

GENERAL NOTES

1. THE GENERAL CONDITIONS OF THE CONTRACT FOR THE CONSTRUCTION OF BUILDINGS, STANDARD FORM OF THE AIA, 1987 EDITION, ARTICLES 1 THROUGH 14 INCLUSIVE, PLUS SUBSEQUENT AMENDMENTS, ARE MADE A PART OF THIS SPECIFICATION TO THE SAME EXTENT AS IF HEREIN WRITTEN OUT IN FULL. UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS STRICTLY PROHIBITED. THESE DOCUMENTS REMAIN THE EXCLUSIVE PROPERTY OF THE ARCHITECT, AND MAY NOT BE USED FOR ANY PURPOSE WHATSOEVER WITHOUT WRITTEN CONSENT OF THE ARCHITECT.
2. CONTRACTORS SHALL VISIT THE SITE AND BE RESPONSIBLE FOR HAVING RECORDED ALL CONDITIONS WITHIN THE SCOPE OF THE PROJECTS. NO CLAIMS FOR EXTRA COMPENSATION, BASED ON IGNORANCE OF VISIBLE OR IMPLIED EXISTING CONDITIONS WILL BE CONSIDERED.
3. ALL WORK IS TO CONFORM TO ALL APPLICABLE REQUIREMENT OF LOCAL GOVERNING CODES, STATE CONSTRUCTION AND ENERGY CONSERVATION CODES, HEALTH CODE, FIRE DEPARTMENT REGULATIONS, NBFU AND UTILITY CODES, FHA FRAMING STANDARDS, OSHA CODES, AND BEST TRADE PRACTICES
4. ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THE DRAWINGS MUST BE VERIFIED AT THE SITE BY THE CONTRACTOR BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK. ANY DISCREPANCIES OR ERRORS IN THE PLANS SPECIFICATIONS, AND/OR DETAILS MUST BE REPORTED TO THE ARCHITECT AT ONCE. NO CHANGE IN PLANS, DETAILS OR DIMENSIONS IS PERMISSIBLE WITHOUT THE CONSENT OF THE ARCHITECT. SHOULD THE CONTRACTOR FAIL TO NOTIFY THE ARCHITECT WITHIN A REASONABLE TIME, HE SHALL BE RESPONSIBLE FOR THE COST OF RECTIFYING SUCH ERRORS.
5. THE ARCHITECT HAS INDICATED AND ESTIMATED CERTAIN CONDITIONS, EITHER NOT SHOWN OR NOT CONSIDERED RELIABLE ON OLDER DRAWINGS FURNISHED TO ARCHITECT BY OWNER, OR NOT MEASURABLE DUE TO TOTAL ABSENCE OF ANY DRAWINGS, OR TOO INACCESSIBLE TO VERIFY IN THE FIELD PRIOR TO PREPARING DRAWINGS. THE ARCHITECT THEREFORE TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THESE ESTIMATED CONDITIONS, HAS SHOWN WORK REQUIREMENTS ON THE DRAWINGS FOR BIDDING SCOPE ONLY AND WILL FURNISH MORE DETAILED INFORMATION LATER WHEN AREAS ARE ACTUALLY ACCESSIBLE AND MEASURABLE, BY THE CONTRACTORS. ANY WORK THAT MUST BE DONE ADDITIONALLY IN AREAS WHERE INFORMATION OR INDICATIONS ON DRAWINGS ARE FOUND TO DIFFER FROM ACTUAL FIELD CONDITIONS WHERE WORK IS LAID OUT, SHALL BE BILLED TO THE OWNER AS AN EXTRA CHARGE, SUBJECT TO THE ARCHITECT'S APPROVAL OF AN ITEMIZED COST BREAKDOWN.
6. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER AND ACCEPTABLE CONSTRUCTION, INSTALLATION, OR OPERATION OF ANY PART OF THE WORK, AS DETERMINED BY THE ARCHITECT, SHALL BE INCLUDED THE WORK THE SAME AS IF HEREIN SPECIFIED OR INDICATED.
7. CONTRACTORS ARE TO FILE INSURANCE CERTIFICATED AND OBTAIN AND PAY FOR ALL PERMITS, SCHEDULE ALL REQUIRED INSPECTIONS WITH NOTIFICATION TO INSPECTORS AND ARCHITECT, OBTAIN ALL CODE APPROVALS AND NBFU CERTIFICATE, AND FILE FOR AND OBTAIN CERTIFICATE OF OCCUPANCY. NO WORK TO START PRIOR TO OBTAINING PERMITS
8. CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES AND WORKING HOURS WITH LOCAL AUTHORITIES, NEIGHBORHOOD ASSOCIATIONS, AND ANY OTHER GOVERNING AUTHORITY.
9. DUE TO THE INACCESSIBILITY OF CERTAIN FRAMING AND CONSTRUCTION CONDITIONS, THE ARCHITECT HAS INDICATED ASSUMED STRUCTURAL RELATIONSHIPS. THE CONTRACTOR WILL BE EXPECTED TO PERFORM THE NECESSARY WORK TO COMPLETE THE INDICATED DETAILS. OPTION, IN THE SOLE OPINION OF THE ARCHITECT, UNCOVERED CONDITIONS ARE NORMAL OR REASONABLY STANDARD. WHERE CONDITIONS WHEN UNCOVERED ARE NOT AS ANTICIPATED OR NOT CONSIDERED NORMAL BY ARCHITECT, THE CONTRACTOR WILL BE ENTITLED TO AN EXTRA SUM OF MONEY COMMENSURATE WITH THE WORK ENTAILED AFTER SUBMISSION OF A DETAILED BREAKDOWN OF COSTS AND APPROVAL BY THE ARCHITECT
10. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION WITH UNION OFFICIALS, AND SHALL SEE THAT ALL TRADES COMPLY WITH ALL EQUAL OPPORTUNITY STANDARDS. THE OWNER/CLIENT RESERVES THE RIGHT TO USE MINOR NON-UNION CONTRACTORS WITHOUT PREJUDICE TO THE WORK OF OTHERS, AND WILL EXPECT THE CONTRACTOR TO COOPERATE AS NEEDED.
