

414 MAMARONECK AVENUE, MAMARONECK, NEW YORK - 10801

SECT : 9

BLOCK : 7

ZONE : C-2

LOT # 59

OWNER: BAGELS BY SOFIA

ZONING DATA

414 MAMARONECK AVENUE
MAMARONECK, NEW YORK - 10801

SECT : 9

BLOCK : 7

ZONE : C-2

LOT # 59

LEGEND

INTERIOR RENOVATION OF EXISTING STORE FOR RESTAURANT TAKE OUT

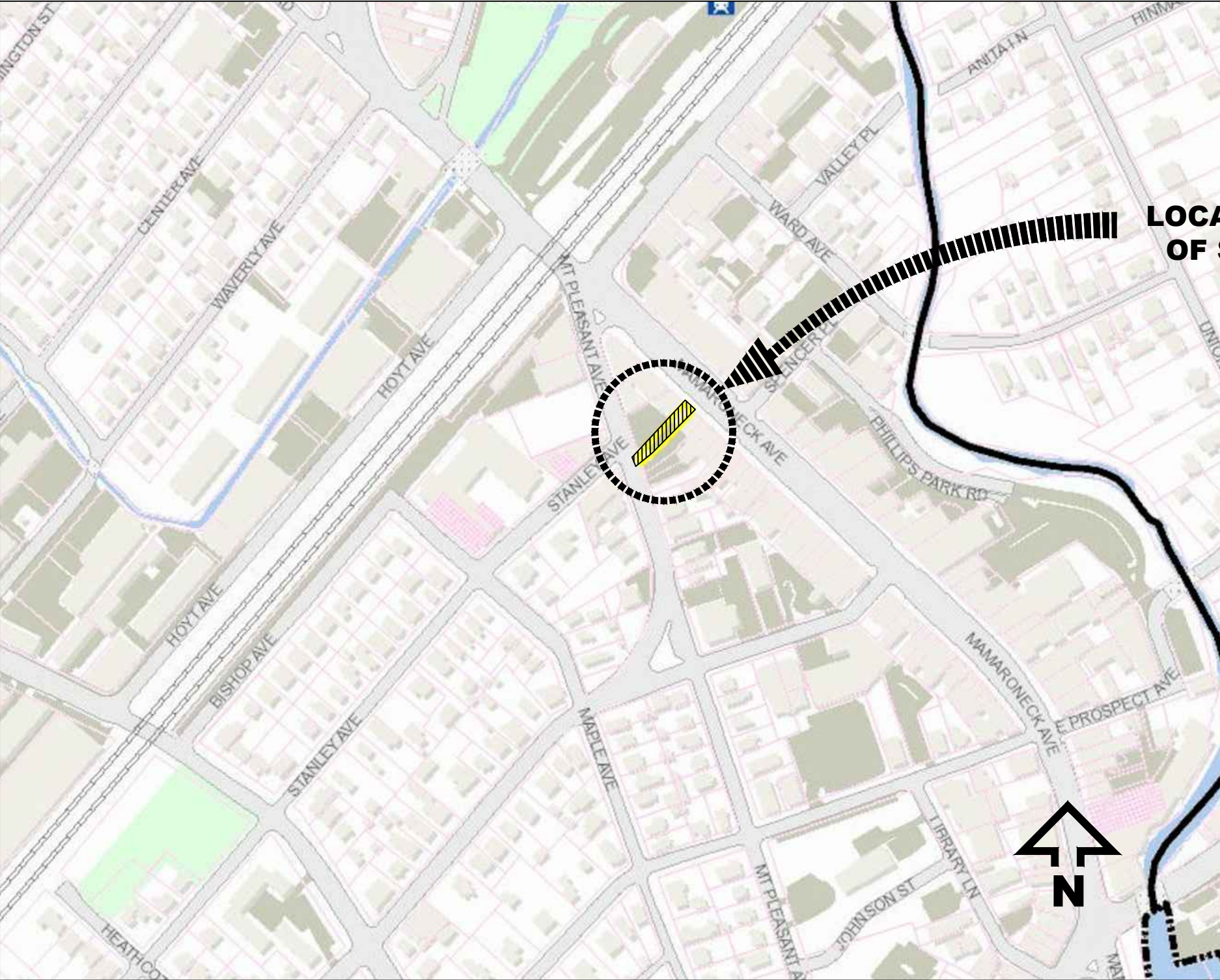
STREET VIEW - FRONT VIEW



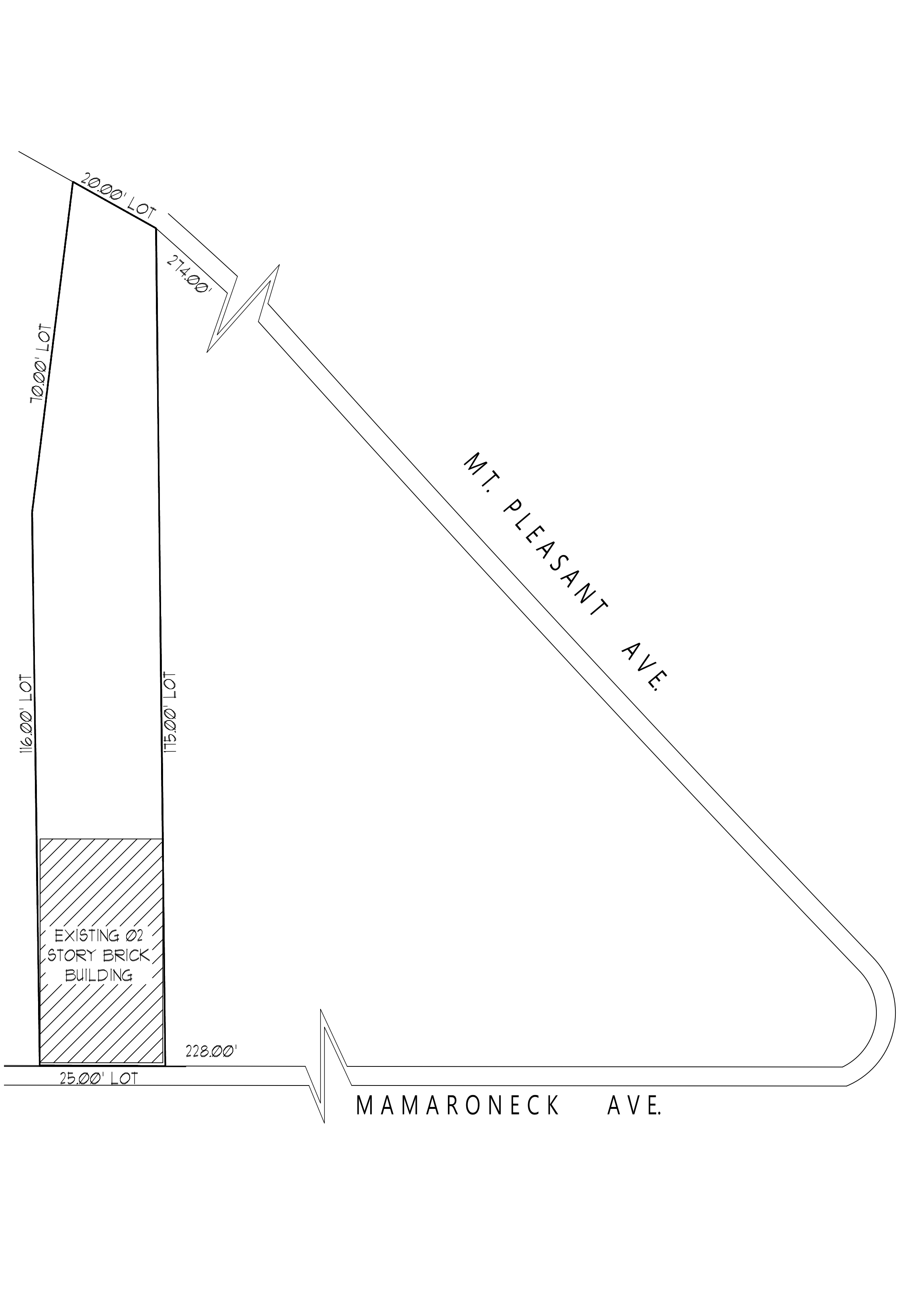
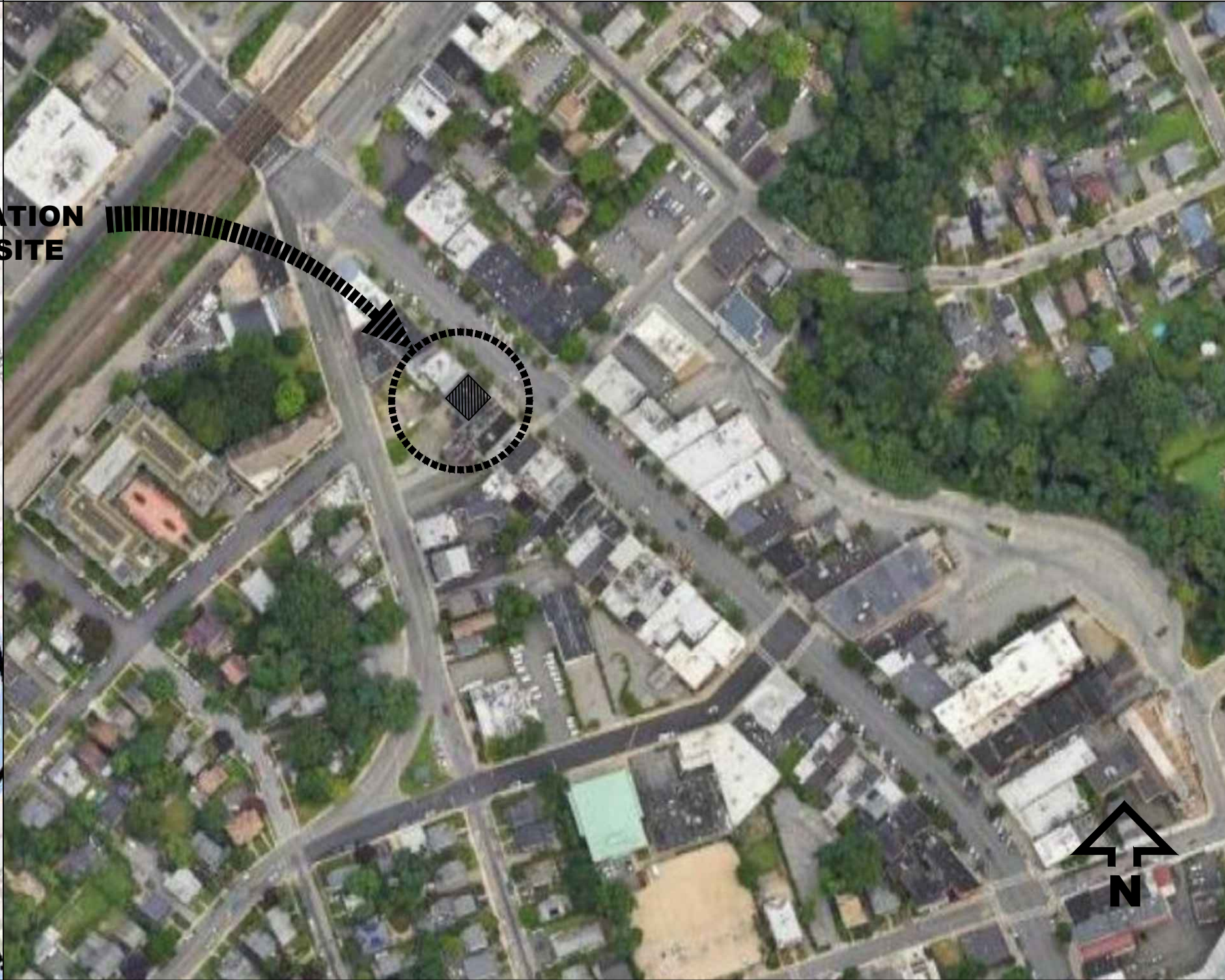
STREET VIEW - REAR VIEW



LOCATION MAP



AERIAL VIEW



PLOT PLAN

1/16=1'-0"

PETER KLEIN , ASSOCIATES, INC
ARCHITECTS - BUILDERS - DEVELOPERS
CONSTRUCTION MANAGEMENT
44 WINDING WOOD ROAD
RYE BROOK , NEW YORK 10873

OWNER

BAGELS BY SOFIA

PROJECT

INTERIOR RENOVATION OF EXISTING
STORE FOR RESTAURANT TAKE OUT

DRAWING LIST

COVER SHEET

SEAL & SIGNATURE



DATE: 08-06-2022

PROJECT No: 2021-176

DRAWING BY: C.S

CKD BY: P.K.

