

ZONING ANALYSIS			
VILLAGE OF MAMARONECK, WESTCHESTER NY			
ZONE	R-20	BLOCK	105
SECTION	9	LOT	11
ITEM	REQUIRED	EXISTING	PROPOSED
LOT DATA			
LOT SIZE	20,000	34,563.5	NO CHANGE
LOT FRONTAGE	100'		NO CHANGE
LOT DEPTH	100'		NO CHANGE
SETBACKS			
FRONT YARD	25'		49.0'
ONE SIDE YARD	20'		40.1'
BOTH SIDES COMBINED	45'		72.4'
REAR	30'		60.5'
BUILDING HEIGHT			
MAX. HEIGHT- STORIES	2 1/2		FEMA + 2
MAX. HEIGHT- FEET	35'		32'
LOT COVERAGE	35%	52.3%	34.7%
HOUSE		5,530	5,020
FRONT WALK		700	297.5
DRIVEWAY		2,051	3,024
WOOD DECK		1,840	0
EXISTING POOL		1,141	1,380.5
POOL TERRACE		2,268	2,148
BASKETBALL COURT		4,565	0
SPA		0	121
TOTAL	12,097	18,095	11,991
FLOOR AREA RATIO	27		25
GROUND/ FEMA LEVEL			1,638
LIVING LEVEL			4,436
UPPER LEVEL			2,561
ATTIC			0
TOTAL FLOOR AREA	9,332		8,635
*EXISTING HOUSE IS BEING DEMOLISHED			

CLIMATIC & GEOGRAPHIC DESIGN CRITERIA									
GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	WINTER DESIGN TEMP	ICE SHIELD REQ'TS.	FLOOD HAZARD
25 (PSF)	105	C	SEVERE	3'-6"	MODERATE TO HEAVY	SLIGHT TO MODERATE	7	YES	FIRM, 4/28/01
4 ZONE - 5750 HEATING DEGREE DAYS									

GENERAL NOTES

1. THE CONTRACTOR SHALL VISIT THE SITE AND SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS & EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
2. DO NOT SCALE THE DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
3. THE CONTRACTORS SHALL BE RESPONSIBLE FOR FILING FOR ALL REQUIRED PERMITS INCLUDING BUT NOT LIMITED TO, ELECTRICAL, PLUMBING AND HVAC WORK UNDER SEPARATE PERMIT(S).
4. ALL CONSTRUCTION SHALL BE DONE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES.
5. THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY OF THE WORKER, OWNERS AND THE PUBLIC AS REQUIRED BY THE STATE OF NEW YORK AND OSHA.
6. ALL BRACING AND SHORING SHALL BE INSTALLED IN STRICT COMPLIANCE WITH THE LATEST EDITION OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ALL OTHER APPLICABLE NATIONAL, STATE AND LOCAL CODES.
7. ALL WORK SHALL COMPLY WITH THE HIGHEST INDUSTRY STANDARDS AND SHALL BE IN STRICT COMPLIANCE WITH THE LATEST EDITION OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND ALL OTHER APPLICABLE NATIONAL, STATE AND LOCAL CODES.

ENERGY CODE COMPLIANCE

FROM TABLE R402.1.2, FROM THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NYS. BASED ON 5,750 HEATING DEGREE DAYS IN CLIMATE ZONE 4

FENESTRATION U- FACTOR	0.32
SKYLIGHT U- FACTOR	0.55
GLAZED FENESTRATION SHGC	0.40
CEILING R-VALUE	49
WOOD FRAME WALL R-VALUE	20 OR 13+5
MASS WALL R-VALUE	8/13
FLOOR R-VALUE	19
BASEMENT WALL R-VALUE	10/13
SLAB R-VALUE & DEPTH	10/2 FT
CRAWL SPACE WALL R-VALUE	10/13

ENERGY NOTES:

1. KELLER/EATON ARCHITECTS, P.C. CERTIFY THAT THESE PLANS AND SPECIFICATIONS COMPLY WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NYS.
2. THE G.C. SHALL PROVIDE A PERMANENT CERTIFICATE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL LISTING THE PREDOMINANT R-VALUES OF THE INSULATION INSTALLED PER SYSTEM THROUGH OUT THE RESIDENCE PER SECTION R401.3.
3. CEILING INSULATION MAY BE REDUCED IN THE FOLLOWING SITUATIONS:
 - A. PER SECTION R402.2.1 - CEILINGS WITH ATTIC SPACES:
 - A.A. WHERE R-38 INSULATION IS REQUIRED IN THE CEILING, R30 MAY BE INSTALLED OVER 100 PERCENT OF THE CEILING AREA WHERE THE UNCOMPRESSED INSULATION EXTENDS OVER THE WALL TOP FLATE AT THE EAVES.
 - A.B. WHERE R44 INSULATION IS REQUIRED IN THE CEILING, R38 MAY BE INSTALLED OVER 100 PERCENT OF THE CEILING AREA WHERE THE UNCOMPRESSED INSULATION EXTENDS OVER THE WALL TOP FLATES AT THE EAVES.
 - B. PER SECTION R402.2.2 - CEILINGS WITHOUT ATTIC SPACES:
 - B.A. WHERE CEILING ASSEMBLY DOES NOT ALLOW SUFFICIENT SPACE FOR THE REQUIRED INSULATION, THE MINIMUM REQUIRED INSULATION FOR THE ROOF/ CEILING ASSEMBLIES SHALL BE R-30. THE REDUCTION OF INSULATION FROM THE REQUIREMENTS OF SECTION R402.2.2 SHALL BE LIMITED TO 500 SQUARE FEET OR 20 PERCENT OF THE TOTAL INSULATED CEILING AREA, WHICHEVER IS LESS.
5. INSULATION VALUES SHOWN IN THE CHART ABOVE ARE MINIMUM VALUES REQUIRED BY CODE AND MAY NOT REFLECT THE INSULATION VALUES CALLED OUT IN THE CONSTRUCTION DOCUMENTS. WHEN TWO DIFFERENT INSULATION VALUES ARE CALLED OUT, CONTRACTORS ARE HEREBY DIRECTED TO INSTALL THE INSULATION WITH GREATER R-VALUE PER ASSEMBLY.