11. ALL INDICATED SURVEY MATERIAL IS FOR GENERAL REFERENCE ONLY. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ACCURACY OR CORRECTNESS OF ANY OF THE INDICATED MATERIAL.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING AND NEW CONDITIONS AND MATERIALS WITHIN AND ADJACENT TO THE CONSTRUCTION AREA. ANY DAMAGE CAUSED BY THE EXECUTION OF THE WORK INDICATED OR IMPLIED HEREIN SHALL BE REPAIRED OR REPLACED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S SOLE EXPENSE.
13. CONTRACTOR SHALL KEEP WORK SITE FREE FROM DEBRIS AND ACCUMULATED REFUSE, AND SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS FROM ENTRY BY UNAUTHORIZED PARTIES.
14. DRAWINGS MAY BE ROUGH SCALED FOR ESTIMATING AND GENERAL PURPOSED, BUT ARE NOT TO BE SCALED FOR CONSTRUCTION LOCATIONS, DIMENSION, OR ANY OTHER PURPOSES. CONSULT WITH ARCHITECT FOR FINAL SIZES, DIMENSIONS, AND LOCATIONS
15. CONTRACTOR SHALL LAY OUT HIS WORK AND BE RESPONSIBLE FOR ITS CORRECTNESS AND SAFETY, AND SHALL GIVE NECESSARY DIMENSION TO ALL PARTIES.
16. BY STARTING ANY WORK, CONTRACTOR SIGNIFIES ACCEPTANCE OF THE PREVIOUSLY INSTALLED BACK-UP MATERIALS AND FRAMING, AND WAIVES ANY RIGHT TO BLAME PRIOR WORK FOR ANY DEFECTS IN HIS OWN WORK.
17. ALL PATCHING SHALL BE DONE IN NEW MATCHING, OR APPROVED SALVAGED MATERIALS, FINISH TO MATCH NEAREST BREAK IN PLANE OR DIRECTION. STORE UNUSED SALVAGED MATERIAL WHERE REQUESTED BY OWNER/CLIENT. ALL SALVAGED MATERIALS ARE THE PROPERTY OF THE OWNER/CLIENT.
18. CONTRACTOR TO ORDER SPECIFIC MATERIALS INDICATED HEREIN IMMEDIATELY AFTER BEING AUTHORIZED TO PROCEED. NO SUBSTITUTIONS PERMITTED WITHOUT APPROVAL OF ARCHITECT, AND CONTRACTOR WILL BE HELD LIABLE FOR DELAYS CAUSED BY CONTRACTOR'S FAILURE TO ORDER MATERIALS PROMPTLY.
19. CONTRACTOR SHALL HAVE LICENSED PROFESSIONAL ENGINEER DESIGN AND SHALL INSTALL ADEQUATE AND CODE APPROVED SHORING AND BRACING WHERE NEEDED TO SAFELY COMPLETE STRUCTURAL WORK. CONTRACTOR TO ASSUME FULL AND SOLE RESPONSIBILITY FOR SAFELY COMPLETE STRUCTURAL WORK. CONTRACTOR TO ASSUME FULL AND SOLE RESPONSIBILITY FOR STRUCTURAL ADEQUACY OF THE SHORING, AND FOR ANY INJURIES, DAMAGE, CRACKS, OR DEFECTS CAUSED BY SHORING OR BRACING, AND SHALL REPAIR ALL SUCH DAMAGE AT HIS SOLE EXPENSE.
20. ALL WORK SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL PAYMENT. GENERAL CONTRACTOR TO FURNISH WRITTEN GUARANTEE ON HIS WORK AND ALL SUBCONTRACTOR WORK, AGAINST DEFECTS RESULTING FROM THE USE OF INFERIOR MATERIALS, EQUIPMENT, OR WORKMANSHIP, AS DETERMINED SOLELY BY THE ARCHITECT. ALL SUCH DEFECTS ARE TO BE REPLACED OR REPAIRED, COMPLETE WITH LABOR AND MATERIALS, AT COST TO THE OWNER.
21. SUBSTITUTIONS OF EQUIPMENT OR MATERIALS OTHER THAN THOSE SHOWN ON THE DRAWINGS OR IN THE SPECIFICATIONS SHALL BE MADE ONLY UPON APPROVAL OF THE ARCHITECT OR OWNER AS NOTED ON THE DRAWINGS OR THE THESE SPECIFICATIONS. THE CONTRACTOR SHALL SUBMIT HIS SUBSTITUTION FOR APPROVAL BEFORE RELEASING ANY ORDER FOR FABRICATION AND/OR SHIPMENT. THE ARCHITECT RESERVES THE RIGHT TO DISAPPROVE SUCH SUBSTITUTION, PROVIDED IN HIS SOLE OPINION, THE ITEM OFFERED IS NOT THE EQUAL OF THE ITEM SPECIFIED. WHERE A CONTRACTOR PROPOSES TO USE AN ITEM OTHER THAT THAT SPECIFIED OR DETAILED ON THE DRAWINGS, WHICH REQUIRED ANY REDESIGN OF THE STRUCTURE, PARTITIONS, PIPING, WIRING, OR OF ANY OTHER PART OF THE MECHANICAL, ELECTRICAL OR ARCHITECTURAL LAYOUT, ALL SUCH REDESIGN, AND ALL NEW DRAWINGS AND DETAILING REQUIRED THEREFORE SHALL, WITH THE APPROVAL OF THE ARCHITECT, BE PREPARED BY THE CONTRACTOR AT HIS OWN EXPENSE.
22. ALL WORK SHALL BE INSTALLED SO THAT ALL PARTS REQUIRED ARE READILY ACCESSIBLE FOR INSPECTION, OPERATIONS, MAINTENANCE AND REPAIR. MINOR DEVIATIONS FROM THE DRAWINGS MAY BE MADE TO ACCOMPLISH THIS. CHANGES OF MAGNITUDE SHALL NOT BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT
23. UPON COMPLETION OF THE WORK, THE ENTIRE PROJECT IS TO BE COMPLETELY CLEANED AND THE SITE RESTORED TO EXISTING CONDITION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