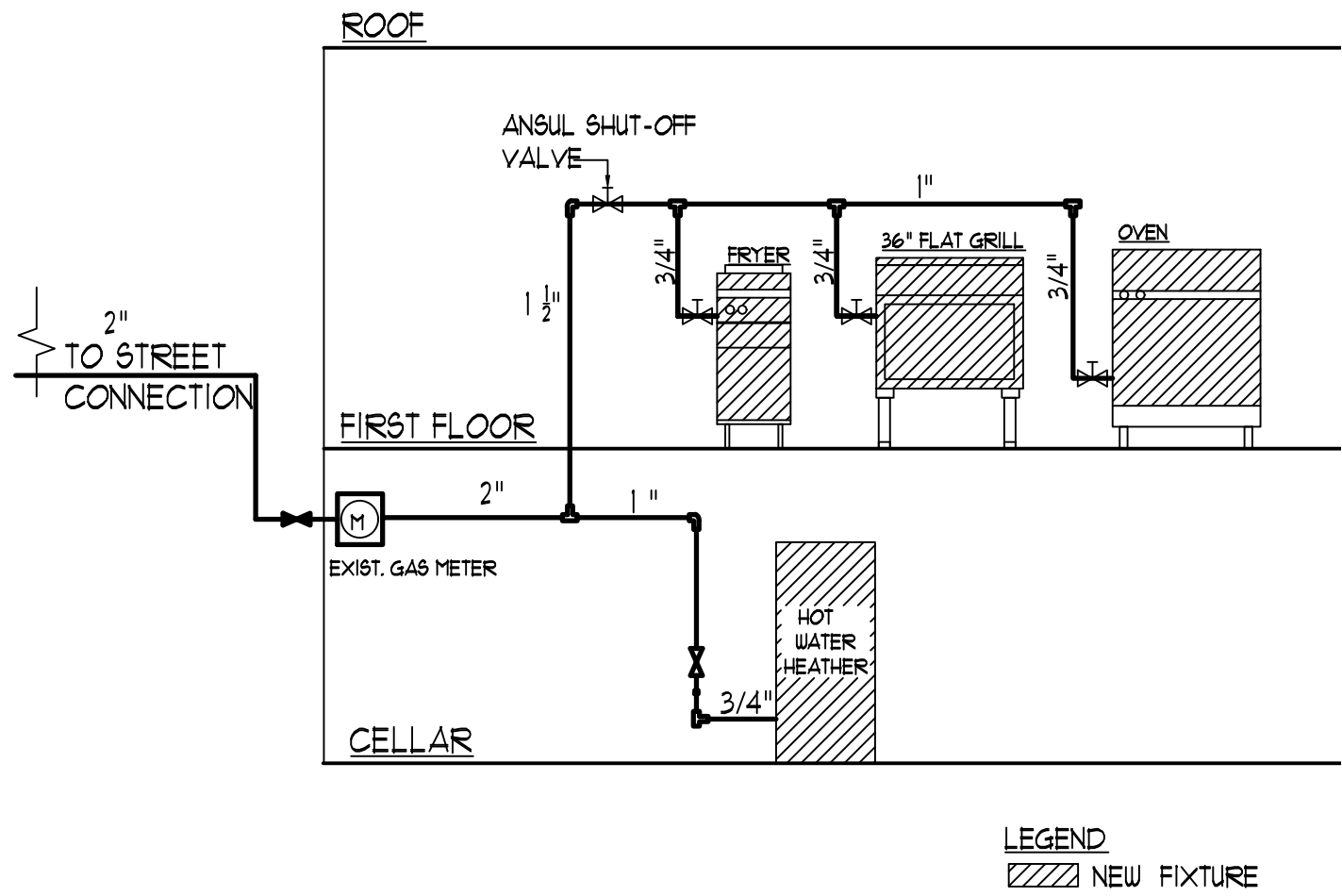
DWG No:

C-001.00

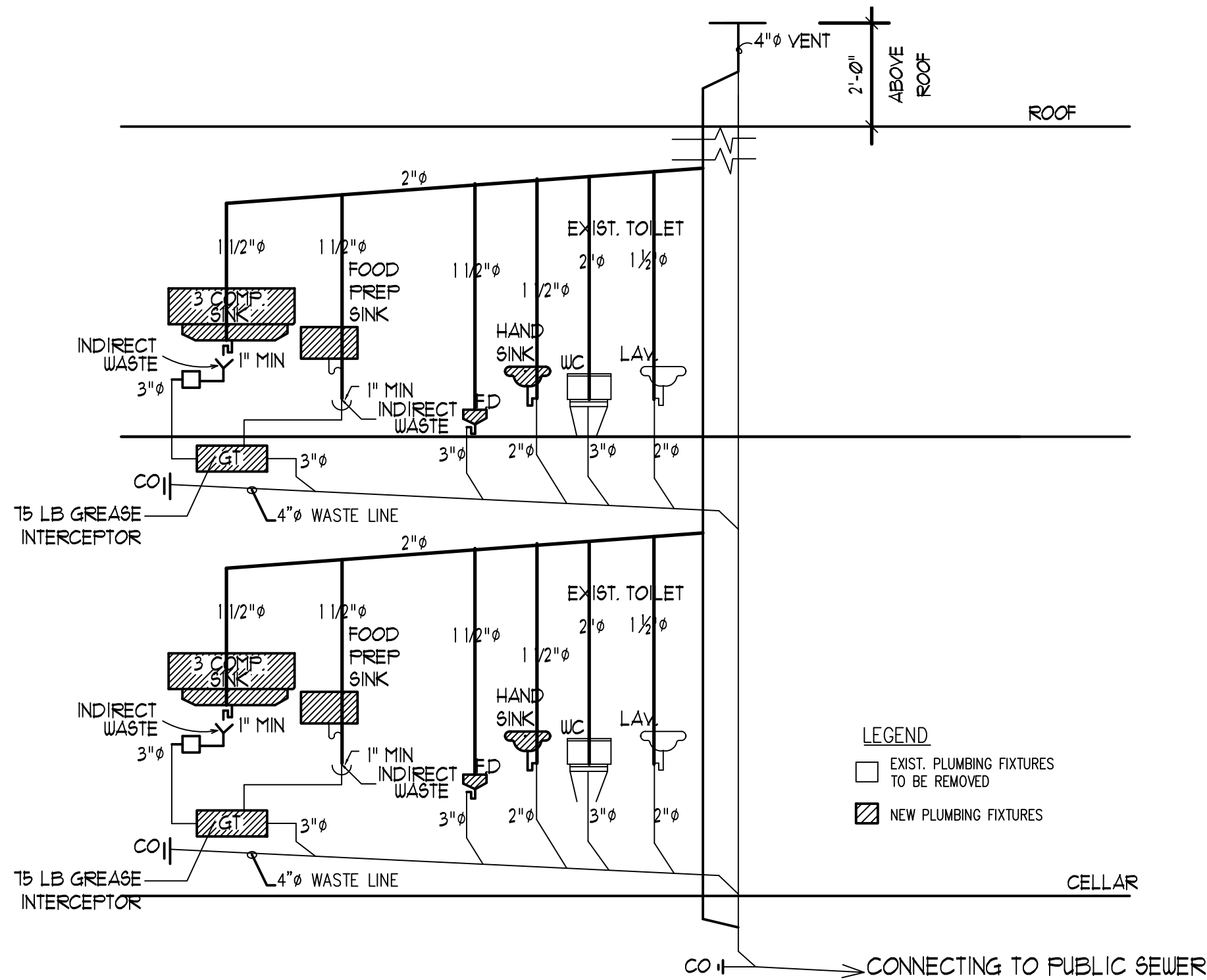
CAD FILE No:

1 of 4

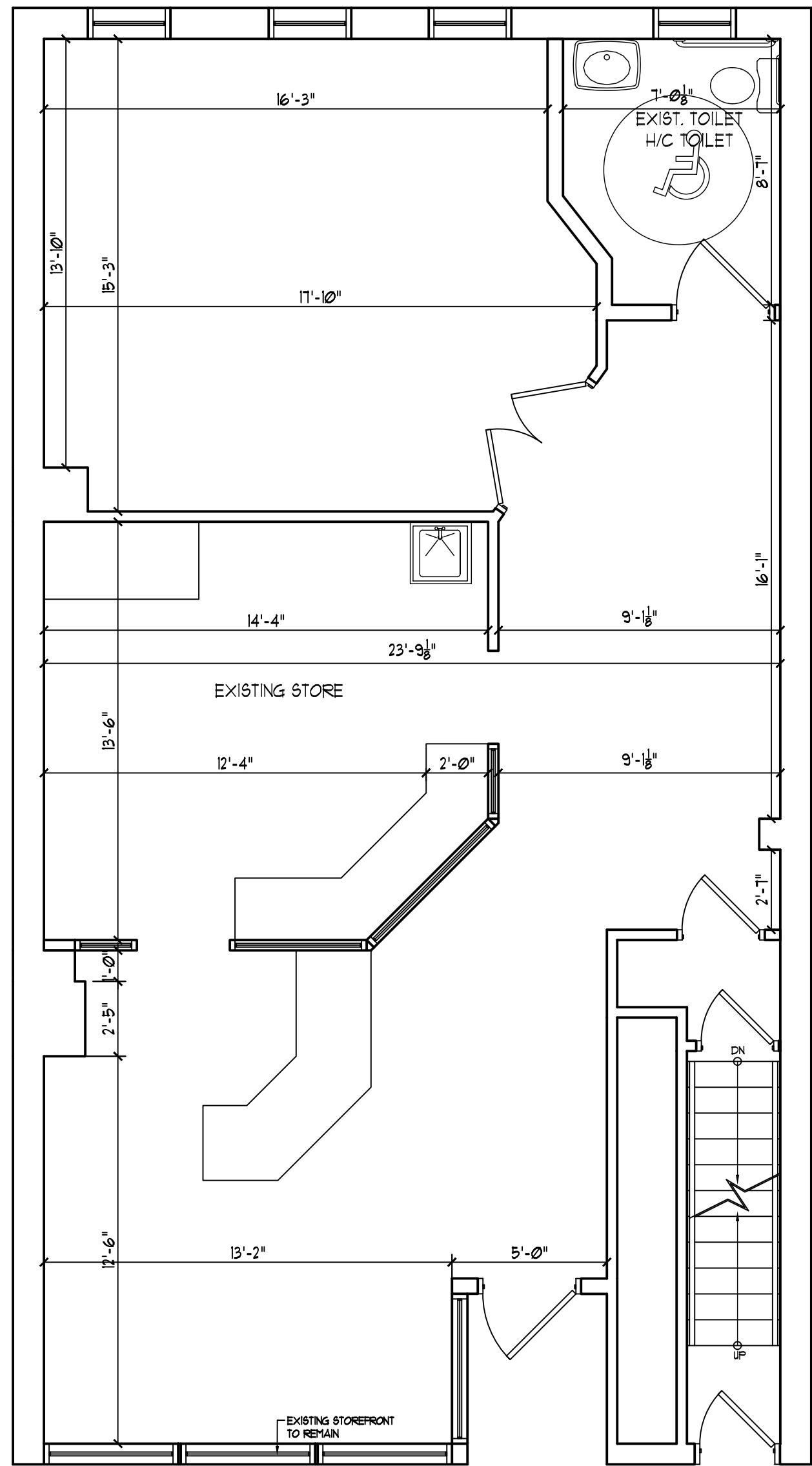
GENERAL REQUIREMENTS		PLUMBING NOTES		CODE ANALYSIS		PLOT PLAN 1/16=1'-0"		ZONING DATA	
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2020 BUILDING CODE OF NEW YORK STATE, 2020 MECHANICAL CODE OF NEW YORK STATE, 2020 PLUMBING CODE OF NEW YORK STATE, 2011 N.E.C. CODE AND VILLAGE OF MAMARONECK ZONING CODE. 1. VERIFIED, ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER PRIOR TO COMMENCEMENT OF WORK. ALL REQUIRED AND NECESSARY PERMITS SHALL BE SECURED FROM ALL MUNICIPAL 2. AGENCIES HAVING JURISDICTION AT THE COST AND EXPENSE OF THE CONTRACTOR AND PRIOR TO START OF WORK AND SHALL OBTAIN APPROVAL OF ALL COMPLETED WORK AS REQUIRED BY ADMINISTRATIVE CODES AND ALL REQUIRED AGENCIES. 3. EACH CONTRACTOR SHALL BE HELD RESPONSIBLE FOR HIS WORK. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE BUILDINGS AND WILL BE RESPONSIBLE FOR THE JOINING OF WORK OF ALL TRADES, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE REQUIREMENTS OF 4. SAFETY OF PUBLIC AND PROPERTY DURING CONSTRUCTION OPERATIONS" AND SHALL BE HELD RESPONSIBLE FOR THE SAFE MAINTENANCE AS PRESCRIBED THEREIN UNTIL COMPLETION OF ALL WORK. 5. NO DRAWINGS TO BE SCALED, DIMENSIONS ARE TO BE USED, THE CONTRACTOR OR PERSON WHO SUPERVISED OR SUPERINTENDENT THE WORK IS 6. REQUIRED TO BE PRESENT AT FINAL INSPECTION WITH THE BUILDING DEPARTMENT INSPECTOR. THE CONTRACTOR SHALL UPON COMPLETION OF THE WORK SEE THAT THE JOB IS BROOK SUEPT, AND AT HIS OWN COST DELIVER A CERTIFICATE OF OCCUPANCY TO THE OWNER AS ISSUED BY THE LOCAL DEPARTMENT OF BUILDINGS. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE BUILDING CODE OF NEW YORK STATE. 9. THE ARCHITECT/ENGINEER HAS NOT BEEN RETAINED TO SUPERVISE ANY CONSTRUCTION OR INSTALLATION OF ANY EQUIPMENT. 10. THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING AND ITS FACILITIES. IT, ALL WORK SHALL COMPLY WITH THE CODE OF THE CITY OF NEW ROCHELLE AND ALL OTHER APPLICABLE LAWS AND ORDINANCES NOT HEREIN NOTED. 12. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE. 13. ALL EXITS SHALL BE KEPT READILY ACCESSIBLE. UNOBSTRUCTED AT ALL TIMES. STAIRS SHALL HAVE HANDRAILS ON EACH SIDE (EXCEPT STAIRS LESS THAN 44" WIDHT) HAVING FINGER CLEARANCE OF 1 1/2" PROJECTING NOT MORE THAN 3 1/2" AND 34" ABOVE THE TREAD NOSING. HANDRAILS SHALL BE RETURNED TO WALLS AND POSTS AT THEIR TERMINATION. CONTRACTOR SHALL VERIFY ALL LOCATIONS OF UTILITY LINES AND REPORT TO THE A/E ANY CONDITION NOT CONSISTENT WITH THE DRAWINGS. 16. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO COMPLY WITH THE REQUIREMENTS AND STANDARDS OF THE BUILDING CODE AND ZONING RESOLUTION. IT SHALL ALSO BE THE CONTRACTORS RESPONSIBILITY TO SEEK CERTIFICATION OF THE AFOREMENTIONED SECTIONS, REQUIREMENTS AND STANDARDS. 17. IT SHALL BE ASSUMED THAT THE CONTRACTOR IS FULLY AWARE AND SHALL BE HELD RESPONSIBLE FOR ITEMS MENTIONED (BUILDING CODE, N.Y.S. ENERGY CONSERVATION CODE, ETC.) SHOULD THERE BE NO NOTIFICATION BY THE CONTRACTOR TO THE A/E. THE CONTRACTOR SHALL VISIT THE SITE, CHECK AND VERIFY CONDITIONS, FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED AND CORRELATE HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE PLANS. ANY 18. DISCREPANCIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR ALL THE ACTS AND OMISSIONS OF ALL HIS EMPLOYEES AND SUB-CONTRACTORS, THEIR AGENTS AND ALL OTHER PERSONS PERFORMING ANY OF THE TO BE DONE. 19. CONTRACTOR SHALL PURCHASE AND MAINTAIN SUCH INSURANCE AS WILL PROTECT HIM RESULT FROM THE CONTRACTORS OPERATIONS, WHETHER BE HIMSELF, SUB-CONTRACTOR, OR BY ANY OF THEM FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE. 20. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES AND REGULATIONS OF PUBLIC AUTHORITY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY. TO PROTECT THEM FROM DAMAGE, INJURY OR LOSS. 21. CONTRACTOR SHALL PROPERLY CLEAN UP DURING PROCESS OF WORK. CONTRACTOR, UPON COMPLETION OF WORK, SHALL LEAVE PREMISES CLEAN, NEAT, AND ORDERLY.		1. ALL PLUMBING WORK IS TO COMPLY WITH ALL 2020 STATE AND LOCAL CODES, N.Y.S. ENERGY CONSERVATION CODE, N.Y.S. DEPARTMENT OF HEALTH REQUIREMENTS, ICC/ANSI A111-98, THE ADAAG AND THE REQUIREMENTS OF ALL AGENCIES HAVING JURISDICTION. 2. PLUMBING CONTRACTOR SHALL INSTALL ALL PLUMBING FIXTURES AND ALL OTHER CONTROLS AND COMPONENTS REQUIRED TO BE BARRIER FREE PER THE TYPE, LOCATION AND MINIMUM- MAXIMUM HEIGHT REQUIREMENTS OF ICC/ANSI A111-98 AND THE ADAAG. 3. THE PLUMBING CONTRACTOR (P.C.) IS TO OBTAIN AND PAY FOR ALL REQUIRED PERMITS PERTAINING TO THE PLUMBING WORK. THE P.C. IS TO ARRANGE FOR ALL REQUIRED INSPECTIONS AND OBTAIN ALL APPROVALS. 4. THE P.C. IS TO SUPPLY ALL REQUIRED LABOR, MATERIAL, EQUIPMENT AND SERVICES NECESSARY FOR THE COMPLETE INSTALLATION OF ALL PLUMBING FIXTURES AND PIPING AS INDICATED ON THE DRAWING AND AS MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO THE FOLLOWINGS. 5. A. REMOVAL AND DISPOSAL OF ALL PLUMBING FIXTURES AND ASSOCIATED PIPING AS INDICATED ON THE DEMOLITION PLAN. 6. B. INSTALLATION OF NEW WATER SUPPLY LINES, SANITARY WASTE AND VENT LINES, VALVES AND PLUMBING FIXTURES REQUIRED FOR A COMPLETE INSTALLATION. 7. THE P.C. IS TO SUBMIT TO THE ARCHITECT FOUR (4) COPIES OF PLUMBING FIXTURE CUT SHEETS, LIST OF MATERIALS AND DETAILED INFORMATION OF THE REQUIRED EQUIPMENT GIVING MANUFACTURER'S NAME, CATALOG NUMBERS, QUALITIES, DIMENSIONS, ETC. FOR APPROVAL. NO FIXTURES OR EQUIPMENT IS TO BE INSTALLED WITHOUT OBTAINING APPROVED DRAWINGS AND/OR CUTS. 8. ALL VALVES, TRAPS, CLEAN OUTS, ETC. AND OTHER WORK IS TO BE INSTALLED TO BE READILY ACCESSIBLE FOR OPERATION, REPAIR AND MAINTENANCE. ALL PIPING IS TO RUN CONCEALED. 9. PIPING LAYOUT IS DIAGRAMMATIC ONLY. THE P.C. IS TO PROVIDE AS BUILT DRAWINGS SHOWING LOCATIONS, DIMENSIONS AND ANY AND ALL CHANGES MADE THAT DEVIATES FROM THE CONSTRUCTION DOCUMENTS. 10. ALL UNDERGROUND SANITARY SEWER PIPING TO BE SERVICE WEIGHT CAST IRON PIPING WITH HUB LESS CONNECTORS UNLESS OTHERWISE NOTED. 11. INSTALL CLEAN OUTS AT ALL DEAD ENDS, AT TRAPS, AT BASE OF STACKS, AT CHANGES IN DIRECTION AND HORIZONTAL RUNS, PAGED 10'-0" MAXIMUM FOR PIPES 4" OR SMALLER AND 100'-0" MAXIMUM FOR PIPES LARGER THAN 4". 12. ABOVE GROUND SANITARY WASTE PIPING AND VENT PIPING TO BE CAST IRON, COPPER, GALVANIZED STEEL OR OTHER APPROVED MATERIAL. NO PVC IS TO BE USED. 13. ALL VENT PIPES TO BE A MINIMUM OF 12' ABOVE THE ROOF. THE P.C. IS TO PROVIDE VENT FLASHING, COORDINATE WITH G.C. FOR TYPE OF ROOF SPECIFIED. 14. WATER SERVICE AND DISTRIBUTION PIPING TO BE COPPER, TYPE "K" FOR BELOW GROUND AND TYPE "L" FOR ABOVE GROUND. FITTINGS TO BE COPPER OR BRASS. ALL JOINTS TO BE FORMERLY CLEANED, FLUXED AND SOLDERED USING LEAD FREE SOLDER CONFORMING TO A.S.T.M. 632. FLARED FITTINGS AND THREADED FITTINGS ARE ALSO PERMITTED. 15. HANGER AND SUPPORTS FOR WATER PIPING TO BE OF AN APPROVED TYPE. SPACED 6'-0" O.C. MAXIMUM FOR PIPES SMALLER THAN 2" AND 10'-0" O.C. MAXIMUM FOR PIPES 2" AND LARGER. 16. ALL FLOAT WATER PIPING TO BE INSULATED PER THE REQUIREMENTS OF THE N.Y.S. ENERGY CONSERVATION CONSTRUCTION CODE. THE INSULATION IS TO BE FIBERGLASS, FOAM OR ANOTHER APPROVED MATERIAL. 17. INTERIOR ROOF LEADERS ARE TO BE GAST IRON, COPPER OR GALVANIZED STEEL PIPE. INSULATE INTERIOR LEADERS TO PREVENT FREEZING, SEATING AND NOISE TRANSMISSION. PROVIDE A CLEAN OUT AT THE BASE OF ALL INTERIOR LEADERS. 