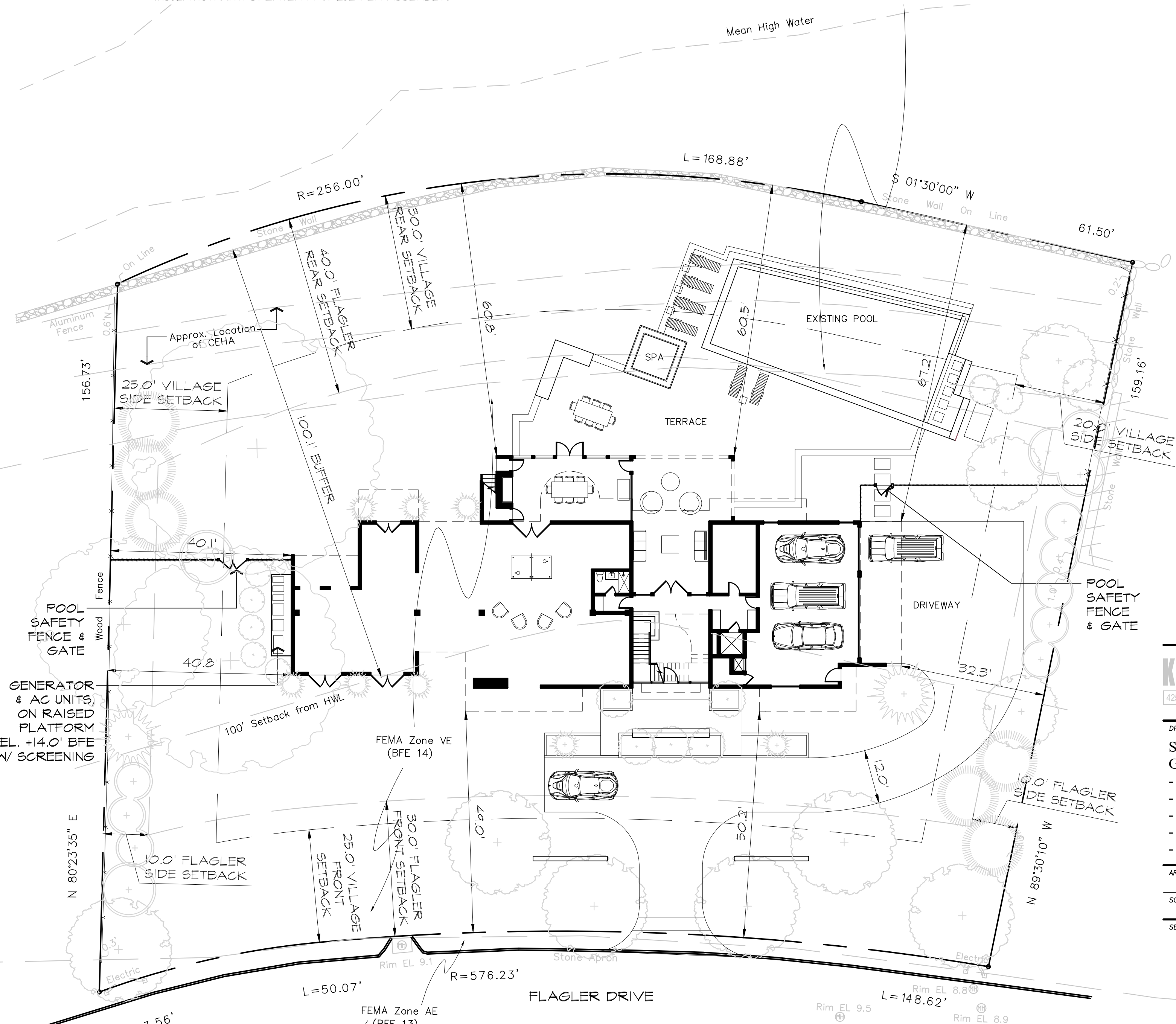
DRAWING LIST	
CS-1.0	SITE PLAN, ZONING & NOTES
A-1.0	CONSTRUCTION PLAN- GROUND LEVEL
A-1.1	CONSTRUCTION PLAN- LIVING LEVEL
A-1.2	CONSTRUCTION PLAN- UPPER LEVEL
A-1.3	CONSTRUCTION PLAN- ROOF PLAN
A-2.0	EXTERIOR ELEVATION- FRONT
A-2.1	EXTERIOR ELEVATION- REAR
A-2.2	EXTERIOR ELEVATION- RIGHT SIDE
A-2.3	EXTERIOR ELEVATION- LEFT SIDE

NOTE:
THIS SITE PLAN HAS PREPARED WITH INFORMATION OBTAINED FROM A SURVEY PREPARED BY: RICHARD A. SPINELLI, 650 HALSTEAD AVE. MAMARONECK, N.Y. 10543 DATED SEPT. 10, 2021

SURVEYOR NOTE:
CONTRACTOR TO COMPLETE FOUNDATION & SETBACK STAKE-OUT WITH SURVEYOR PRIOR TO START OF CONSTRUCTION.



2 EXISTING SITE PLAN
SCALE: 1/16" = 1'-0"
* EXISTING HOUSE TO BE DEMOLISHED



1 PROPOSED SITE PLAN
SCALE: 1/16" = 1'-0"

PROJECT:

BLEUSTEIN RESIDENCE

1310 FLAGLER DRIVE
MAMARONECK, NY 10543

NO.	ISSUE/DESCRIPTION:	DATE:
1	FOR CLIENT REVIEW	12/01/21
2	FOR CLIENT REVIEW	12/17/21
3	FOR FLAGLER REVIEW	01/19/22
4	FOR BLDG DEPT REVIEW	02/10/22
5	FOR PLANNING BOARD	07/15/22

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DRAWING TITLE:
SITE PLAN, ZONING CALCULATIONS
GENERAL NOTES

ARCHITECT'S PROJECT NUMBER: 2117

SCALE: AS NOTED

SEAL: DRAWING NUMBER:

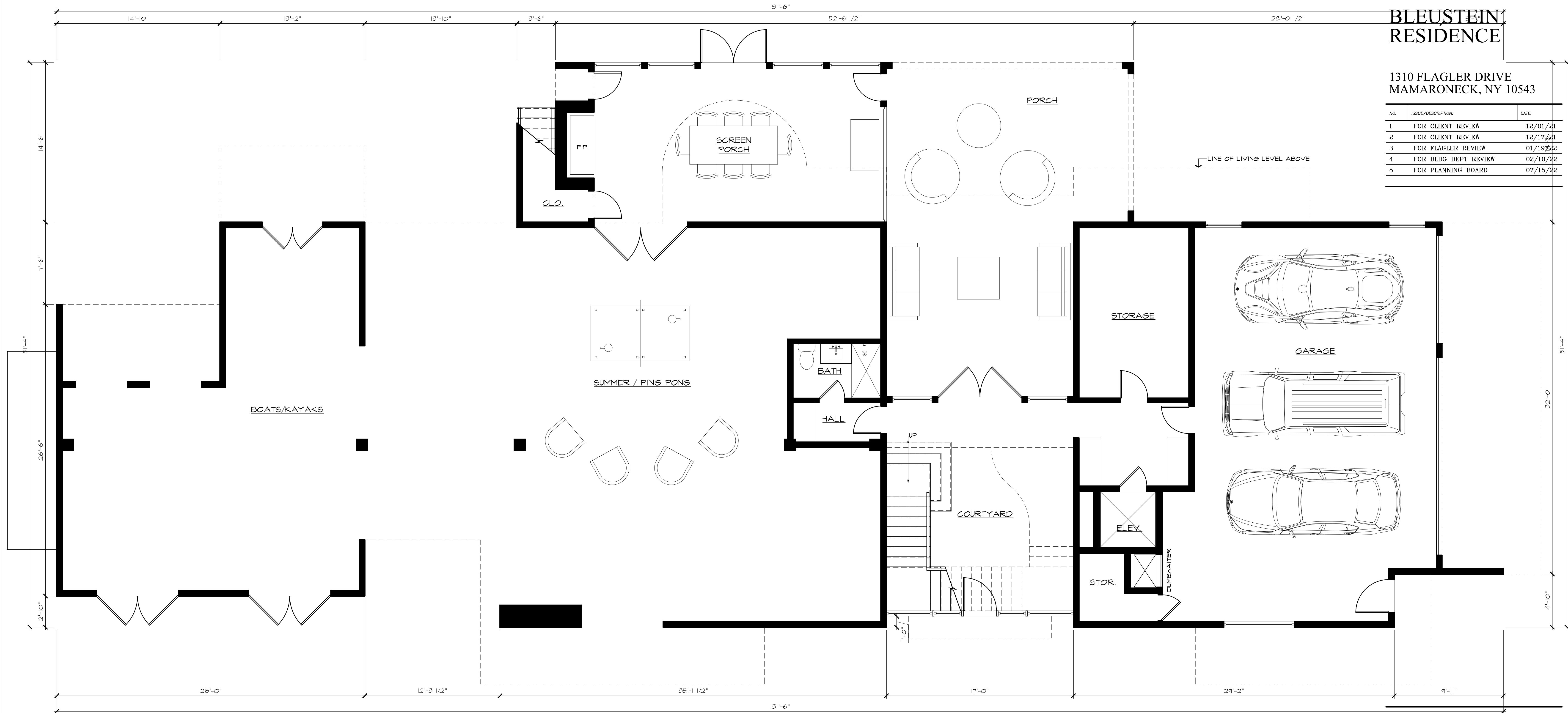
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DRAWING TITLE:
PROPOSED GRADE FLOOR PLAN

ARCHITECT'S PROJECT NUMBER: 2117
SCALE: DATE:
SCALE
SEAL: DRAWING NUMBER:

1 PROPOSED GRADE LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

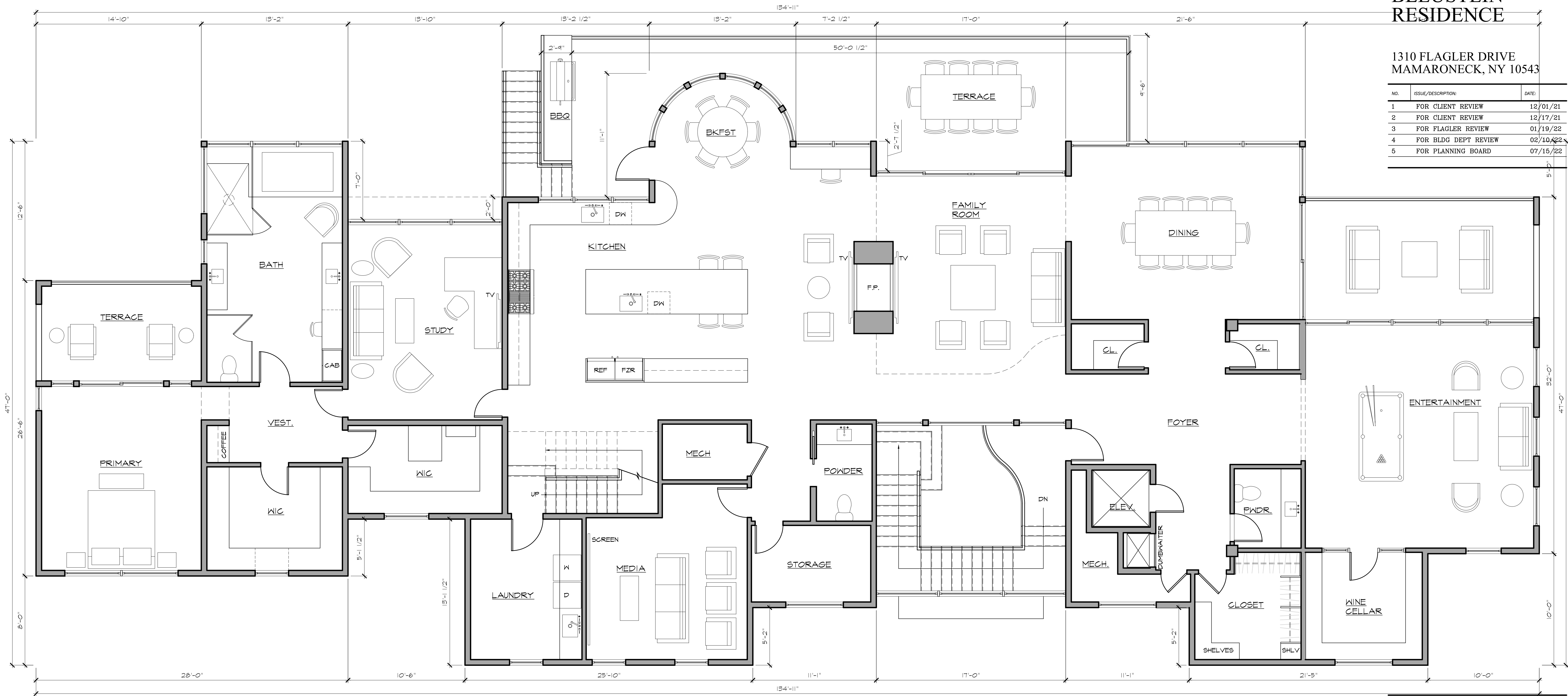
A-1.0

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1 PROPOSED LIVING LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

