr. Galvin reminded the Commission that the approval by the Planning Board of the subdivision of this property is predicated on that parcel remaining conservation land being acquired and maintained by a not-for-profit. Ms. Goldstein stated that she would not want to see this piece of property go to a municipality. Ms. Evans stated that this is not the intent of the applicant and that there would be no issue with the Commission making that a condition of their determination. In reference to the question raised at the last meeting regarding the Commission having jurisdiction over single-family homes, Ms. Goldstein stated that Ms. Georgiou has opined that even if the applicant agreed, it would not be enforceable.

Ms. Goldstein stated that the Policies that need specific mention in their Consistency Determination are 7A, 12, 37 and 44 and how these will be addressed. The Commission discussed whether anything could be added to help mitigate the loss of trees on the buildable lots. Ms. Michels mentioned that she is more comfortable with the plans as they state that native plants will be used to landscape the parcels when the building is done. Ms. Roney is concerned about the tree canopy. Ms. Michels suggested that trees be planted somewhere else on the property to replace trees taken out during the build. Ms. Evans stated that there would not be room to do this. Ms. Goldstein suggested replacing trees over a certain diameter. Protection of the canopy can be recommended as well so that when the Planning Board is reviewing the build plans they understand the Commissions intent. Mr. Glattstein stated that this would be more difficult in lot 3 as most of the trees are in the building

envelope. Ms. Evans stated that Section 342.76 of the Village Code covers this issue and it is the applicant's intention to follow this guideline.

The Commission reviewed the draft listing of potential conditions for consistency and how conditions would be enforced by deed restriction. They also reviewed conditions that will be added. The Commission discussed prohibiting in-ground pools on lots 1, 2 and 3. Ms. Goldstein asked if they have the right to do this, as lot 2 is not part of the application. Ms. Evans does not believe that this will be an issue for the applicant. The Commission was polled. Ms. Michels believes that the Commission has done the best they can and appreciates the applicant donating part of their property to the Land Trust. Mr. Glattstein believes the Commission is in a good place. He would like to see some of the documentation available that they do not have and to assure that the SWPPP prepared adheres to the new storm water law. Mr. Carr is generally comfortable especially with the conservation lot. He believes the applicant did a good job and based on the information available, he is comfortable with what the Commission is recommending. Ms. Roney would like to have all of the records in front of her. She agrees that the applicant has done a phenomenal job in conserving parts of what they could. She would like to see documentation from the Building Inspector regarding the watershed requirements on the current site. Ms. Goldstein is feeling more comfortable and thanked the applicant for getting additional information to them. The Commission continued its review of this application to the July meeting.

D. WEST BASIN PUMP STATION DISCUSSION - Proposed upgrades and construction by Westchester County Department of Environmental facilities

Ms. Goldstein believes that this application will be in front of them for a long period of time, as with the Mamaroneck Beach and Yacht application. The Commission did send correspondence to the Village asking for information and have not received this information. There has been a change in Village Management and they will give Mr. Yamuder an opportunity to get back to them. Mr. Glattstein asked if there was a final determination made on the East Basin Pump Station. There has been fencing and plantings done and he wonders if the neighbors are satisfied with that. There was a lot of effort made at this site.

3. NEW BUSINESS

A. THE RESIDENCES AT LIBRARY LANE 145-149 LIBRARY LANE SITE – CIRCULATION FOR LEAD AGENCY – Planning Board circulation (Section 9, Block 50, Lot 6A) site plan, special permit and subdivision application for 145-149 Library Lane to remove the existing building and construct a 9 unit apartment building with parking on the ground level (C-2 District).

Ms. Goldstein stated that the Commission received circulation for the Planning Board to be Lead Agency on this application. Ms. Roney would like the Planning Board to request photographic evidence on the building to determine its historical significance and if any part of it should be preserved. Mr. Galvin stated that this has already been requested of SHPO.

The Commission agreed to the Planning Board being Lead Agency on this application.

Ms. Goldstein informed the Commission that their meeting packages would no longer be delivered to their homes. They will be available for pick up at the police headquarters. Ms. Michels does not understand this as it is a volunteer board and believes that this is outrageous. Ms. Sherer will let the members know when the packages are ready. Mr. Galvin suggested giving the Commissioner's netbooks so that they can get all information digitally. The Commissioners are not in favor of there being no delivery and would like to know the rationale.

Ms. Roney asked about the memo sent to the Board of Trustees six months ago requesting their working on legislation. Ms. Roney asked if the memo could be resent. Ms. Goldstein stated she would circulate.

4. ADJOURN

Motion by Ms. Roney; seconded by Mr. Glattstein and carried by the Commission the meeting was adjourned at 10:57pm

Vote:

Ayes:	Ms. Goldstein, Mr. Glattstein, Mr. Carr, Ms. Michels, Ms. Roney
Nays:	None
Abstain:	None
Absent:	Ms. Bienstock Cohen, Mr. LaFollette

Respectfully submitted,

Betty-Ann Sherer

Betty-Ann Sherer

DRAFT – NOT APPROVED
VILLAGE OF MAMARONECK
HARBOR AND COASTAL ZONE MANAGEMENT COMMISSION MEETING MINUTES
JULY 19, 2017 – 7:30 PM
COURT ROOM- 169 MT. PLEASANT AVENUE

PRESENT:

Chairperson: Cindy Goldstein
Commissioners: Brian Glattstein
Doreen Roney
Pam Michels
Anthony Carr

Also Present:

Anna Georgiou, Land Use Counsel
Sven Hoeger, Consulting Environmental Engineer
Hugh Greechan, Consulting Engineer
Bob Galvin, Consulting Village Planner
Greg Cutler, Village Planner

Absent:

Jennifer Bienstock Cohen
Kevin LaFollette

1. OPEN MEETING

Chair Goldstein opened the meeting at 7:30 pm.

2. OLD BUSINESS

A. MAMARONECK BEACH & YACHT CLUB – STATUS UPDATE

Ms. Georgiou stated that the FEIS was submitted for the sewer work and is being reviewed by the Planning Consultants for completeness. Mr. Galvin stated that it would be on the Planning Board's September Agenda. The earliest it would come back to this Commission would be October.

Mr. Dan Natchez of Alda Road appeared. He stated that this document has changed from what was previously presented to the Village. It seems to be a rehashing of a plan to have a separate crossing that the Planning Board was not willing to do.

He believes that it behoove this Commission for this document to be released to them for their comment back to the Planning Board instead of waiting to October, as it will take time for them to go through this voluminous document. It also seems not to address the concerns this Commission had. Mr. Glattstein would like to understand if there was something driving this plan and if there were alternatives

that were not considered for some reason. Mr. Natchez suggested having the applicant appear before this Commission to explain why they are doing what they are doing.

Mr. Galvin stated that once the Planning Board decides the FEIS is complete, the Commission would get it the next day. Mr. Galvin also stated that this document is on the website so the Commissioners can review over the summer.

B. ALTER SUBDIVISION – CONSISTENCY for a Proposed 4-Lot Subdivision

1000 Taylors Lane (Section 4, Block 77, Lot 14), Consistency for a proposed 4-lot subdivision located at 1000 Taylors Lane in the R-15 District

Ms. Goldstein stated that Mr. Greechan submitted a memo to the Commission. There is also a memo from the Building Inspector addressing lot 2. A draft resolution was prepared by counsel for the Commission's consideration. A copy of the draft SEQRA Findings and Consistency Resolution was provided to the applicant's representatives and available to the public during the meeting.

Ms. Jennifer Gray of Keane and Beane appeared for the applicant with Beth Evans from Evans and Associates. In reference to the Commission's comments made at the June meeting, a submission dated July 5 was made including proposed grading and a sediment control plan representing that the subdivision can be done without encroaching on the DEC designated wetlands boundary. It also included a revised SWPPP based on the update of the Village Code. They are in attendance to address any further comments and request that a Determination is made this evening.

Ms. Goldstein had a question on the proposed storm water management facility on lot 3 and the distance there. Ms. Evans appeared and answered that it is about 5 feet from the edge of the silt fence that is shown and the wetlands buffer. It is a subsurface facility and they are comfortable that it can be installed without encroachment into the 100 foot wetlands buffer. Ms. Goldstein understood that DEC needed 10 or 15 feet from the buffer line to consider it compliant. Ms. Evans stated that she has been in contact with Ms. Crist and Ms. Evans respectfully disagrees with that. Ms. Roney read Ms. Crist's concern and again, Ms. Evans disagrees. Ms. Evans stated that the drainage area map that Ms. Crist refers to has been updated. This updated information along with a grading plan, was sent to the DEC on July 7th.

Ms. Roney stated that Mr. Greechan's memo noted that there are still outstanding issues with the storm water management plan. There was inaccurate information pointed out. Mr. Glattstein stated that there seemed to be inconsistencies in the calculations. Mr. Greechan stated that there was an inconsistency with the plan. These plans have changed numerous times and they are cleaning up the plans at this point. They are not buildable plans at this point. Mr. Glattstein noted that just the storm water quality controls are being looked at. Ms. Evans confirmed that there was a typo on the document.

Mr. Greechan stated that the document would be revised. Mr. Glattstein believes that could be made a condition of the resolution. Mr. Greechan stated that the locations of the perc tests on lot 3 were not noted. Ms. Evans stated that this could be put on the plans. Mr. Glattstein stated that the Commission would like to see this on the plan, as this application would not come before them again. Ms. Goldstein emphasized the importance of this information being corrected for the record.

Ms. Goldstein asked if there is a possibility that lot 3 could go into permanent conservation ownership as she has real issues with it, particularly the lot's steep slope and the removal of a substantial amount of tree cover. Ms. Gray noted that this is what the applicant would like, to convey this land for conservation; however it cannot be taken off the development plan at this point in time. Once the Planning Board gives preliminary subdivision approval, agreements with the Land Trust can begin to be developed for both lots 1 and 3. Mr. Glattstein noted that removing the trees and the steep slope are major issues for lot 3 development. Ms. Roney asked which storm water manual has been used in the establishment of their plan. Ms. Evans answered that the 2015 version was used. Ms. Roney believes that green infrastructure planning has to be done. She sees no evidence that this was undertaken. Ms. Evans stated that is actually what they have done by moving the lot outside of the regulated wetland buffer and also any building envelope will be zoning compliant. She indicated that the trees being cut down are mostly locust trees which is not a high value wildlife species or diverse forest species since it doesn't allow other trees to grow. They have endeavored to grade the property so that the home and driveway would be built into the slope the Commission is concerned with and required that two retaining walls be built so that other parts of the lots can be maintained as natural and vegetative areas.

Ms. Gray noted that the applicant is gifting over 60% of the site to the nature preserve and the Planning Board's finding statement requires any resolution or approval shall provide for the replacement of trees removed from lots 1 and 3, especially in sloped areas. Ms. Goldstein believes that replacing a tree is not the same as having mature trees there. She would like to see something more robust to address this issue. Ms. Roney agrees, as there is nothing in the Code regarding developing on steep slopes. Mr. Glattstein asked about the retention system on lot 3. A structure will be put across most of the envelope, which should help with runoff. He asked about the gutter and street runoff and how the retention system works. Ms. Evans informed him that the retention system is designed to catch the water from the impervious surfaces on the lot, taking into account the driveway and retaining walls. It will go to a subsurface infiltration system. She indicated that this system is important as it allows the water to be treated underground where it will also be cooled. Ms. Evans also stated that the assumption is that they will not be taking any water from the street onto the property. A small berm will be built at the end of the driveway to prevent this. Mr. Glattstein noted that Taylor's Lane is at a higher elevation than the property and asked- 'what about the length of the property other than the driveway?' Ms. Evans responded that the length of the property would be landscaped with vegetation that will prevent the storm water from entering the property. The Alter's existing home does not appear to have water flowing through their property.

Mr. Glattstein is not sure of the elevation of Barrymore Lane and there are no storm drains on that road. Ms. Evans believes that Barrymore Lane slopes away from the property. She also noted that a final site plan will be developed which must be approved by the Village when the lots are ready to be developed; at the building permit stage. Ms. Roney stated that there is not enough information at this time for them to make a decision. She understands that there will be more information in the future, but they will not have the opportunity to look at this application again and is concerned about missing information.

Mr. Stuart Tiekert of Beach Avenue appeared. He doesn't have a position on this application but wanted to comment on storm water and tree removal. Locust trees are native trees and colonize which is good for stabilizing banks. Regarding storm water, it appears that this project has been around for seven years and was never reviewed by an engineer before Mr. Greechan recently did. Their storm water plan states that it meets the requirements of a SWPPP. It states that deep hole tests were done at seven feet, but actually done at five feet. He reviewed the test results. Mr. Hoeger's memo talks about the best management practices and there is no mention of plans for cultecs and infiltration systems. The idea being put forth that SWPPP doesn't have to be done and tests completed until applications go for a building permit needs to be looked at. This is a problem if applications are coming to this Commission without the necessary storm water information. It puts this Commission in an awkward position.

Ms. Gray appeared again and stated that the final plans are not done, as they are not seeking a building permit at this time. Mr. Greechan stated that is correct, those things come later on in the process. Mr. Glattstein feels that one would know generally where cultecs would be installed given the configuration of the lots and building envelopes. The Commission then discussed the building envelope and how this could possibly change to accommodate for storm water management, but again, this will not be known until later in the process. Ms. Goldstein is concerned that the installation of a storm water management facility on lot 3 may require the removal of additional trees, beyond required tree removal within the building envelope.

The Commission discussed the wetlands buffer encroachment condition on lot 2 which is viewed as unlawful and Building Inspector Gray's memo to the Commission characterizing this encroachment into the wetlands buffer as a preexisting condition. Mr. Glattstein requested that counsel address the issue of the encroachment. Ms. Georgiou read the portion of the draft resolution that addresses this issue, as follows: "although the existing home on Lot 2 was constructed without the required wetlands permit approval, the Commission has been advised by counsel that requiring the Applicants to obtain the required wetlands permit many years after the Village issued a Certificate of Occupancy for the home would likely exceed the Commission's consistency jurisdiction and not be enforceable, and further, it

would be unreasonable to impose constraints on the portion of Lot 2 outside of the regulated wetlands buffer area to address this issue.”

The Commission then reviewed the remainder of the draft resolution including a review of the LWRP policies that were of greatest concern. Conditions A through N of the resolution were also reviewed. Ms. Gray asked if the wall on lot 2 in the wetlands adjacent area became in disrepair, would the Commission allow for repair or replacement in kind. Ms. Roney stated that the DEC would not allow this, so they could not allow. Mr. Hoeger reminded the Commission that this wall, although built illegally, serves a purpose. It prevents sediment from going into the wetlands. He believes that this decision should be made if and when this happens. Ms. Goldstein feels that she does not have the data to confirm the legitimacy of Mr. Hoeger’s statement and there is no evidence in the record to substantiate this. Mr. Glattstein suggested revising the language to state that this could be reviewed if and when it occurred; that a wetlands permit could be applied for if the wall needs repair. It was noted that the flood zone needs to be revised to reflect “AE”. The Commission was polled regarding the applicant having the ability to apply for a wetlands permit if and when the wall fails or is destroyed. The majority of the Commissioners agreed to change the language to allow for the application for a wetlands permit only for the wall if it needs repair or replacement. Ms. Evans noted that it has been determined that this property is in the Harbor Island watershed, not the Beaver Swamp Brook watershed and there are no subdivision regulations in the Harbor Island watershed. Condition “m” regarding an updated tree survey with a tree removal and replacement plan will address those trees with trunks that are eight inches in diameter (dbh) or greater instead of “in excess of”.

There were two additional housekeeping items that need to be added to the conditions; that Mr. Greechan expanded on. The first is that the locations of the perc tests need to be shown on the plans and the second is the correction of the calculation of storm water. Ms. Goldstein stated that the off-site runoff should be included in the storm water management plan if it affects the property. Survey data is needed.

The Commissioners reviewed two potential determinations (consistent or inconsistent) and they were straw-polled regarding their consideration of the application; it then appeared that there would not be four votes in favor of a determination. Ms. Georgiou suggested that if there were an insufficient number of votes, the Commission might hold this over to the next meeting for a formal vote as two members of the Commission are absent. Ms. Gray appeared again and stated that they would prefer to wait for the full complement of the Commission and hopes that if it is delayed, the Commission could meet either in August or earlier in September. Ms. Gray also believes that waiting a month or two rather than commencing an Article 78 proceeding would be in the best interest of all parties. The Commission agreed to hold this over. Ms. Goldstein stated that she would poll the members regarding a meeting

date in August. The Commission asked that any additional information requested as well as noted corrections made be sent to them before the next meeting.

C. WEST BASIN PUMP STATION: DISCUSSION

Proposed upgrades and construction by Westchester County Department of Environmental Facilities

Ms. Goldstein stated that no additional information has been received. She suggested asking the Village Manager and Village Engineer to attend their next meeting to give them an update. The Commission agreed.

3. NEW BUSINESS

A. PROPOSED LOCAL LAW REFERRAL- Board of Trustee Referral of PLL's K, M, N & P 2017

Ms. Goldstein noted that these would not be discussed, as they have not yet been formally referred to the Commission.

4. APPROVAL OF MINUTES-None

5. ADJOURN

Motion by Ms. Roney; seconded by Mr. Glattstein and carried by the Commission the meeting was adjourned.

Ayes:	Ms. Goldstein, Mr. Glattstein, Ms. Roney, Mr. Carr, Ms. Michels
Nays:	None
Abstain:	None
Absent:	Mr. LaFollette, Ms. Bienstock Cohen

Respectfully submitted,

Betty-Ann Sherer

Betty-Ann Sherer