18. EXCAVATIONS FOR UNDERGROUND PIPING TO BE OF THE REQUIRED DEPTH PITCH AND LOCATIONS WITH A FIRM BED TAMPED AS REQUIRED. BACK FILL TO BE CLEAN EARTH WITH STONE SIZES NOT TO EXCEED 2" IN DIAMETER. SAND OR GRAVEL, BACK FILLING AND COMPACTION ARE TO BE PERFORMED IN SUCH A METHOD TO ASSURE PROPER COMPACTNESS WITHOUT DAMAGE TO THE PIPE. THE P.C. IS TO PROVIDE DEWATERING AS MAY BE REQUIRED. 19. PROVIDE CHROME PLATED SHUT OFF VALVES WITH CHROME PLATED ESCUTCHEON PLATES AT EACH FIXTURES HOT AND COLD WATER LINES. 20. WHERE HOT AND COLD WATER LINES AND WASTE TRAPS ARE EXPOSED UNDER HANDICAPPED ACCESSIBLE LAVATORIES, THE P.C. IS TO INSULATE THOSE ITEMS IN CONFORMANCE WITH THE ADA AND ANSI A111-1998. 21. ALL FLOOR DRAINS ARE TO HAVE DEEP TRAP WATER SEALS OF 4" MINIMUM AND ADJUSTABLE STRAINERS WITH BRASS FINISH. PROVIDE REMOTE VENT UNDER SLAB AT EACH FLOOR DRAIN TYPICAL.		PROJECT: INTERIOR RENOVATION OF EXISTING STORE FOR RESTAURANT TAKE OUT OWNER: BAGELS BY SOFIA ADDRESS: 414 MAMARONECK AVENUE, MAMARONECK, NEW YORK - 10801 SECTION: 9 BLOCK : 1 LOT: 59 ZONE : NB (NEIGHBORHOOD BUSINESS DISTRICT) PERMIT USE: A (1) RESTAURANTS, CARRY -OUT. SECTION 331-56 PROPOSED USE: RESTAURANT- TAKE OUT WORK PROPOSED- INTERIOR ALTERATION SECTION 1014.1, 201 OCCUPANCY CLASSIFICATION- BUSINESS "B" NYS CODE SECTION 309.1 REQUIRES SEPARATION OF OCCUPANCIES- BUSINESS "B" AND R-2 SECTION 301 2 HOURS- EXISTING UNCHANGED- COMPLIES TABLE 508.4 CLASSIFICATION OF WORK: LEVEL 2- INCLUDES RECONFIGURATION OF SPACE, RECONFIGURATION OR EXTENSION OF SYSTEM AND EQUIPMENT INSTALLATION EXISTING BUILDING CODE CHAPTER 6 SECTION 603.1 CONSTRUCTION CLASSIFICATION TYPE: TYPE III-A SECTION 602 (EXTERIOR WALLS ARE EXISTING NONCOMBUSTIBLE MATERIAL AND EXISTING INTERIOR BUILDING ELEMENTS ARE PERMITTED BY TABLE 601 FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS < 5 FEET FIRE SEPARATION DISTANCE = 1 HOUR EXISTING BRICK RATED MASONRY EXTERIOR WALLS COMPLY W/ 2HRS TABLE 602 CHAPTER 8 BUILDING CODE - NEW YORK STATE- INTERIOR FINISHES SECTION 803 APPLICATION- SHALL BE CLASSIFIED FOR FIRE PERFORMANCE AND SMOKE DEVELOPMENT IN ACCORDANCE WITH SECTION 803.11 OR 803.12 EXCEPT AS SHOWN IN SECTION 803.13 THROUGH 803.152 FOR WALLS, CEILING, FLOORS AND OTHER INTERIOR SURFACES. EXIT ACCESS CORRIDORS AND OTHER EXIT WAYS SHALL HAVE A CLASS B RATING. FLAME SPREAD 26-15 SMOKE- DEVELOPED 0-450 ROOM AND ENCLOSED SPACES SHALL HAVE A CLASS C RATING. FLAME SPREAD 16-200 SMOKE- DEVELOPED 0-450 803.2.11 SUPPLEMENTAL AUTOMATIC SPRINKLER SYSTEM REQUIREMENTS, WHERE THE WORK AREA ON ANY FLOOR EXCEEDS 50 PERCENT OF THAT FLOOR AREA, SECTION 803.2.1 SHALL APPLY TO THE ENTIRE FLOOR ON WHICH THE WORK AREA IS LOCATED. THE PROPOSED FIRST FLOOR MERCANTILE USE SPACE TO BE ALTERED HAS BEEN DESIGNED TO COMPLY WITH CHAPTER 11 "ACCESSIBILITY" REQUIREMENTS OF THE 2020 NEW YORK STATE BUILDING CODE. COMPLIANCE WITH THIS CODE IS MANDATED BY FEDERAL LAW. ICC/ANSI A111 MEANS OF EGRESS OCCUPANT LOAD (TABLE 1004.5) = 1/15 SF. 819.30 SF. GROSS AREA/ 15 = 54.6 PERSONS PROPOSED 14 PERSONS < 58 THEREFORE OK EXIT ACCESS TRAVEL DISTANCE 15 FEET MAXIMUM ON UNSPRINKLERED BUILDING 45'-0" ACTUAL THEREFORE OK TABLE 1006.2.1 NUMBER OF EXITS PROVIDED = 1, TABLE 1006.3.3 (SINGLE EXITS) THEREFORE OK CEILING HEIGHT OF CORRIDORS (MEANS OF EGRESS) SHALL BE NOT LESS THAN 1 FEET 6 INCHES. PROPOSED CORRIDOR CEILING HEIGHT = 8 FEET MIN. THEREFORE OK SECTION 1003.2 CORRIDOR WIDTH = NOT LESS THAN 36 INCHES- COMPLIES TABLE 1020.2.2 FIRE RESISTANCE RATING FOR CORRIDOR = 1 HOUR RATED- COMPLIES TABLE 1020.1 A MANUAL FIRE ALARM SYSTEM SHALL BE PROVIDED AS TOTAL BUILDING OCCUPANT LOAD IS GREATER THAN 500 PERSONS, INCLUDING THE LOWEST LEVEL OF EXIT DISCHARGE. SMOKE, MONOXIDE AND FIRE DETECTION DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72. OR LOCAL FIRE MARSHALL REQUIREMENTS. SECTION 901.2.2				414 MAMARONECK AVENUE MAMARONECK, NEW YORK - 10801 SECT: 9 BLOCK: 7 ZONE: C-2 LOT # 59 LEGEND EXISTING MASONRY WALL	