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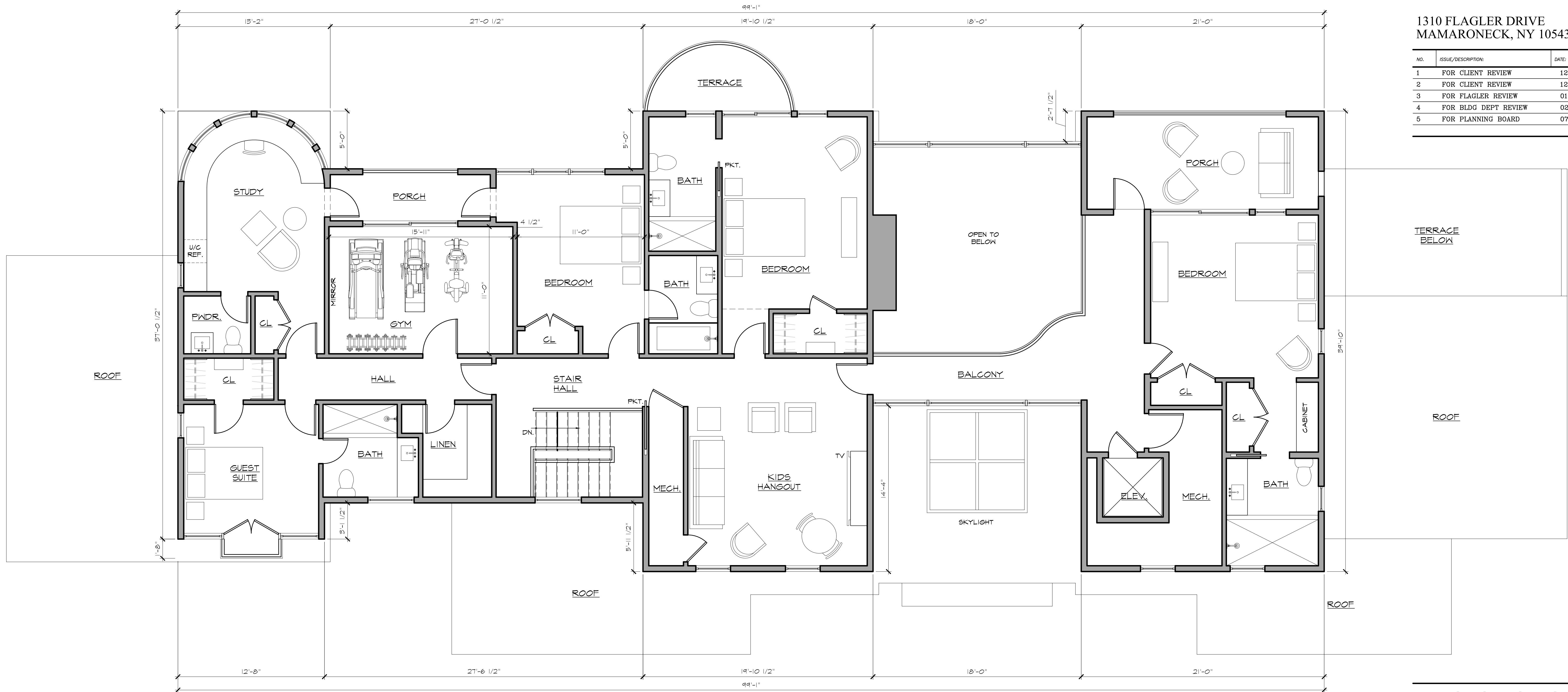
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PROPOSED LIVING FLOOR PLAN	
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ARCHITECT'S PROJECT NUMBER: 2117	
SCALE:	DATE:
SCALE	
SEAL:	DRAWING NUMBER:

PROJECT:

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1 PROPOSED UPPER LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