(A) COMPLETE SWEEPING OF ALL AREA, AND REMOVAL OF ALL RUBBISH AND DEBRIS, EXCEPT THAT CAUSED BY OWNER OR OTHERS DOING N.I.C. WORK. ALL WET MOPPING NOT IN THIS CONTRACT.

(B) REMOVAL OF ALL TEMPORARY ENCLOSURES AND BARRICADES, ALL TEMPORARY OFFICES, TELEPHONE, SANITARY FACILITIES, ETC.

(C) REMOVAL OF ALL LABELS FROM GLASS, FIXTURES, AND EQUIPMENT, ETC, AND SPRAY CLEANING OF ALL GLASS/MIRRORS.

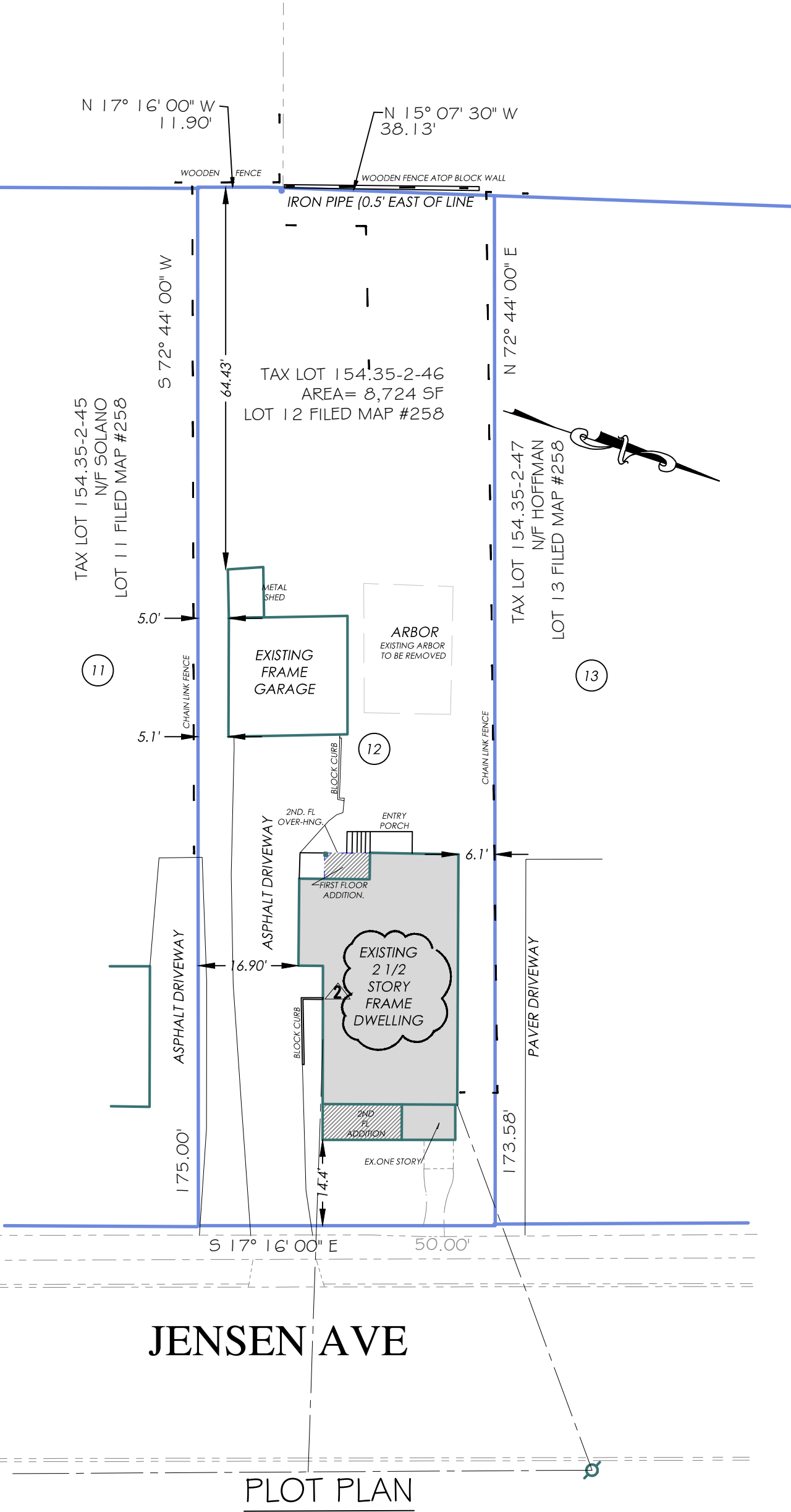
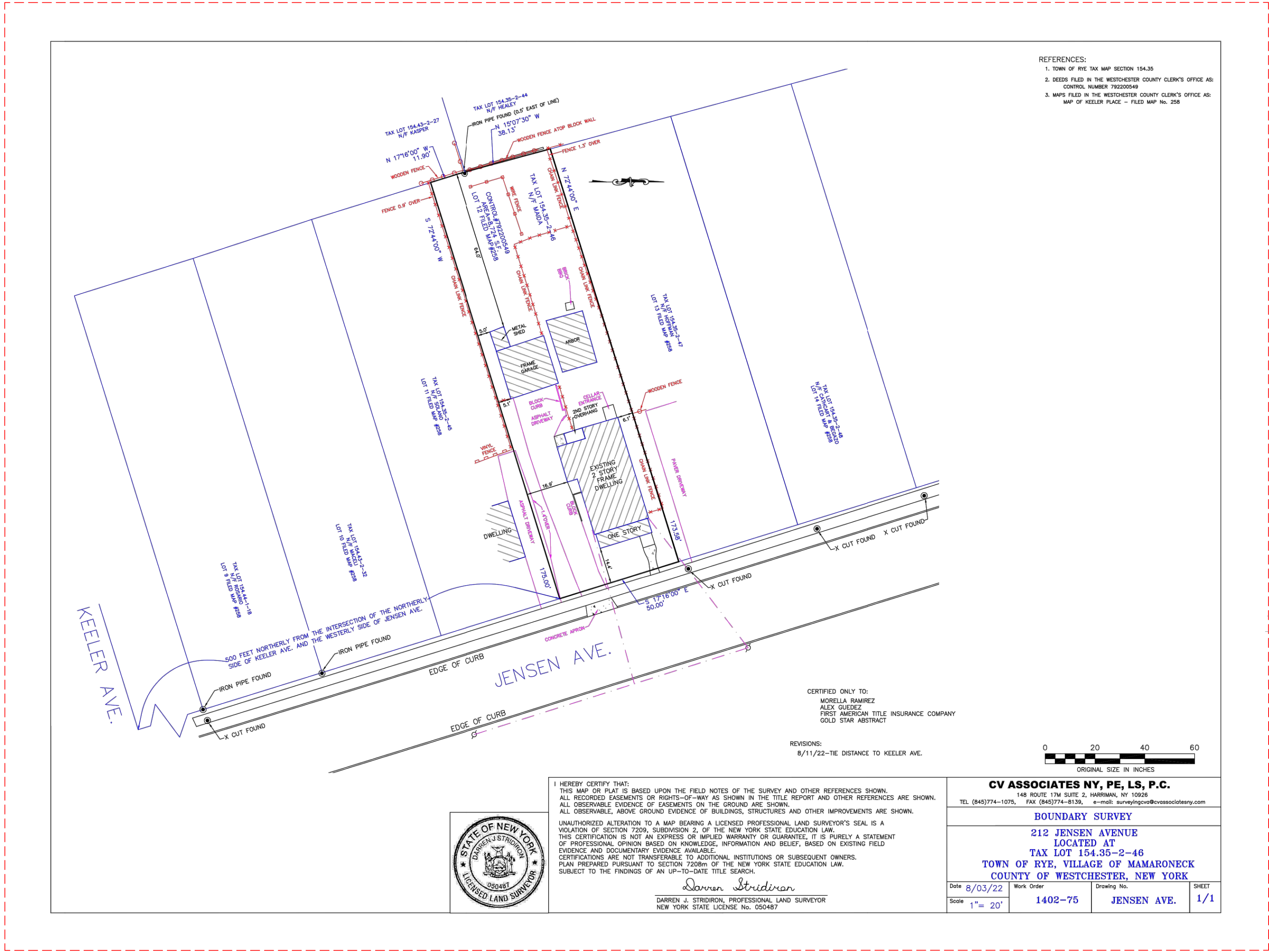
(D) REMOVAL OF STAINS, AN PAINT FROM GLASS, HARDWARE, FINISHED FLOORING, CABINETS, ETC.

(E) FINAL CLEANING OF ALL CHROME AND ALUMINUM METAL WORK.

(F) RESTORATION OF PROPERTY BY RETURNING SHIRUBS TO ORIGINAL LOCATIONS.

(G) REPLACEMENT OF FURNITURE AND FURNISHINGS TO ORIGINAL LOCATIONS.
24. CONTRACTOR SHALL ERECT BARRIERS AND CONDUCT HIS OPERATIONS IN SUCH A MANNER AS TO PREVENT DUST AND DEBRIS FROM ENTERING ADJACENT SPACES OR ADJOINING PROPERTY.
25. ALL NEW WORK TO FULLY COMPLY WITH A.D.A. REQUIREMENTS.

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INFORMATION TAKEN FROM BOUNDARY SURVEY PREPARED BY CV ASSOCIATES NY, PE,LS,P.C. DATED 8/03/22, REVISED 8/11/22. ARCHITECT ASSUMES NO RESPONSIBILITY FOR IT'S ADEQUACY OR CORRECTNESS

VILLAGE OF MAMARONECK ZONING												
DISTRICT	MINIMUM LOT AREA	MINIMUM LOT WIDTH AND FRONTAGE	MINIMUM LOT DEPTH	MINIMUM HABITABLE FLOOR AREA	STORIES	FEET	FRONT	LESSER SIDE	2 SIDES COMBINE D	REAR	MAXIMUM COVERAGE ALL BUILDINGS (AS PERCENTAGE OF LOT AREA)	OTHER REQUIREMENTS
R-S ONE FAMILY	5000	50	100	1400	2 1/2	35	20	6	14	25	35%	NOTES: 4,6,11
	EXISTING 8724 SQ FT	50	175	1925	2 1/2	25.9'	14.4'	6.1'	23'	64'	22%	
	ACCESSORY GARAGE	-	-	-	-	15	82.4'	5'	30'	64'	SEE ABOVE	
PHASE II GARAGE	-	-	-	NO CHANGE	-	-	99.6'	5'	30'	64'	NO CHANGE	



6" DIAMETER  
PRE-ENGINEERED  
WOOD PLACKARD  
(in accordance with Title 19 NYCRR PART 1265)  
TO BE ATTACHED TO ELECTRIC METER  
BOX LOCATED AT THE EXTERIOR OF  
THE RESIDENCE

GROUND SNOW LOAD	WIND SPEED (mph)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARD
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY			
45 PSF	100/110	C	SEVERE	42"	MODERATE/HEAVY	MODERATE/HEAVY	7°F	YES	NFIP FIRM Maps (Sept. 9, 2007)

ENERGY CODE COMPLIANCE

To the best of my knowledge, the proposed additions and alterations are in compliance with the requirements of the Residential Code of the State of New York

ARCHITECT

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SYMBOLS LEGEND

EXISTING TO REMAIN	=====
EXISTING WALLS TO BE REMOVED	-----
NEW CONCRETE WALLS	=====
NEW FRAME WALLS	=====
FIBERGLASS INSULATION	=====
BEARING PARTITION	=====
WINDOW TYPE SEE WINDOW SCHEDULE	=====

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
AJ	ATTIC JOIST
BEW	BOTTOM EACH WAY
BM	BEAM
BW	BOTHWAYS
CT	COLLAR TIES
EX	EXISTING
EA	EACH
FTG	FOOTING
LVL	LAMINATED VENEER LUMBER
OC	ON CENTER
PLF	POUNDS PER LINEAR FOOT
PT	PRESSURE-TREATED LUMBER
RR	ROOF RAFTER
TYP	TYPICAL
W/	WITH
WWF	WELDED WIRE FABRIC



-----	9/12/22	CONSTRUCTION
2	12/8/22	REVISED
	4/17/23	ZBA REVISED
MARK	DATE	DESCRIPTION

PROJECT NO: 2208  
CAD DWG FILE: RAMIREZ

SHEET TITLE

TITLE SHEET

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SHEET





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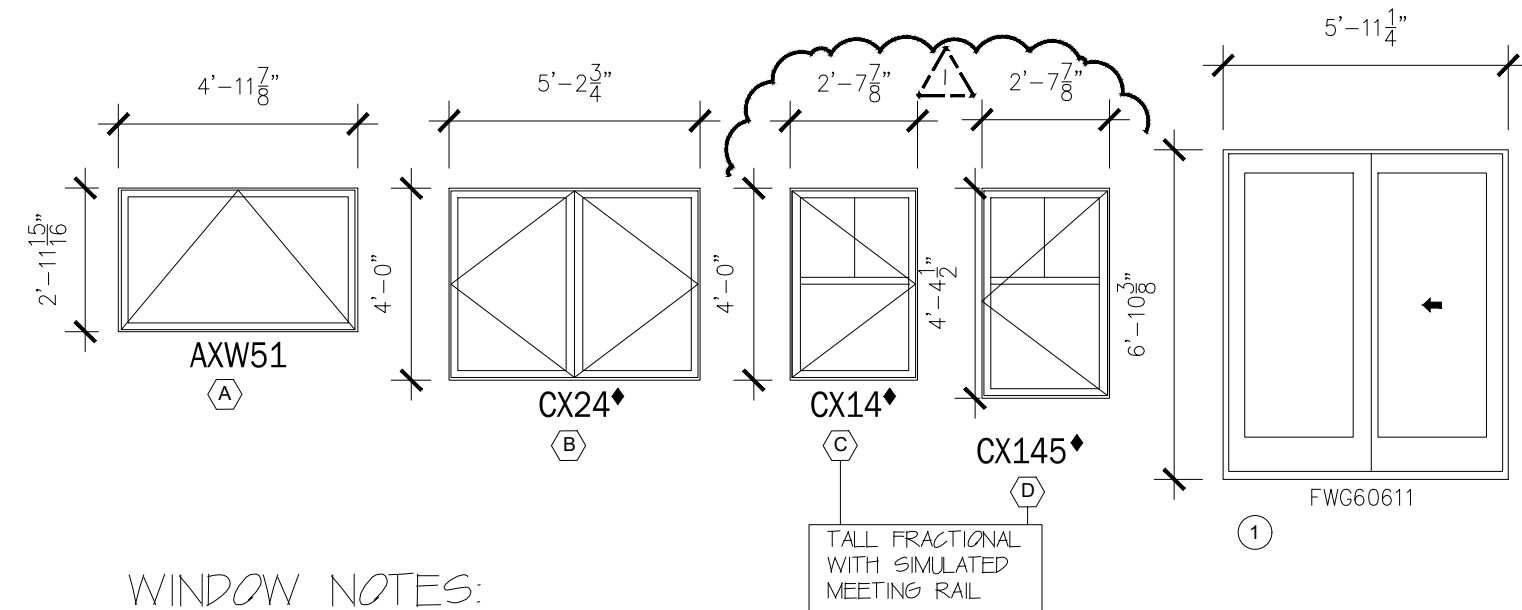


	9/12/22	CONSTRUCTION
1	12/6/22	REVISED
MARK	DATE	DESCRIPTION

PROJECT NO: **2208**  
CAD DWG FILE: **RAMIREZ**

SHEET TITLE  
**FLOOR PLANS**

SHEET **A-101**



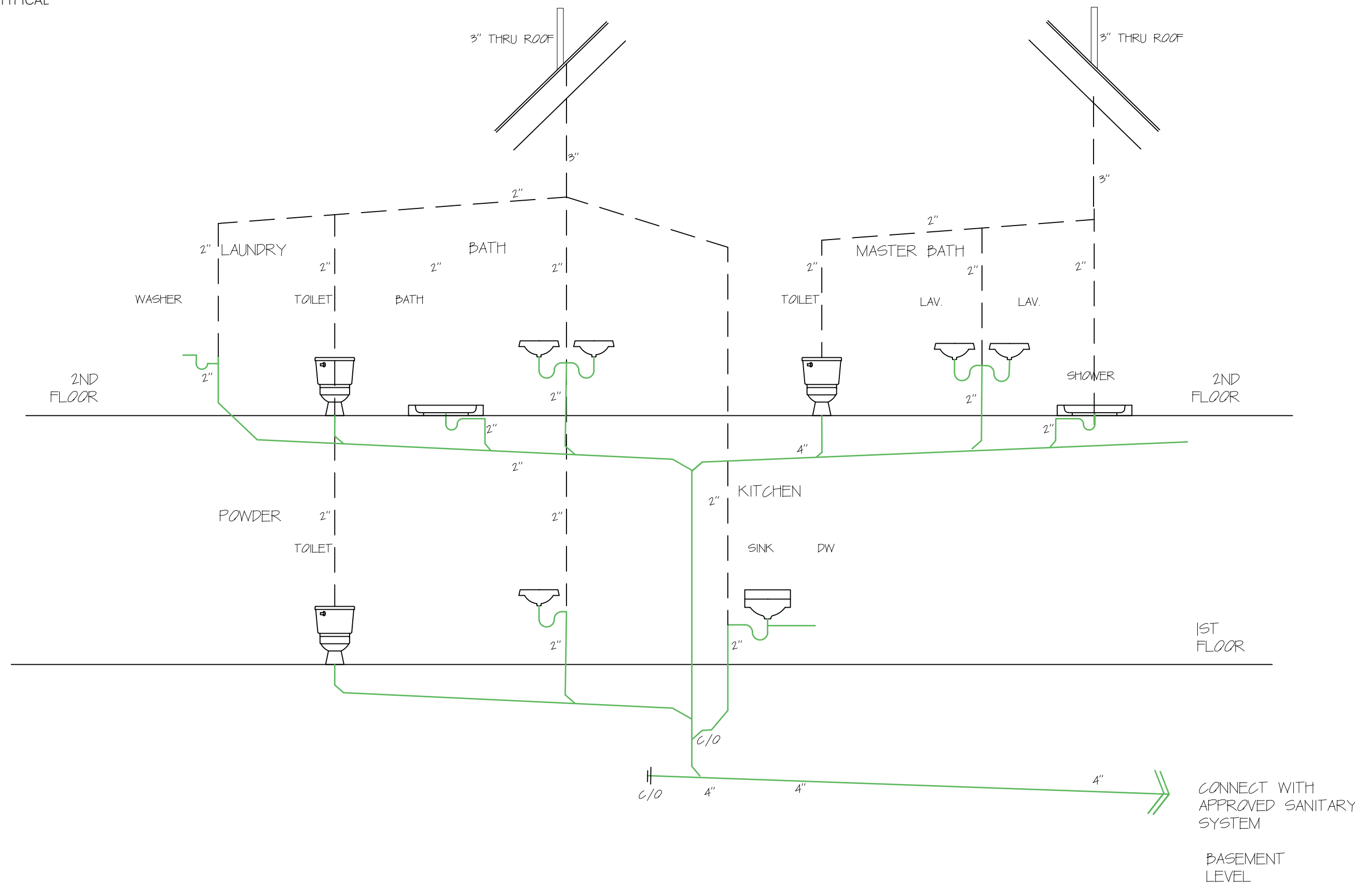
#### WINDOW NOTES:

- WINDOWS SHALL BE STOCK SIZE ANDERSEN, WITH WHITE SCREENS, DIMENSION SHOWN ARE UNIT DIMENSION (OUTSIDE OF FRAME TO FRAME DIMENSION)
- TEMPERED GLASS (1) AS INDICATED ON THE DRAWINGS
- WINDOWS ARE U 26 OR BETTER
- WINDOWS WILL BE DOUBLE GLAZED LOW E II, ARGON FILLED
- EXTERIOR FRAMES AND HARDWARE TO MATCH TRIM, COLOR WHITE
- PROVIDE 1/2 OZ COPPER HEAD AND PAN FLASHING AT ALL WINDOWS
- WINDOW SUPPLIER IS TO REPORT ANY DISCREPANCIES IN TYPES OR SIZES SHOWN HERE IN AND/OR ANY UNSPECIFIED VERTICAL/ HORIZONTAL DIMENSIONS TO THE ARCHITECT.
- EGRESS WINDOW DESIGNATION:

#### EXTERIOR DOOR NOTES:

- EXTERIOR DOORS SHALL BE ANDERSEN OR AS SHOWN ON THE DRAWINGS. ALL DOORS ARE IN-SWING UNLESS NOTED OTHERWISE. DOORS WILL BE DOUBLE GLAZED, LOW E II, ARGON FILLED.
- EXTERIOR FRAMES AND HARDWARE TO MATCH TRIM, COLOR WHITE
- DOOR WINDOW GLAZING TO HAVE A U FACTOR OF 31 OR BETTER. SOLID WOOD DOORS TO HAVE A U FACTOR OF 18 OR BETTER.
- PROVIDE 1/2 OZ COPPER HEAD AND PAN FLASHING AT NEW DOORS.
- ALL EXTERIOR DOORS TO HAVE TEMPERED GLASS.
- DOOR SUPPLIER IS TO REPORT ANY DISCREPANCIES IN TYPES OR SIZES SHOWN HERE IN AND/OR ANY UNSPECIFIED VERTICAL/ HORIZONTAL DIMENSIONS TO THE ARCHITECT.

DRYER VENT  
SMOOTH METAL DUCT 4" NOM. DIA.  
26 GAUGE STEEL INSTALL PER  
MANUFACTURERS INSTRUCTIONS  
PROVIDE FIREBLOCKING PER CODE  
AT PENETRATIONS TYPICAL

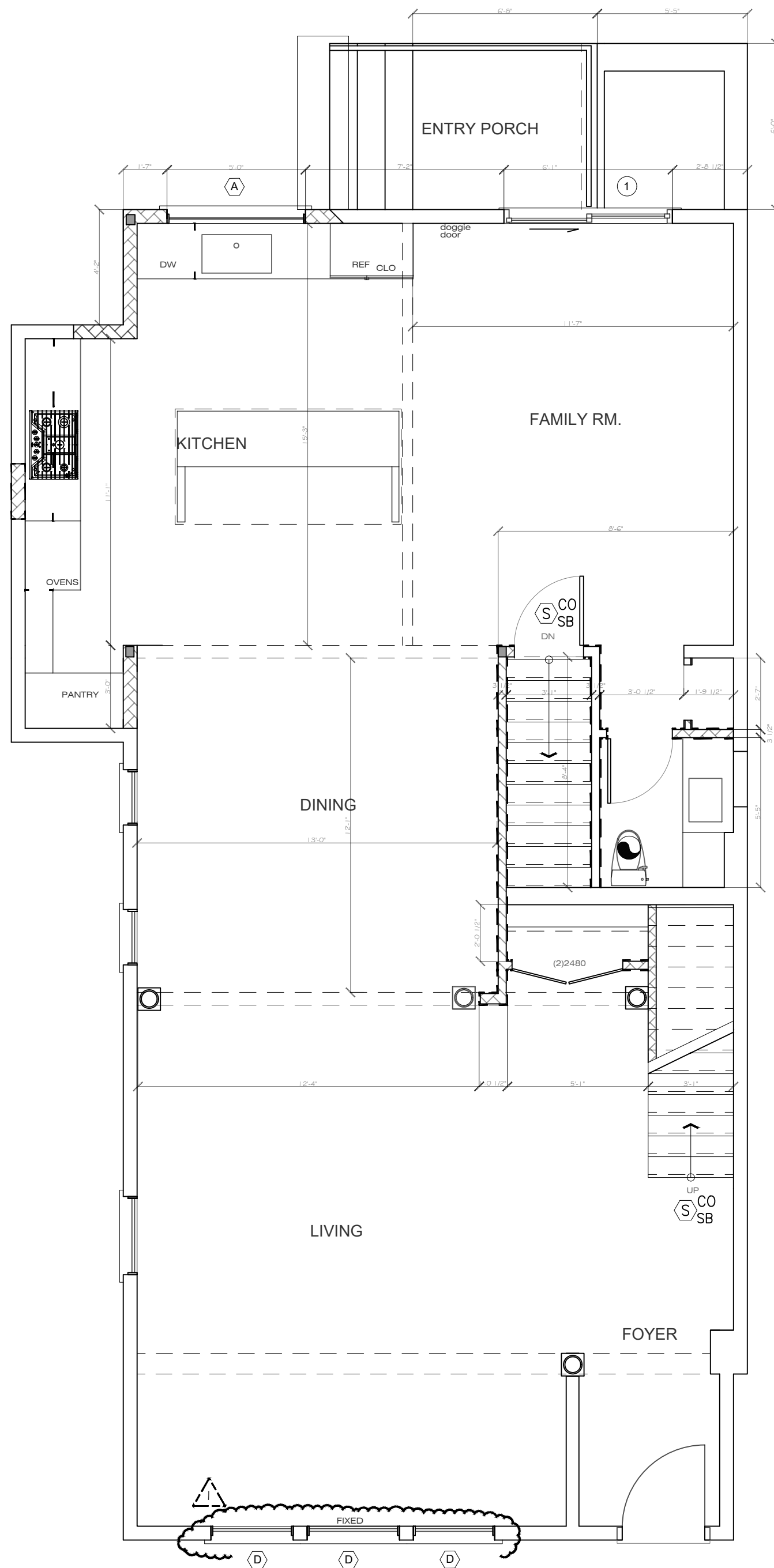


#### NOTES

FIXTURES SHOWN ABOVE IN SCHEMATIC ORDER. PLUMBING SUB TO SEE FLOOR PLANS  
AND APPROVED SEPTIC ENGINEERING PLANS FOR ALL WASTE LINE LAYOUTS.

IF THE PLUMBING SUB HAS A CONDITION THAT REQUIRES A NON CODE STRUCTURAL MODIFICATION  
HE SHALL REPORT THE CONDITION TO THE GC PRIOR TO MAKING ANY CUTS AND THE ISSUE WILL  
BE SOLVED WITH THE ARCHITECT. ANY NON CODE MODIFICATIONS THAT CAUSE BUILDING DEPARTMENT  
VIOLATIONS SHALL BE REPLACED AT THE PLUMBING SUBS COST AND EXPENSE.

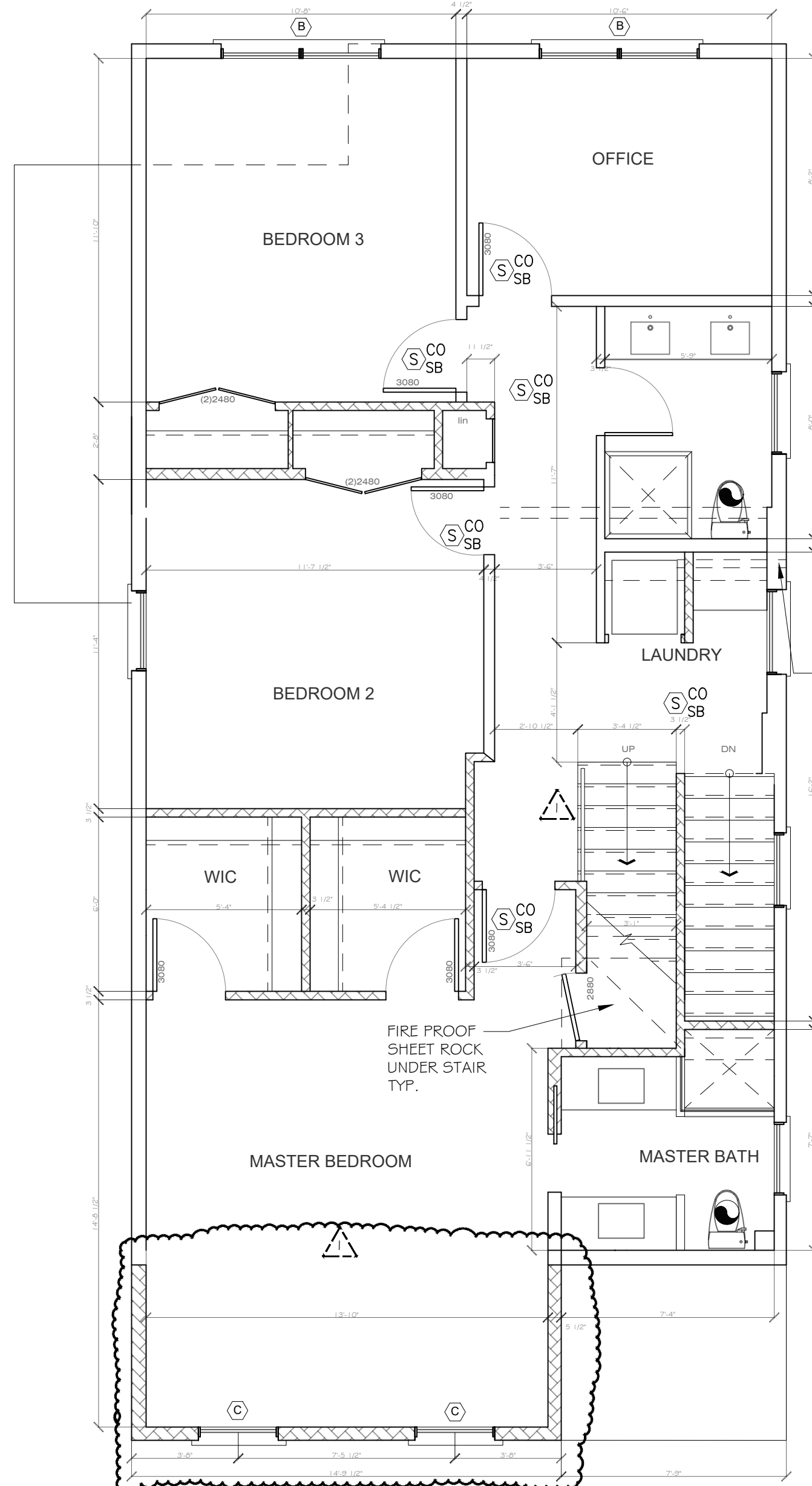
#### SD SANITARY DIAGRAM



#### 1 FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

- (S) CO SB CEILING MOUNTED LINE VOLTAGE (RESIDENTIAL TYPE) COMBINATION SMOKE/CARBON MONOXIDE DETECTOR WITH SOUNDER BASE
- (FAN) EXHAUST FAN VENT TO EXTERIOR 50 CFM MINIMUM, AS NOTED  
R303.3: BATHROOM VENTILATION IN COMPLIANCE W/ 2020 IRC



#### 2 SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

- (S) CO SB CEILING MOUNTED LINE VOLTAGE (RESIDENTIAL TYPE) COMBINATION SMOKE/CARBON MONOXIDE DETECTOR WITH SOUNDER BASE
- (FAN) EXHAUST FAN VENT TO EXTERIOR 50 CFM MINIMUM, AS NOTED  
R303.3: BATHROOM VENTILATION IN COMPLIANCE W/ 2020 IRC









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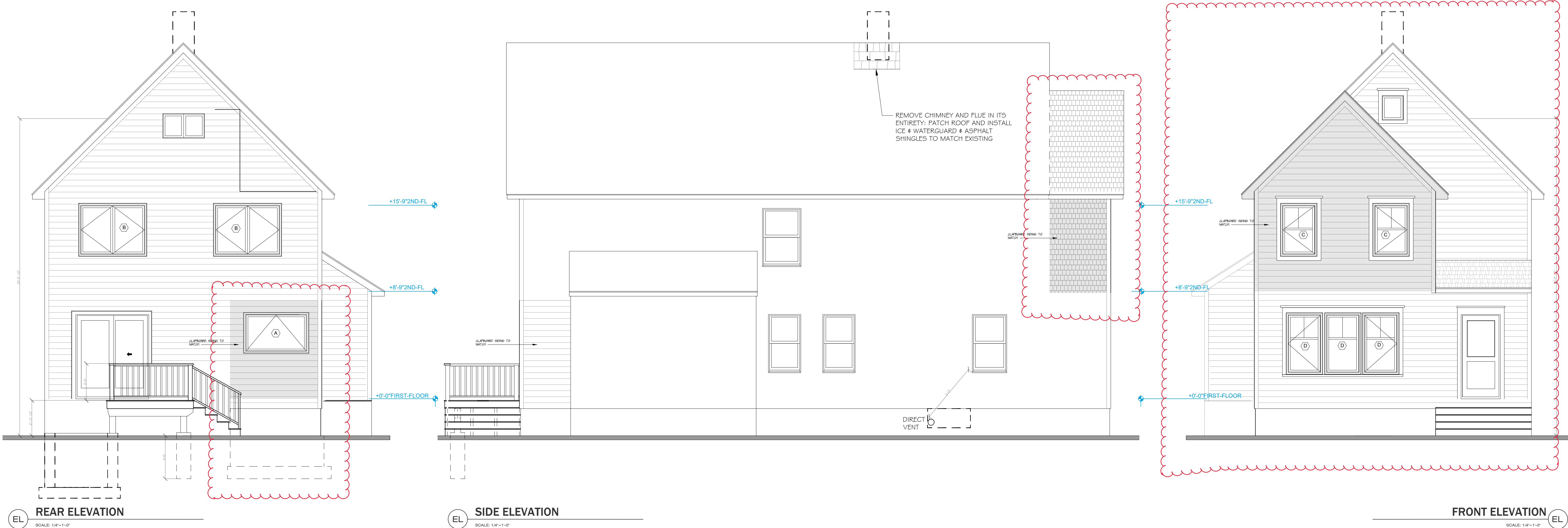
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12/6/22	REVISED
MARK	DATE DESCRIPTION

PROJECT NO:	2208
CAD DWG FILE:	RAMIREZ
SHEET TITLE	ELEVATIONS



#### GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2018 CONNECTICUT STATE BUILDING CODE.
- THE CONTRACTOR SHALL FIELD MEASURE AND VERIFY ALL EXISTING CONDITIONS. DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.
- ALL WORK SHALL COMPLY WITH THE RULES OF THE GOVERNING AGENCY HAVING JURISDICTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND BECOMING FAMILIAR WITH EXISTING CONDITIONS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING SAFE WORKING CONDITIONS AND OBSERVING ALL SAFETY PROTOCOLS OF THE GOVERNING AGENCY AND THE OWNER. WHERE CONFLICTS EXIST, THE MORE STRINGENT REQUIREMENTS SHALL APPLY. CARE SHALL BE EXERCISED TO AVOID ENDANGERING PERSONNEL OR THE STRUCTURE.
- FURNISH ALL SCAFFOLDING, HOISTING EQUIPMENT AND ANY OTHER EQUIPMENT THAT MAY BE REQUIRED TO PERFORM THE WORK IN A SAFE AND ORDERLY MANNER.

#### SITEWORK

#### CONCRETE

##### 1. QUALITY CONTROL, STANDARDS AND TOLERANCES

- FOLLOW THESE STANDARDS: PLACE CONCRETE ACCORDING TO ACI 301. REINFORCING TO COMPLY WITH ACI 301 AND RELATED ACI, CRSI, AND ASTM STANDARDS. FORMWORK TO COMPLY WITH ACI 301, 318, AND ACI 347. TOLERANCE STANDARDS FOR LEVEL, PLUMB, AND ALIGNED CONSTRUCTION SHALL BE AS PER ACI 117.

#### REINFORCING MATERIALS

- REINFORCING BARS: DEFORMED STEEL BARS, GRADE 60, TYPE S, TO COMPLY WITH ASTM A 615. PLAIN FINISH BARS MAY BE USED IN SPIRAL. FABRICATION TO COMPLY WITH CRSI RE-BAR DETAILING.
- WELDED WIRE REINFORCING: DEFORMED TO COMPLY WITH ASTM A 497. PLAIN TO COMPLY WITH ASTM A 185.

#### CONCRETE MIXTURE

- ALL MIXING AND TESTS TO ASSURE COMPLIANCE WITH STANDARDS AS PER ACI 301. PROVIDE CONCRETE READY-MIXED IN COMPLIANCE WITH ASTM C 94. CONCRETE STRENGTH WILL CONFORM TO ACI 301, 318, AND APPLICABLE BUILDING CODE REQUIREMENTS. COMPRESSIVE STRENGTH OF 3,000 PSI IN 7 DAY TEST. COMPRESSIVE STRENGTH OF 3,600 PSI IN 28 DAY TEST.

#### B. CONCRETE PROTECTION FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

- SLABS.....3/4"
- BEAMS.....1-1/2"
- COLUMNS/PIERS.....2"
- CONCRETE PLACED ON GROUND... 3"

#### STRUCTURAL STEEL FRAMING

- PROVIDE STRUCTURAL STEEL AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN.
- ALL WORK MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS, AISC SPECIFICATIONS FOR DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS AND THE AISC CODE OF STANDARD PRACTICE.
- STEEL PLATES, BARS, AND OTHER SHAPES SHALL BE AS PER ASTM A36. ANCHOR BOLTS AS PER ASTM A307. NUTS, BOLTS, WASHERS AS PER ASTM A325. UNFINISHED THREADED FASTENERS AS PER ASTM A307, GRADE A, REGULAR. ARC WELDING ELECTRODES AS PER AWS CODE AND ASTM A233, AS REQUIRED FOR INTENDED USE.
- PRIMER: SSPC 15, TYPE I, RED OXIDE.

#### WALL ASSEMBLY

- HARDIE PLANK CLAPBOARD 6" EXPOSURE.
- 2x6 WALL STUDS @ 16" O.C. 1/2" PLY WOOD SHEATHING.
- INSULATION WILL BE "NU-WOOL" OR APPROVED EQUAL, R21 SPRAY-IN-PLACE CELLULOSE, INSTALLED AS PER MANUFACTURERS SPECIFICATIONS

#### FLOOR ASSEMBLY

- 2x8 @ 16" O.C. AND AS NOTED ON THE PLANS.
- INSULATION FROM UNDERSIDE @ ADDITION WILL BE "NU-WOOL" OR APPROVED EQUAL, R30 (6 INCH) SPRAY-IN-PLACE CELLULOSE, INSTALLED AS PER MANUFACTURERS SPECIFICATIONS

#### EXTERIOR TRIM AND FLASHING

- ALL EXTERIOR WINDOW AND DOOR TRIM WILL BE NOMINAL 3/4" x 4" STOCK, BORAL TRIM: OWNER TO SELECT COLOR, (NO FINGER JOINTED MATERIAL).
- PROVIDE WATER TIGHT 1/6 OZ COPPER PAN FLASHING AT ALL WINDOW SILLS, WINDOW & DOOR HEADS AND OVER STONE BANDING.

#### DOORS AND WINDOWS

##### SEE DOOR AND WINDOW SCHEDULES

#### INTERIOR DOORS

- INTERIOR DOORS WILL BE PRE-HUNG, 6 PANEL, SOLID CORE, MDF DOORS, C LABEL RATED DOOR AT INTERIOR OF GARAGE. SELF CLOSING HARDWARE.

#### INTERIOR TRIM

- ALL TRIM WILL BE NON-FINGER JOINTED, FREE FROM KNOTS, EXCESSIVE FLAT GRAIN OR OTHER VISIBLE DEFECTS.
- ALL INTERIOR TRIM TO MATCH EXISTING, PRIMED AND PAINTED WITH TWO COATS
- WINDOWS WILL HAVE PROJECTING SILLS AND APRONS.

#### DRYWALL/PAINT/FINISHING NOTES

- PROVIDE MOISTURE RESISTANT 1/2" GWB THROUGHOUT BATHROOMS, AND CEMENT BACKING BEHIND ALL PROPOSED TILE SURFACES.
- ALL NEW DRYWALL TO BE 1/2" GWB AND WILL BE PRIMED AND PAINTED (2) COATS INTERIOR FLAT LATEX, OWNER TO SELECT COLOR. PAINT WILL BE BENJAMIN MOORE.
- USE 3/8" DENSGLASS GYPSUM SHEATHING WITH PERM-A-BARRIER® LIQUID VAPOR BARRIER AT CARPORT CEILING.

- TRIMWORK WILL BE SANDED SMOOTH TO RECEIVE A PRIMER AND (2) COATS INTERIOR TRIM PAINT BY BENJAMIN MOORE, OWNER TO SELECT COLOR.

#### FLOORS

- PROVIDE GOOD QUALITY CLEAR FINISHED OAK STRIP FLOORING FOR ALL AREAS EXCEPT POWDER ROOMS, BATHROOMS, WHERE TILE WILL BE USED. ALL WOOD FLOORS SHALL BE SANDED SMOOTH TO RECEIVE A FIRST COAT OF 3/8" POLYURETHANE MIX. LIGHTLY SANDED AND FINISHED WITH (2) COATS OF FULL BODIED POLYURETHANE. SUBMIT SAMPLES FOR OWNER APPROVAL.

- SCHLUTER DITRA & DITRA-XL UNCOUPLING AND WATERPROOFING MEMBRANE SHALL BE USED AT ALL TILE, STONE FLOORING SURFACES.

#### FRAMING NOTES:

- FRAMING LUMBER SHALL BE EQUAL TO ANY OF THE FOLLOWING:  
HEM-FIR, NO. 2 GRADE, Fb=850 PSI, Fv=75PSI, E=1,300,000 PSI  
HEM-FIR, NORTH NO. 1/NO. 2 GRADE, Fb=1,000PSI, Fv=75PSI, E=1,600,000PSI  
S-P-F, NO. 1/NO. 2 GRADE, Fb=875PSI, Fv=70PSI, E=1,400,000 PSI  
DOUG FIR- LARCH, NO. 1/ No. 2 GRADE, Fb= 825, Fv 95, E= 1,600,000

- STUD FRAMING SHALL BE EQUAL TO ANY OF THE FOLLOWING:  
HEM-FIR, STUD GRADE, Fc=800 PSI, E=1,200,000 PSI  
S-P-F, STUD GRADE, Fc=675, E=1,200,000 PSI

- FLOOR SHEATHING SHALL BE 3/4" T&G PLY WOOD.

- EXTERIOR WALL SHEATHING SHALL BE 7/8" PLY WOOD SHEATHING.

- ALL FRAMING INDICATED LVL SHALL BE LAMINATED VENEER LUMBER AS MANUFACTURED BY TRUS-JOIST OR EQUAL, 800-628-3997. MINIMUM ALLOWABLE STRESS SHALL BE Fb=2600 PSI, E=1,900,000 PSI.

- JOISTS AND GIRDERS SHALL HAVE FULL 4" MIN. BEARING AT FOUNDATION WALLS.
- ALL BRIDGING SHALL BE 3/4x3 X BRIDGING AT 8'-0" CENTERS. FOR CONVENTIONAL FRAMING.
- USE SIMPSON STRONG TIE METAL FRAMING ACCESSORIES AS SPECIFIED. USE NAILING AS RECOMMENDED BY THE MANUFACTURER.
- TOE NAILING OF JOISTS TO FLUSH HEADERS IS NOT PERMITTED; USE 16GA STANDARD JOIST HANGERS WHERE JOISTS FRAMED TO SIDE OF HEADER.
- PROVIDE AC POST CAP & BASE AND PC FRAMING CLIPS AT POST BASE FOR ALL INTERIOR AND EXTERIOR GIRDER/HEADER SPANS GREATER THAN 5'-6" CLEAR SPAN.

- ALL SHEATHING SHALL BE NAILED WITH 5D NAILS, 6" CENTERS AT EDGE AND 10" CENTERS IN FIELD
- BUILT-UP GIRDERS AND HEADERS SHALL BE FASTENED TOGETHER AS FOLLOWS:  
A) FOR UP TO 3 PILES, USE 2 ROWS OF NAILS STAGGERED AT 12" CENTERS-USE 16D NAILS.  
B) FOR MORE THAN 3 PILES, USE 2 ROWS OF 1/2" DIA. THROUGH BOLTS @ 12" CENTERS.
- PROVIDE DOUBLE JOISTS UNDER ALL WALLS PARALLEL TO FRAMING.
- WHERE CEILING JOISTS ARE PERPENDICULAR TO RAFTERS AND WALLS PROVIDE METAL STRAP TIES FROM RAFTERS AND WALLS AT 4'-0" AND EXTEND TO ENGAGE NOT LESS THAN FOR CEILING JOISTS.

#### INSULATION

- AT AREAS OF THE WORK WHERE EXISTING EXTERIOR WALLS, CEILING/ATTIC, AND FLOOR ABOVE BASEMENT ARE EXPOSED, PROVIDE INSULATIONS AS FOLLOWS:  
ROOF/ATTIC LEVEL.....R 49  
WALLS.....R-13  
FIRST FLOOR OVER CRAWL SPACE.....R-13

#### WALL ASSEMBLY

- EXTERIOR WALL SIDING AND CORNER BOARDS TO MATCH AS PER THE ELEVATIONS
- 2x6 WALL STUDS @ 16" O.C. 1/2" PLY WOOD SHEATHING
- INSULATION WILL BE "NU-WOOL" OR APPROVED EQUAL, R21 OR SPRAY-IN-PLACE CELLULOSE, INSTALLED AS PER MANUFACTURERS SPECIFICATIONS

#### FLOOR ASSEMBLY

- EXISTING 2x8 @ 16" O.C. AND AS NOTED ON THE PLANS.
- INSULATION FROM BASEMENT WILL BE "NU-WOOL" OR APPROVED EQUAL, R30 SPRAY-IN-PLACE CELLULOSE, INSTALLED AS PER MANUFACTURERS SPECIFICATIONS

#### ATTIC FLOOR ASSEMBLY

- EXISTING 2x8 @ 16" O.C. AS NOTED ON THE PLANS.
- INSULATION TO BE "NU-WOOL" OR APPROVED EQUAL, R38 SPRAY-IN-PLACE CELLULOSE (R=6 INCH), INSTALLED AS PER MANUFACTURERS SPECIFICATIONS AT EFFECTED AREA.

#### HEATING & COOLING:

- ALL BATHROOM EXHAUST FANS WILL BE DIRECT VENTED TO THE OUTSIDE, WITH BACK DRAFT PROTECTED OUTDOOR WALL KITS. CFM RATING PER PLANS.
- HVAC CONTRACTOR WILL PROVIDE THE REQUIRED LOAD ENGINEERING, AND WILL BE RESPONSIBLE FOR PROPER COOLING CAPACITY, BALANCING AND OVERALL PERFORMANCE OF SYSTEM.
- HVAC WILL BE 1 -AIR HANDLER, 2 ZONE FORCED COOLING SYSTEM THROUGH-OUT THE FIRST & SECOND FLOOR LEVEL. (AIR HANDLER TO HAVE ZONE DAMPENERS) SYSTEM ZONE DESIGN AND DISTRIBUTION, AND REGISTER LOCATIONS WILL BE REVIEWED AND APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION. FLOOR GRILLS AT WOOD FLOORING TO BE WOOD, FINISHED TO MATCH FLOORING.
- ALL AIR HANDLERS TO BE INSTALLED IN GALV. DRIP PAN WITH FLOAT SWITCH/SHUT-OFF AT THE EXISTING ATTIC
- ALL CONDENSATE TO BE PIPED OR PUMPED TO APPROVED DRAIN OR GRADE.
- ALL REFRIGERANT LINES TO BE INSULATED.
- ALL ZONES TO BE CONTROLLED BY PROGRAMMABLE THERMOSTATS.
- PROVIDE DISPOSABLE HEPA FILTER IN ACCESSIBLE LOCATION, IN TRUNK OF EACH ZONE.
- CONDENSER UNITS TO BE MOUNTED ON PADS AT EXTERIOR. LOCATION TO BE APPROVED BY ARCHITECT.
- PROVIDE FRESH AIR TO BOILER ROOM. SEE PLANS.

- ALL DUCTWORK IS TO BE VACUUM CLEANED, POST CONSTRUCTION AS PART OF START UP.
- HEATING: GAS FIRED BOILER DIRECT VENT

#### ELECTRICAL SYSTEM NOTE:

- SEE ELECTRICAL PLANS.
- FIXTURES ARE TYPICALLY PLACED ON CENTERLINES OF ROOMS. FRAMER MUST ACCOMMODATE FIXTURE PLACEMENT.
- COORDINATE WITH ALARM, MUSIC, AND CABLE INSTALLERS.
- AS PART OF THE BID, PROVIDE SCHEDULE OF COSTS FOR INDIVIDUAL OUTLETS, SWITCHES, AND RECESSED HI-HAT FIXTURES IN CASE OF ADDITION OR SUBTRACTION OF SUCH FIXTURES. ELECTRICAL OUTLETS WILL BE MOUNTED AT 14" A.F.F. TO CENTERLINE, AND SWITCHES AT 42" A.F.F. TO CENTERLINE.
- PROVIDE NEW SERVICE. 200 AMP