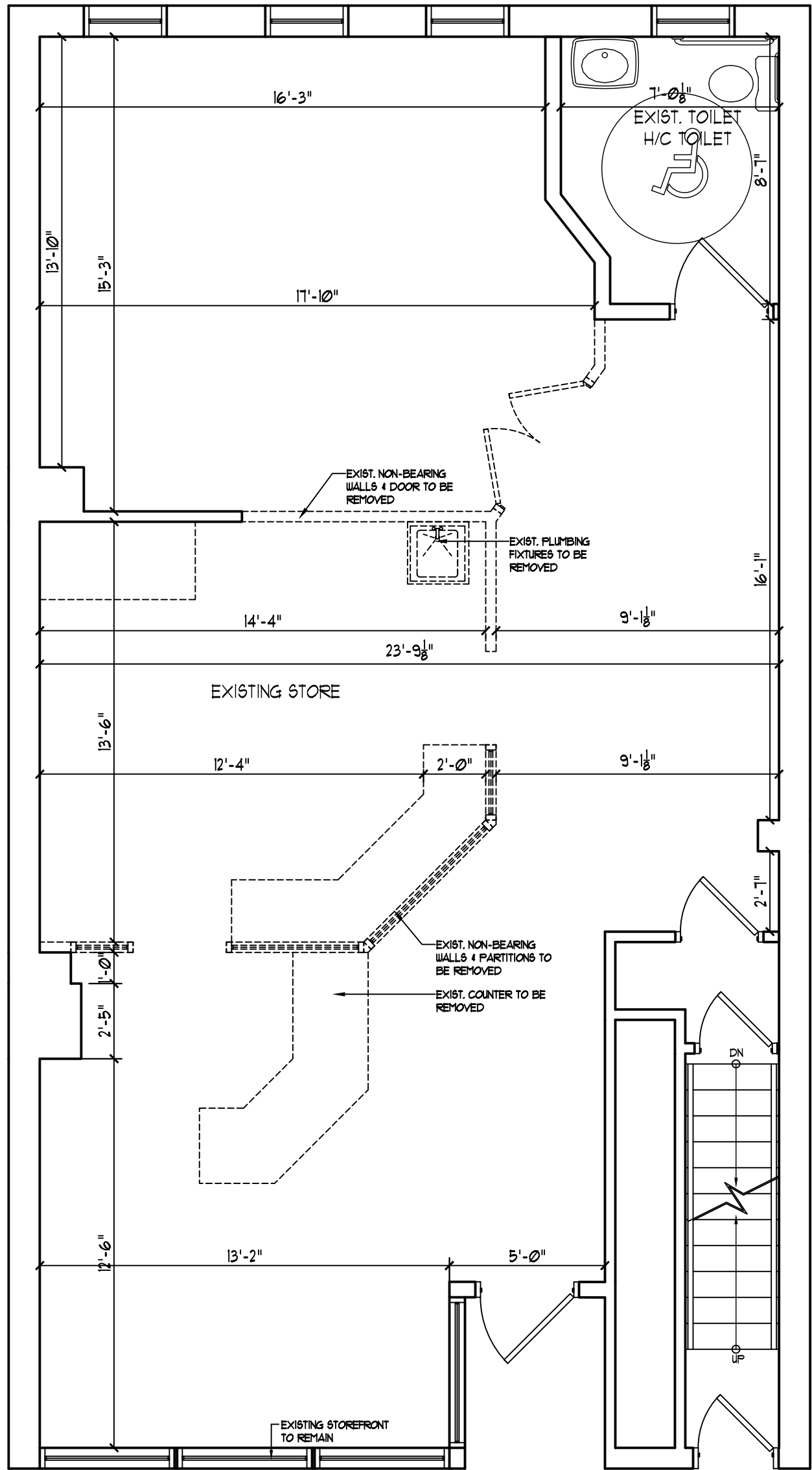
GAS RISER
SCALE: NTS



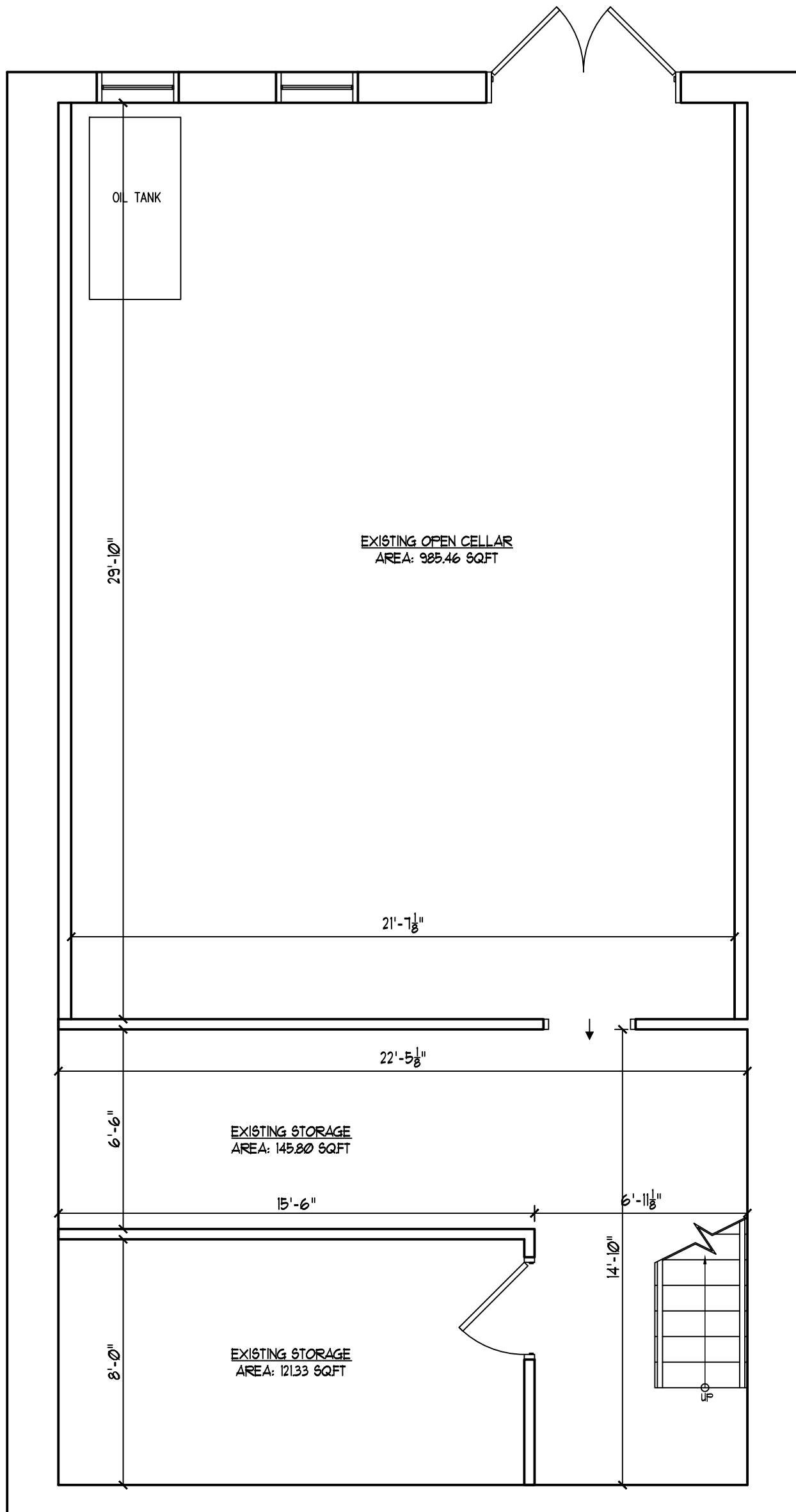
PLUMBING RISER
SCALE: NTS



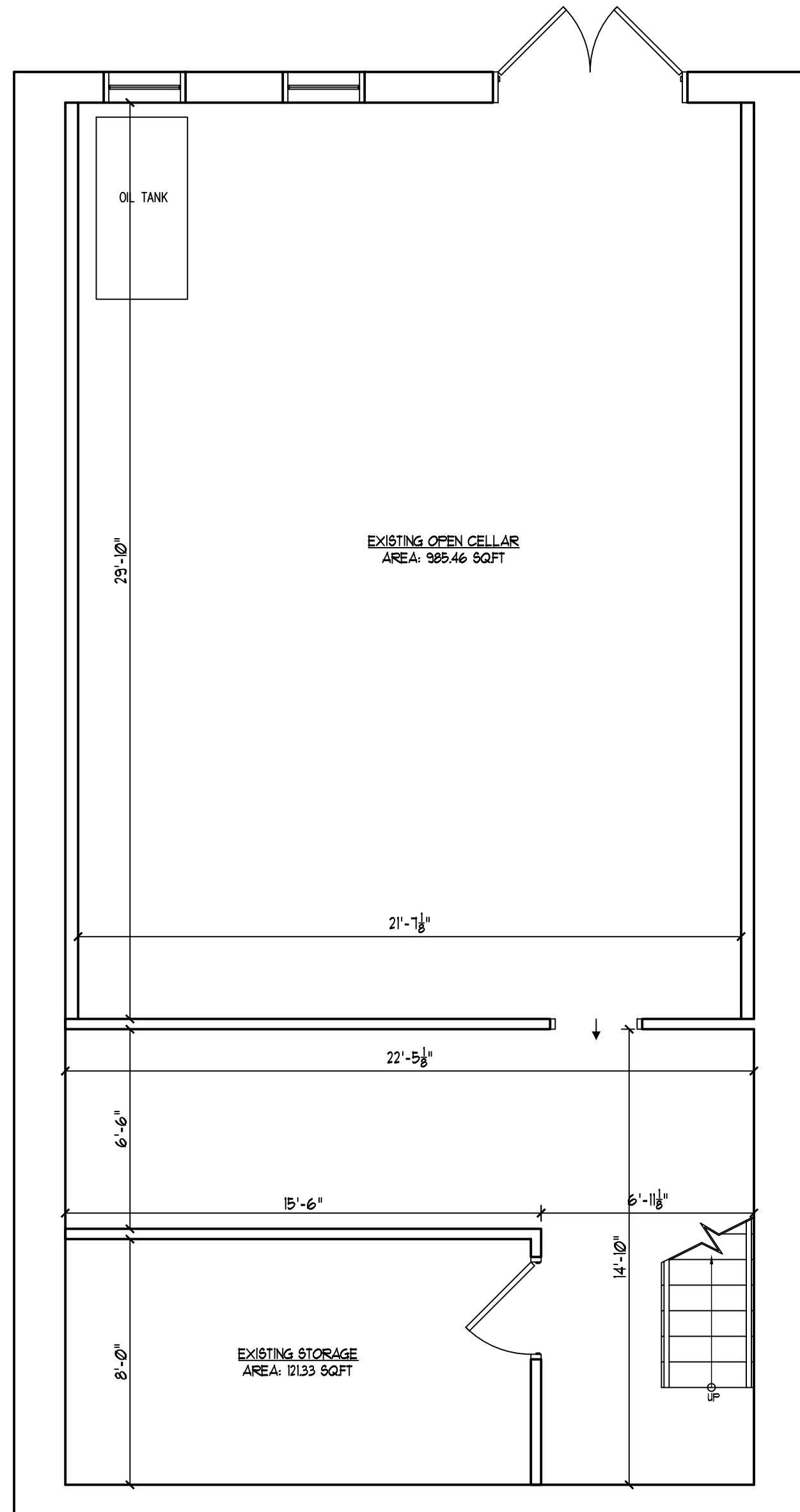
EXISTING 1ST FLOOR PLAN
SCALE 1/4"=1'-0"



1ST FLOOR DEMOLITION PLAN
SCALE 1/4"=1'-0"



EXISTING CELLAR PLAN
SCALE 1/4"=1'-0"



CELLAR DEMOLITION PLAN
SCALE 1/4"=1'-0"

ZONING DATA

414 MAMARONECK AVENUE
MAMARONECK,
NEW YORK - 10801

SECT : 9 BLOCK : 7
ZONE : C-2 LOT # 59

LEGEND

- EXISTING MASONRY WALL
FIRE SEPARATION TO REMAIN
- EXIST. 1 HR FIRE RATED
WALL TO REMAIN
- EXISTING AREA TO BE
REMOVED
- NEW 3 1/8" METAL STUD WALL @
16" O.C. W/ 1 LAYER 5/8" G.W.B.
EACH SIDE
- MECHANICAL VENTILATION
SEE PLAN FOR CFM
- C.M.H.W.B.B.
CARBON MONOXIDE
HARD WIRE BATTERY
BACKUP
- S.D.H.W.B.B.
SMOKE DETECTOR
HARD WIRE BATTERY
BACKUP
- F.E.
FIRE EXTINGUISHER
- EXISTING EXIT EMERGENCY
LIGHT SIGN W/ BATTERY BACK UP

PETER KLEIN , ASSOCIATES, INC
ARCHITECTS - BUILDERS - DEVELOPERS
CONSTRUCTION MANAGEMENT
44 WINDING WOOD ROAD
RYE BROOK , NEW YORK 10873

OWNER

BAGELS BY SOFIA

PROJECT

INTERIOR RENOVATION OF EXISTING
STORE FOR RESTAURANT TAKE OUT

DRAWING LIST

- EXISTING 1ST FLOOR PLAN
- 1ST FLOOR DEMOLITION PLAN
- EXISTING CELLAR PLAN
- PROPOSED CELLAR PLAN

SEAL & SIGNATURE DATE: 08-06-2022
PROJECT No: 2022-120
DRAWING BY: J.T.
CKD BY: .P.K.
DWG No:
A-002.00
CAD FILE No: 3 of 4