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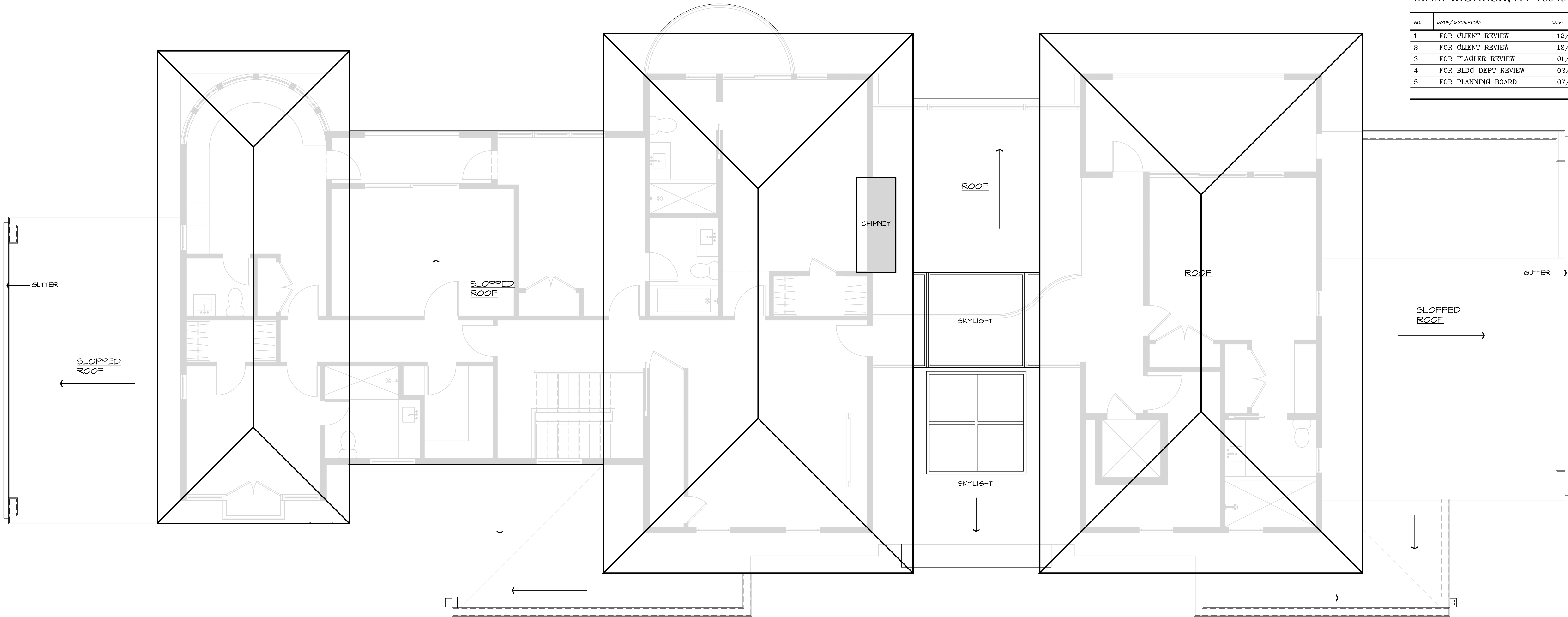
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PROPOSED UPPER LEVEL FLOOR PLAN	
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1 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

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DRAWING TITLE:	
PROPOSED ROOF PLAN	
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1 PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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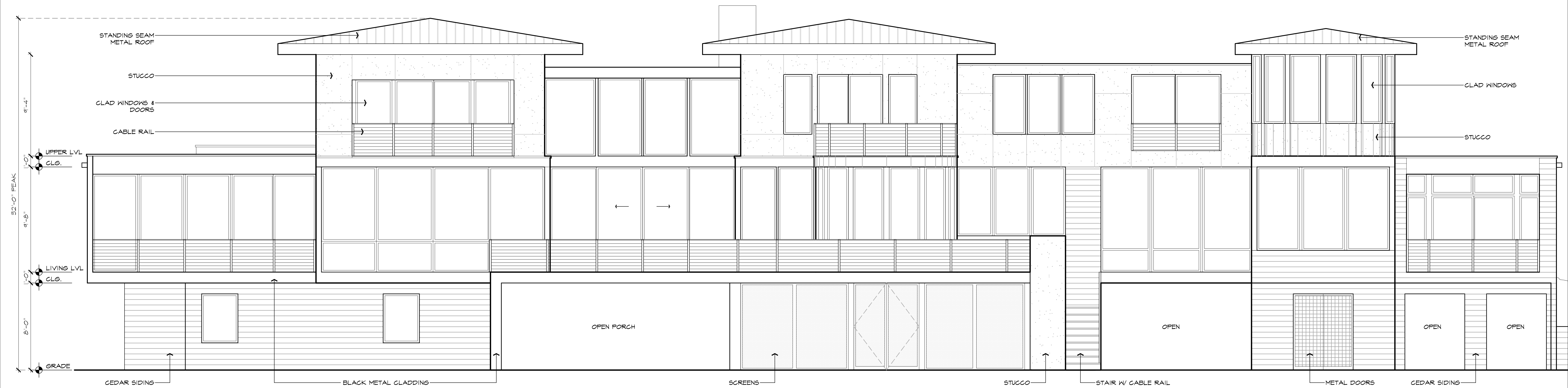
DRAWING TITLE:	
PROPOSED FRONT ELEVATION	
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1 PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"

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PROPOSED REAR ELEVATION

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1 PROPOSED RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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DRAWING TITLE:
PROPOSED RIGHT SIDE ELEVATION

ARCHITECT'S PROJECT NUMBER: 2117

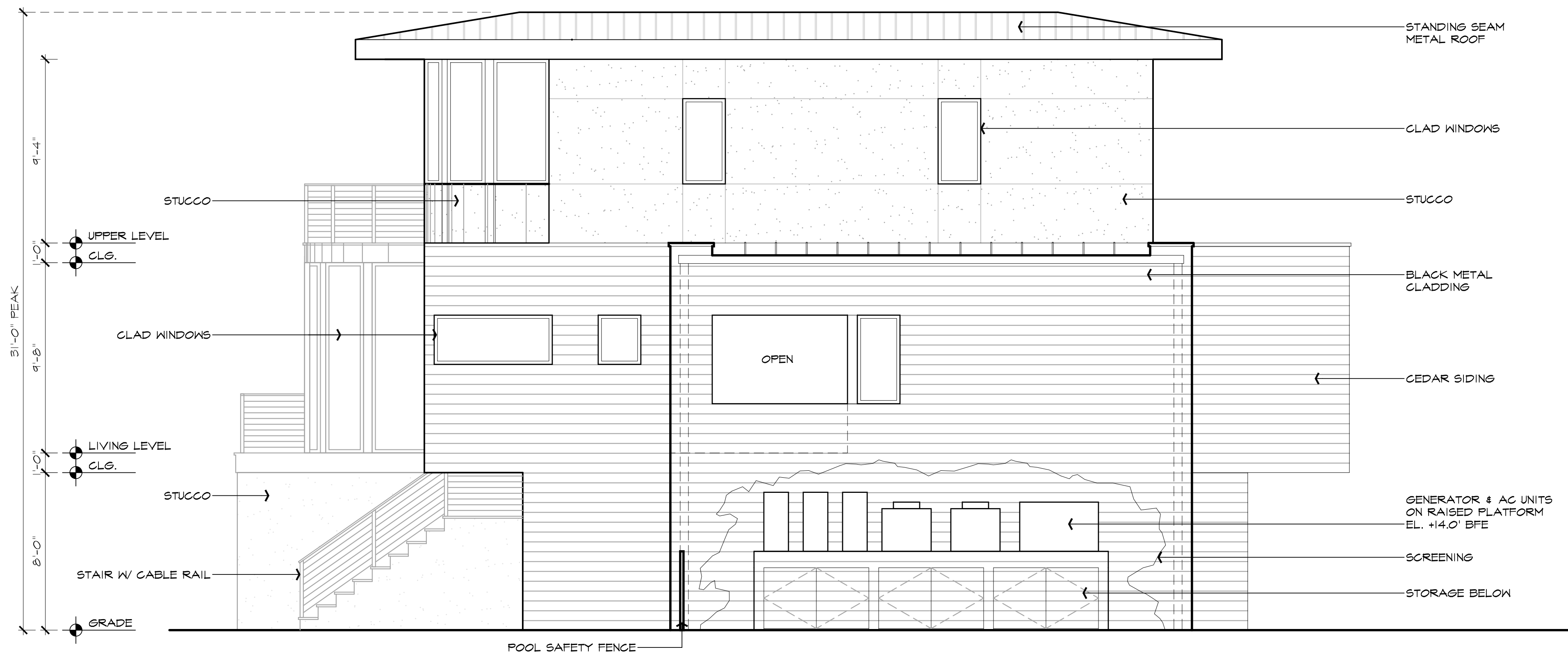
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1 PROPOSED LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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DRAWING TITLE:	
PROPOSED LEFT SIDE ELEVATION	
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ARCHITECT'S PROJECT NUMBER: 2117	
SCALE: AS NOTED	DATE:
SEAL:	DRAWING NUMBER: