



VILLAGE OF MAMARONECK

WETLANDS PERMIT APPLICATION

APPLICANT:

Robert Goodman
1013 Cove Road
Mamaroneck, NY 10543

Project Site:

4 Shore Road
Mamaroneck, NY 10580

Residential Dock

April 2021

Prepared By:



611 Access Road
Stratford, CT 06615
Tel: (203) 377-0663

Project No. 2020131

Table of Contents

Section Description

1. Wetland Permit Application
2. HCZMC Application
3. Marine Structures Form
4. Coastal Assessment Form
5. Project Plans
6. Photographs
7. Coastal Resource Map
8. Abutters
9. Survey
10. Short Environmental Assessment Form and EAF Mapper Summary Report
11. Additional Information



SECTION 1

Wetland Permit Application





Village of Mamaroneck

169 Mount Pleasant Avenue
Mamaroneck, NY 10543

WETLANDS PERMIT APPLICATION

VILLAGE OF MAMARONECK TIDAL AND FRESHWATER WETLANDS PERMIT GUIDELINES

1. Any person proposing to conduct a regulated activity upon any wetland, or within 100 feet of a wetland must file a wetlands permit application in accordance with § 192-5. Regulated activities are defined in Chapter 192 of the Village of Mamaroneck code.
2. *Fifteen (15) copies of the application and plans* must be accompanied by the application *filing fee of \$239.00 & \$3,000.00 Escrow Account* deposit is also required unless there is already an existing escrow account in connection with a related application. The applicant is responsible for all inspection costs incurred in inspecting the property. These costs are payable prior to the issuance of the permit. Two separate checks are required, both made out to the Village of Mamaroneck. The applicant is responsible for obtaining the signatures required on the affidavit and completing the application in a complete and satisfactory form. The applicant is responsible for obtaining the signatures required on the Affidavit and completing the application in a complete and satisfactory form.
3. All wetlands, streams, rivers, lakes and ponds must be clearly delineated on all plans and subdivision plats.
4. All wetlands and stream corridors must be flagged in the field, using standard orange flagging tied to existing vegetation at 30 feet intervals.
5. The extent of wetland areas is determined by either soil type or vegetation, whichever area is greater, in accordance with Chapter 192.
6. It is the applicant's responsibility to secure State Wetlands Permits, if necessary, from the Department of Environmental Conservation.
7. Permit applications for sites with existing wetland violations will not be considered.
8. All erosion control measures must be clearly delineated on all plans and subdivision plats. Applicants should consider the potential impact of their proposal on existing drainage patterns.

Your cooperation in complying with all of the listed guidelines is greatly appreciated and will help expedite review of the wetlands permit application.



Village of Mamaroneck Building Department

169 Mt. Pleasant Avenue
 Mamaroneck, N.Y. 10543
 914-777-7731 Fax 914-777-7792
www.village.mamaroneck.ny.us

Application # _____

Permit # _____

Building Permit Application

NOTE: Two sets of construction documents must be submitted with application.

1. Project address: 4 Shore Road, Mamaroneck, NY 10543

Zone	R-15	Section	155	Block	61	Lot	1-6
Existing use Residential:	<input checked="" type="checkbox"/> Single Family	<input type="checkbox"/> 2 Family	<input type="checkbox"/> Other				
Intended Use:	<input checked="" type="checkbox"/> Single Family	<input type="checkbox"/> 2 Family	<input type="checkbox"/> Other				
Existing Use Commercial:	<input type="checkbox"/> Multi Family How Many?		<input type="checkbox"/> Retail	<input type="checkbox"/> Resturant	<input type="checkbox"/> Busines		
	<input type="checkbox"/> Other (Please specify)						
Intended Use:	<input type="checkbox"/> Multi Family How Many?		<input type="checkbox"/> Retail	<input type="checkbox"/> Resturant	<input type="checkbox"/> Busines		
	<input type="checkbox"/> Other (Please specify)						
Is This a Non Conforming Use?	<input type="checkbox"/> Yes		<input type="checkbox"/> No (Please specify)				

Estimated cost: _____ **Application Fee:** _____ **Permit Fee:** _____

2. Description of work:
 The purpose of this project is to provide safe access to Long Island Sound. The applicant is proposing to install a concrete foundation, a 40' long gangway, and an 8' by 20' floating dock.

3. Owners name and address :
 Robert Goodman
 1013 Cove Road
 Mamaroneck, NY 10543
 Phone #: _____

4. Applicant name and address :
 Robert Goodman
 1013 Cove Road
 Mamaroneck, NY 10543
 E-Mail Address : Goodman@bvp.com
 Phone #: _____

5. Applicant Name (Please print): Robert Goodman **Applicants Singiture:** _____

6. Is this a new residential house? Yes No Addition Alteration

7. Is this a new commercial building? Yes No Addition Alteration

8. Municipal sewer ? Septic system?(if applicable, attached Health Dept. approval)

9. Is this structure with in the flood plaln? If yes, please file a Flood Development Permit

10. Is this project with in the tidal wetland or buffer? If yes, please file a wetland activlty permit.

11. Is this project with in the fresh water wetland or buffer? If yes, please file a wetland activity permit.

12. Is there a disturbance of land greater than 1,000 square feet ? If yes, please file a SWPPP permit per section 294.

13. Topography: Flat Hilly Rocky Steep Incline Other

14. Do you require any other board approvals? If yes please check which boards you require bellow.
 BAR Zoning Planning HCZM Other

15. Architect/Engineer name and address:

Azure Dee Steicher - RACE Coastal Engineering
611 Access Road
Stratford, CT 06615

Phone #: 203-377-0663

16. Contractor name and address:

License # :
Expiration date:

Phone #:

17. Electrician name and address:

License # :
Expiration date:

Phone #:

18. Plumbers name and address:

License # :
Expiration date:

Phone #:

19. State of ~~New York~~ Connecticut
County of ~~Westchester~~ Fairfield

I, ROBERT GOODMAN
(Name of Applicant)

being duly sworn deposes and says

He/ She is the OWNER of said property, and duly authorized
(Owner, Contractor, Agent or Corporate officer)

to perform or have performed the said work and to file this application: that all statements contained in this application are true to the best of my knowledge and belief, and that the work will be performed in the manner set forth in the application in the plans and specification filed therewith and in full compliance with New York State Codes.

Sworn to before me this 13th day of May, 2021
(Signature of Notary)

Do not write below this line office use only

 DEBRA L. OSWIECIMSKI
NOTARY PUBLIC, STATE OF CONNECTICUT
My Commission Expires July 31, 2024

- Received By: _____
- Residential Application Fee \$ 75.00
 - Commercial Application Fee \$125.00
 - License:
 - Insurance:
 - 2 Sets of drawings:
 - EAS:
 - Flood Plain Development Application if required
 - Residential Permit Fee
 - Commercial Permit Fee
 - CO or cc Fee

Building Inspector approval: _____
Date approved: _____



Village of Mamaroneck

169 Mount Pleasant Avenue
Mamaroneck, NY 10543

WETLANDS PERMIT APPLICATION

DO NOT WRITE IN THIS SPACE- FOR OFFICE USE ONLY

Application Fee Received: _____ Amount Received: _____
Maps/Survey Received: _____ List of Owners Names Received: _____
Consent of Owner Received: _____ Application Complete: _____

Application Transmitted to:

- ____ Abutting Municipality (if applicable)
- ____ Board of Trustees
- ____ Building Inspector
- ____ County Planning
- ____ Engineering Consultant
- ____ HCZMC
- ____ NYS DEC (if applicable)
- ____ Planning Board
- ____ Wetlands Consultant (if applicable)

PLANNING BOARD RECS RECEIVED: _____
APPLICATION (Date): Approved _____ Disapproved _____

Please type or print the requested information for items 1 through 13

1. Name: Robert Goodman Address: 4 Shore Road
2. City: Mamaroneck State: NY Zip Code: 10580
3. Mailing address if different from above: 1013 Cove Road, Mamaroneck, NY 10543
4. Telephone: Home: _____ Work: _____
5. Applicants Agent: Name: Azure Dee Sleicher, PE - RACE Coastal Engineering
Address: 611 Access Road, Stratford, CT 06615
6. Owner of property: Robert Goodman
7. Section: 115.061 Block: 0001 Lot: 006

8. Purpose, character and extent of proposed activity (include detailed description of activity, a map showing the affected area and the deed):

The purpose of this project is to provide safe access to Long Island Sound. The applicant is proposing to install a concrete foundation, a 40' long gangway, and an

8' by 20' floating dock.

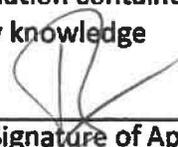
9. The following must accompany this application:

- A. **Written consent of the owner of the property if applicant is not the owner.** The Applicant is the Owner
- B. **A map showing the controlled area affected and any wetland or watercourse therein and the location, extent and nature of the proposed work** Refer to Attached Project Plans (Section 3) and Coastal Resource Map (Section 5)
- C. **A list of the names of the owners of record and lands adjacent to the wetland or adjacent area upon which the proposed project is to be undertaken and the names of known claimants of water rights which relate to any land within or within 100 feet of the boundary of the property of which the proposed regulated activity will be located**
Refer to Attached Abutter List (Section 6)
- D. **A survey and deed or other legal description describing the subject property.** Refer to Attached Survey (Section 7)

NOTE: The Village may require such additional information including a long form EAF it deems sufficient to enable it to make the necessary findings and determination.

- 10. Prior to issuance of a permit, the applicant, at the discretion of the Planning Board, may be required to file with the Village a performance bond in form and surety acceptable to the Planning board in such amount as the Village may deem sufficient to ensure the faithful performance of the work to be undertaken and the indemnification of the Village for restoration costs resulting from failure to comply.**
- 11. Any site for which an application has been submitted shall be subject to inspection upon notice to property owner and applicant at any reasonable time, including weekends and holidays, by the Building Inspector, Planning Board, or their designated representatives. By making of this application the above applicant agrees to indemnify and hold harmless the Village, its officers, agents and employees against any damage or injury that may be caused by or arise out of any entry onto the subject property in connection with the processing of the application, during construction or within one (1) year after the completion of work.**

I certify that the foregoing information and any information contained in any attachment is true and accurate to the best of my knowledge



Signature of Applicant

Subscribed and sworn to, before me this 6th day of May in the Year of 2021.

In the County of Westchester and the State of New York



Signature of Notary

GEOFFREY P. BERMAN
Notary Public, State of New York
No. 02BE6023991
Qualified in Westchester County
~~Commission Expires 05/03/200~~
Notary Stamp 2023

All fees must accompany this application in the amount prescribed by Chapter 347 "Fees" and all escrow accounts must be kept current in accordance with Chapter 176.. The applicant is responsible for all inspection costs in accordance with.

FOR PLANNING BOARD USE
ONLY

1. Recommendations received (Specify Agency/Date):

2. _____ Public hearing held:

3. _____ Notice to Property

4. _____ Notice Published

Planning Board report issued to:

a. _____ Clerk -Treasurer

b. _____ Wetlands Consultant
(if applicable)

c. _____ Building Inspector



AFFIDAVIT

I hereby certify that to the best of my knowledge no outstanding fees (including escrow sums pursuant to Chapter 176) of the Village of Mamaroneck exist for the property identified below. Furthermore, I hereby certify that to the best of my knowledge, no outstanding violation of local laws or ordinances of the Village of Mamaroneck exists with respect to the cited property or any structure or use existing thereon.

Property tax identification (please verify that the section, block, and lot number(s) provided are correct) see tax bill or contact the Assessor's Office:

Section 115.061 Block 0001 Lot 006

Owner: Robert Goodman Agent: Azure Dee Sleicher, PE - RACE Coastal Engineering

Address of property subject to application: 4 Shore Road

Type of Application: _____

Submitted to: _____

(Identify Board or Department)

Signed: _____
Owner of Record/date

Signed: _____
Agent for Permit Application /Date

GEOFFREY P. BERMAN
Notary Public, State of New York
No. 02BE6023991
Qualified in Westchester County
Notary Public
Commission Expires 05/03/2023

Notary Public _____
Date May 6, 2021

Confirmations (Do not sign if note below applies):

Signed _____
Building Inspector/Date

Signed _____
Clerk-Treasurer/Date

Signed _____
Clerk-Treasurer/ Date

Note: The processing and approval of any and all applications for approval and issuance of any permit or certificate of occupancy or use by any board or official of the Village of Mamaroneck is prohibited for any property owner who has fees outstanding under Chapter 176 & 192. The processing of applications may be prohibited when there are outstanding violations of any local laws or ordinances of the Village of Mamaroneck on the property for which the approval is being requested. If the confirmations cannot be provided, an application cannot be processed.

This affidavit must be completed and submitted with any and all applications to the Village of Mamaroneck.

SECTION 2

HCZMC Application





VILLAGE OF MAMARONECK
HARBOR & COASTAL ZONE MANAGEMENT COMMISSION
APPLICATION

HCZM meets on the third Wednesday of the month, 7:30PM, Village Hall Courtroom, 169 Mt. Pleasant Ave.

INSTRUCTIONS (please print or type all answers)

Except as otherwise provided in Chapter 240 of the Village Code, prior to an action or approval of an action by an agency of the Village, such action shall be determined to be consistent, to the maximum extent practicable, with the policies of the Village of Mamaroneck Local Waterfront Revitalization Program. Except for actions, undertaken, funded or approved by the Board of Trustees, the determination of consistency shall be made by the Harbor Coastal Zone Management Commission.

For direct agency actions, the agency shall complete, and for approval of an action, the agency shall cause the applicant to complete, a coastal assessment form (CAF). The CAF shall be completed prior to the agency's determination of the environmental significance pursuant to the State Environmental Quality Review Act.

Where any question on the CAF is answered "yes", a brief and precise description of the nature and extent of the action shall be provided on the CAF, and a copy of the CAF shall be forwarded to the Harbor and Coastal Zone Management Commission.

I. 15 copies of the application and supporting documents should be submitted to the Building Dept. for review by the Bldg. Inspector to place on the HCZM Agenda.

- Short Environmental Assessment Form (for Unlisted and Type II actions only)
- Full Environmental Assessment Form (if Type I action)
- Construction drawing plans certified and signed by an architect or engineer licensed by the State of New York
- Topographical survey by a licensed land surveyor dated within one year w/FEMA lines
- Completed Building Permit Application
- Elevation Certificate showing compliance with FEMA by a licensed architect or engineer licensed by the State of New York.
- Soil Erosion Mitigation Plan - See Building Department for details
- Storm Water Management Plan - See Building Department for details
- If Perimeter Permit or Marine Structure Permit is required, proof of compliance with applicable notice requirements must be provided.
- Coastal Assessment Form

II. Address of property 4 Shore Road, Mamaroneck, NY. Has this property come before this Commission within the past 3 years or a former Harbor & Coastal Zone Management Commission? If so, when? Click here to enter a date.
Feb 13, 2019 (date).

III. It is the applicant's obligation to determine whether permitting is required by any state/federal agencies including but not limited to the Department of State Dept. of Environmental Conservation, NY State Army Corp of Engineers or Federal Consistency Review.

It is also the applicant's obligation to determine if any other local permits or approvals (e.g. Zoning, Planning, BAR, etc.) are or are not required for the action for which they seek review. The applicant will provide copies of all permit(s) obtained.

IV. DESCRIPTION OF PROPOSED ACTION

A. Type of Action – is action a direct agency action (an action planned and proposed for implementation by the Village of Mamaroneck) or does it involve the application for an approval or permit to be granted by a Village agency? Check one:

1. Direct Agency Action
2. Application for an Approval

If this is an Application for an Approval or Permit, identify which board or commission has the permit authority? Click here to enter text.

B. Describe nature and extent of proposed activity: Installation of a 3' x 40' gangway and 8' x 20' floating dock on Long Island Sound.

C. Location of proposed activity (include street or site description):
4 Shore Road, Mamaroneck, NY

D. Will the action to be directly undertaken, require funding or approval by either a state or federal agency? No Yes

If yes, which state or federal agency? Click here to enter text.
NY DEC, USACE

V. If an application for the proposed action has been filed with the agency, the following information shall be provided:

*Applicant Name: Robert Goodman
Property Owner Name: Robert Goodman
Mailing Address: 1013 Cove Road, Mamaroneck, NY 10580
Phone: _____

The foregoing information is affirmed by _____
(signed by person having a possessory interest in the property)

Date: 5/6/21

*This application must be made in the name of and signed by a person or entity that has a possessory interest in the property such as a tenant, purchaser or owner.

- (i) If you are the property owner, on what date did you acquire title? _____
If you have acquired title to the property within the past two years, provide the name of the prior owner(s):

- (ii) If you are not the property owner, list the name and address of the owner and describe your relationship to the property and the date said relationship commenced:

- (iii) If you are not the property owner, written consent of the owner must be submitted with this application.

NOTE:

If the Applicant or Property Owner is a:

Corporation: Attach a separate rider listing all the corporation's officers, shareholders, and their percentage of share ownership.

Partnership: Attach a separate rider listing the type of partnership and identify the partners and their partnership interest.

LLC: Attach a separate rider listing the LLCs members.

SECTION 3

Marine Structures Form





BUILDING DEPARTMENT
VILLAGE OF MAMARONECK

APPLICATION FOR ERECTING A MARINE STRUCTURE*

IN THE WATERS OF THE VILLAGE OF MAMARONECK

*(See Definition, Pg. 3)

DATE: _____

APPLICATION FOR ERECTING MARINE STRUCTURE AT: _____

APPLICANT: _____ OWNER/ LESSEE of PROPERTY: _____

PHONE NUMBER: _____ EMAIL ADDRESS: _____

GENERAL CONTACTOR: _____

INSTRUCTIONS

- A. This application must be completely filled out and submitted to the Harbor Master no later than the first Tuesday of the month to be put on the agenda of the Harbor commission, which meets on the third Tuesday of each month.
- B. Upon approval by the Harbor Commission, the applicant can proceed with an application to other required agencies within the Village of Mamaroneck. Depending on the nature of your project, and its location, you may need to obtain the following approvals; and it is your responsibility to contact these agencies. Applicant must check with the following Federal, State, and Local Agencies to determine whether their approvals, permits, and certificates are required for this project:

- 1. U.S. Army Corps of Engineers
- 2. N.Y. State Dept. of Environmental Conservation
- 3. Department of State, Office of Coastal Zone Management
- 4. Village of Mamaroneck, Coastal Zone Management Commission
- 5. Environmental Protection Agency
- 6. Office of General services, State of New York
- 7. Landmarks Advisory Committee, Village of Mamaroneck

Marine Structures Permit

Please check with the Building Department for applicability to your project. The applicant must check to see whether they are required. The Village will attempt to provide guidance, but only those other entities can provide definitive information. After receiving all other approvals, applicant returns with these signed approvals to the Building Department for a Building Permit. The work covered by this application may commence before issuance of the Building Permit.

- C. This application must be accompanied by 16 sets of complete construction drawings by an architect or engineer licensed by the State of New York showing the details of the structure being built (e.g. size and type of materials and fasteners, etc.); sufficient information on conditions in the surrounding area should be shown so that the effect of the proposed structure on navigation and similar use of the waterway by adjacent owners may be determined. Include names and addresses of adjacent owners within 400 feet as well as all owners affected on either land or water by the proposed structure. Drawings should be scaled at 1/4" = 1 foot. Maps submitted must be at a scale of not less than 30 feet to the inch, while the project location map should be at a scale of 200 feet to the inch.
- D. Drawings must be accompanied by a copy of a survey by a licensed land surveyor showing existing conditions. Such plot plan must also show adjacent properties.
- E. The Building Permit will be issued by the Building Department to the applicant together with approved duplicate set of plans and specifications. Such permit, approved plans and specifications shall be kept on the premises available for inspection throughout the progress of the work.
- F. Applicant is responsible for building structure as per approved drawings. Inspection for compliance will be made by the Building Inspector or appointed agents.
- G. This structure shall not be used in whole or in part for any purpose whatever until a certificate of occupancy shall have been granted by the Building Department.

NAME OF OWNER OF PREMISES: _____

STATE WHETHER APPLICANT IS THE OWNER, LESSEE, AGENT, ARCHITECT, ENGINEER OR BUILDER:

IF APPLICANT IS A CORPORATION, SIGNATURE OF DULY AUTHORIZED OFFICER:

(Name & Title of Corporate Officer)

1. Location of land from Village Tax Map: SECTION 115.061, BLOCK 0001, LOT 006
2. Use of upland property: _____ Business _____ Proposed Residence
 Existing Residence, Other: _____
3. Use of proposed waterway structure: _____ Commercial Non-Commercial
4. Description of proposed work and estimated cost: To install a 3' x 40' aluminum gangway and 8' x 20' floating dock supported by 4 anchor piles.
5. Name of Compensation Insurance Carrier: _____
 Policy Number: _____ Date of Expiration: _____
6. Electrical and plumbing work will be performed by N/A, and permits obtained from the Village of Mamaroneck.
7. Electrical work will be inspected by: N/A, and a certificate of Approval obtained from, the New York Board of Fire Underwriters.

STATE OF NEW YORK

COUNTY OF WESTCHESTER

I, Robert Goodman being duly sworn deposes and says that he/she is the applicant above named. He is the Owner (Owner, Contractor, Agent, Corporate Officer, etc.) or said owner or owners, and is duly authorized to perform or have performed the said work and to make and file this application; that all statements contained in this application are true to the best of his knowledge and belief, and that the work will be performed in the manner set forth in the application and in the plans and specifications filed therewith.

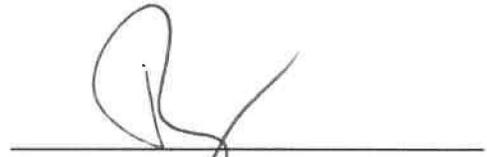
Sworn to before me this 6th

Day of May year 2021



Notary Public

GEOFFREY P. BERMAN
 Notary Public, State of New York
 No. 02BE6023991
 Qualified in Westchester County
 Commission Expires 05/03/~~200~~
2023



Signature of Applicant

Chapter 240 -5 Definitions

MARINE STRUCTURES Any structure, including but not limited to jetties, groins, breakwaters, bulkheads, floats, piers, boathouses, moorings and/or docks in or upon any waters or underwater lands within the Village of Mamaroneck or bounding the Village of Mamaroneck to a distance of 1,500 feet from shore.

SECTION 4

Coastal Assessment Form



COASTAL ASSESSMENT FORM

I. Instructions

A. In accordance with Chapter 240 of the Village Code, proposed actions are to be reviewed to determine their consistency with the policies of the Village of Mamaroneck Local Waterfront Revitalization Program. This Coastal Assessment form is intended as an aid to that review.

B. As early as possible in an agency's formulation of a direct action or as soon as an agency receives an application for approval of an action, the agency shall do the following:

1. For direct agency actions, the agency shall complete this Coastal Assessment Form. This CAF shall be completed prior to the agency's determination of environmental significance under SEQRA.
2. Where applicants are applying for approvals, the agency shall cause the applicant to complete this Coastal Assessment Form, which shall be completed and filed together with the applications for approval and Environmental Assessment Form.
3. Unless the application is being undertaken, funded or approved by the Board of Trustees or is otherwise exempted under Chapter 240 of the Village Code, CAFs shall be forwarded to the Harbor Coastal Zone Management Commission for a determination of consistency. Where the action is being undertaken, funded or approved by the Board of Trustees, the Harbor Coastal Zone Management Commission shall be provided with a copy of the CAF for purposes of making a written recommendation on consistency to be forwarded to the Board of Trustees to assist that Board in determining consistency of the application. If an action cannot be certified as consistent to the maximum extent practicable with the coastal policies, it shall not be undertaken.

C. Before answering the questions in Section II, the preparer of this form should review the coastal policies contained in the LWRP. A proposed action should be evaluated as to its significant beneficial and adverse effects upon the coastal area.

Applicant Name: Robert Goodman

Address: 4 Shore Road, Mamaroneck, NY 10580

Phone: _____

Mailing Address:
Robert Goodman
1013 Cove Road
Mamaroneck, NY 10543

II. Coastal Assessment Form (Check either "Yes" or "No" for each of the following questions).
(See Chapter 240 of the Village Code for additional information.)

A. Will the proposed action be located in, or contiguous to, or to have a significant effect upon any of the resource areas identified in the Local Waterfront Revitalization Program?

(Check) Yes or No

- | | | |
|--|-------------------------------------|--------------------------|
| 1. Significant fish/wildlife habitats (7, 7a, 44) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Flood Hazard Areas (11, 12, 17) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Tidal or Freshwater Wetland (44) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Scenic Resource (25) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 5. Critical Environmental Areas (7, 7a, 8, 44) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 6. Structures, sites or sites districts of historic, Archeological or cultural significance (23) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

B. Will the proposed action have a significant effect on any of the following?

- | | | |
|---|-------------------------------------|-------------------------------------|
| 1. Commercial or recreational use of the fish and wildlife resource (9, 10) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 2. Development of the future or existing water-dependent uses (2) | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Land and water uses (2, 4) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4. Existing or potential public recreation opportunities (2, 3) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 5. Large physical change to a site within the coastal area which will require the preparation of an environmental impact statement (11, 13, 17, 19, 22, 25, 37, 38) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 6. Physical alteration of one or more areas of land along the shoreline, land under water or coastal waters (2, 4, 11, 12, 17, 20, 28, 35,44) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 7. Physical alteration of three or more acres of land located elsewhere in the coastal area (11, 12, 17, 33, 37, 38) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 8. Sale or change in use of state-owned lands, located under water (2, 4, 19, 20, 21) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 9. Revitalization/redevelopment of deteriorated or underutilized waterfront site (1) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 10. Reduction of existing or potential public access to or along coastal waters (19, 20) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 11. Excavation or dredging activities or the placement of fill materials in coastal waters of Mamaroneck (35) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 12. Discharge of toxic, hazardous substances, or other pollutants into coastal waters of Mamaroneck (34, 35, 36) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 13. Draining of storm water runoff either directly into coastal waters of Mamaroneck or into any river or tributary which empties into them (33, 37) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 14. Transport, storage, treatment or disposal of solid waste or hazardous materials (36, 39) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 15. Development affecting a natural feature which provides protection against flooding or erosion (12) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

C. Will the proposed activity require any of the following:

- 1. Waterfront site (2, 4, 6, 19, 20, 21, 22)
- 2. Construction or reconstruction of a flood or erosion control structure (13, 14)

III. Remarks or Additional Information Click here to enter text.

Refer to Attachment

Preparer's
Signature: *Azure Dee Steicher* Date: 5/11/21
Preparer's Name/Title: Azure Dee Steicher, PE
Company: BACE Coastal Engineering, PC
Address: 611 Access Road, Stratford, CT 06615

Reference is made to the policies described within the City of Rye Local Waterfront Revitalization Program (LWRP). Based upon questions in the COASTAL ASSESSMENT section, Policies potentially affected by the proposed work include:

- Policy 2
- Policy 4
- Policy 6
- Policy 7
- Policy 7a
- Policy 8
- Policy 11
- Policy 12
- Policy 17
- Policy 19
- Policy 20
- Policy 21
- Policy 22
- Policy 23
- Policy 25
- Policy 44

POLICY 2- Facilitate the siting of water dependent uses and facilities on or adjacent to coastal waters.

This site is a residential facility with proposed plans to extend water dependent uses, including swimming, boating, and wildlife viewing. As such, the residential use of these water dependent activities is evaluated below and considered consistent with Policy 2.

POLICY 4- Strengthen the economic base of smaller harbor areas by encouraging the development and enhancement of those traditional uses and activities which have provided such areas with their unique maritime identity.

This project will provide waterfront access to Long Island Sound for the resident to participate in water-dependent uses such as swimming, and boating.

POLICY 6- Expedite permit procedures in order to facilitate the siting of development activities at suitable locations.

This project has already gone through the permitting procedures for the State of New York.

POLICY 7- Significant coastal fish and wildlife habitats shall be protected, preserved and, where practical, restored so as to maintain their viability as habitats.

This project is not located within a significant fish and wildlife habitat, as seen on the NY DOS Coastal Boundary map and is not anticipated to impact such habitats. As such, the proposed project is consistent with this policy.

POLICY 7a-The following areas are specifically identified as significant fish and wildlife habitats; and they will be protected, preserved, and where practical, restored so as to maintain their viability as habitats.



The project is not located in any of the aforementioned locations. As such, it is compliant with this policy.

POLICY 8- Protect fish and wildlife resources in the coastal area from the introduction of hazardous wastes and other pollutants which bioaccumulate in the food chain or which cause significant sublethal orlethal effect on those resources.

This project will not introduce any hazardous waste or pollutants.

POLICY 11- Buildings and other structures will be sited in the coastal area so as to minimize damage to property and the endangering of human lives caused by flooding and erosion.

The gangway and dock will be designed to industry standards (New York State Building Code) to minimize damage to property and endangering human lives caused by flooding and erosion. The floating dock will be removed seasonally and maintained after storm events. As such, the proposed project is consistent with this policy.

POLICY 12- Activities or development in the coastal area will be undertaken so as to minimize damage to natural resources and property from flooding and erosion by protecting natural protective features including beaches, dunes, barrier islands and bluffs.

Proposed work to the existing seawall to install the gangway landing and the impact to existing protective features will be minimal. The proposed gangway and floating dock will be designed and constructed for stability under prescribed load cases including base flood. As such, the proposed project is consistent with this policy.

POLICY 17- Whenever possible, use non-structural measures to minimize damage to natural resources and property from flooding and erosion. Such measures shall include: (1) the set back of buildings and structures; (2) the planting of vegetation and the installation of sand fencing and draining; (3) the reshaping of bluffs; and (4) the flood-proofing of buildings or their elevation above the base flood level.

Not Applicable - the proposed dock will not impact flooding and erosion at the site.

POLICY 19- Protect, maintain, and increase the level and types of access to public water-related recreation resources and facilities.

This project will increase access to water-related recreation for the applicant.

POLICY 20- Access to the publicly-owned foreshore and to lands immediately adjacent to the foreshore or the water's edge that are publicly-owned shall be provided, and it shall be provided in a manner compatible with adjoining uses.

N/A. The project will not affect publicly-owned fore shore or adjacent lands thereof.



POLICY 21- Water dependent and water enhanced recreation will be encouraged and facilitated, and will be given priority over non-water related used along the coast, provided it is consistent with the preservation and enhancement of other coastal resources and takes into account demand for such facilities. In facilitating such activities, priority shall be given to areas where access to the recreation opportunities of the coast can be provided by new or existing public transportation services and to those areas where the use of the shore is severely restricted by existing development.

The proposed project will not adversely impact water-dependent uses on other sites. The proposed project will extend recreational water-dependent facilities for the resident. As such, the proposed project is consistent with this policy.

POLICY 22- Development, when located adjacent to the shore, will provide for water related recreation, as a multiple use, whenever such recreational use is appropriate in light of reasonably anticipated demand for such activities and the primary purpose of the development.

The water-front work and dock will provide recreational access to the resident. The proposed project will not adversely impact water-dependent uses on other sites. As such, the proposed project is consistent with this policy.

POLICY 23- Protect, enhance and restore structures, districts, areas or sites that are of significance in the history, architecture, archaeology or culture of the State, its communities, or the Nation.

This project will not affect areas of significance.

POLICY 25- Protect, restore or enhance natural and man-made resources which are not identified as being of statewide significance, but which contribute to the overall scenic quality of the coastal area.

The proposed dock will not impact the scenic quality of the coastal area.

POLICY 44- Preserve and protect tidal and freshwater wetlands and preserve the benefits derived from these areas.

There are no long-term adverse impacts to the tidal wetlands associated with the proposed work. Existing tidal wetlands will be preserved. As such, the proposed project is consistent with this policy.



SECTION 5

Project Plans



ROBERT GOODMAN 4 SHORE ROAD DOCK

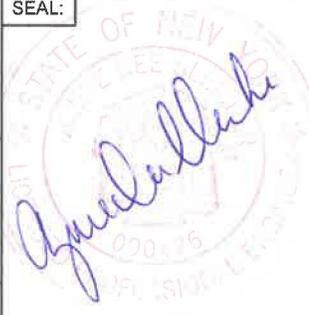
DRAWING LIST	
DRAWING No.	DRAWING TITLE
1	TITLE SHEET & GENERAL NOTES
2	VICINITY MAP
3	SITE PLAN
4	PROPOSED PARTIAL PLAN
5	EXISTING AND PROPOSED SECTIONS A-A

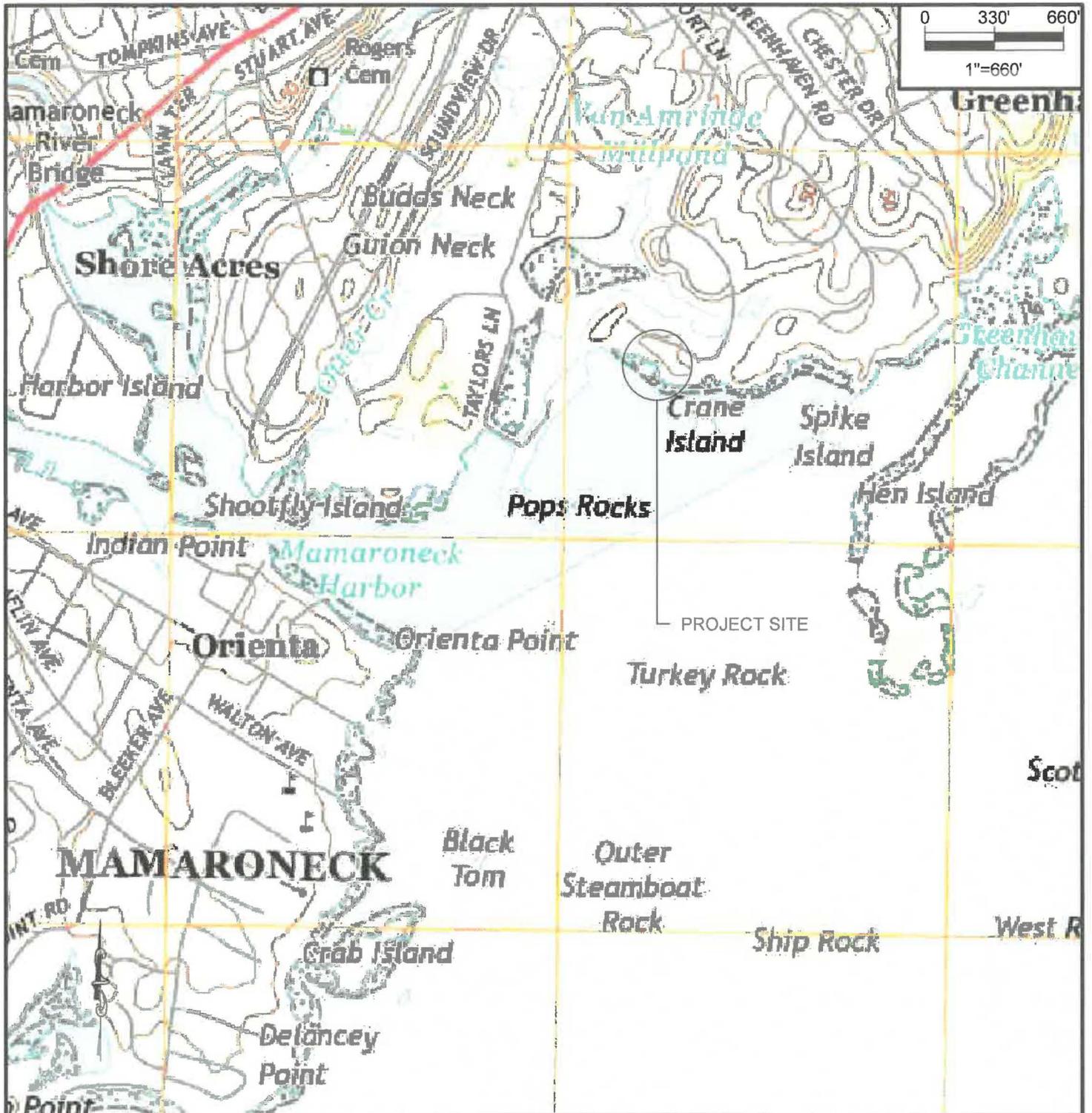
GENERAL NOTES

1. THE PURPOSE OF THESE DRAWINGS ARE FOR REGULATORY REVIEW ONLY.
2. VICINITY MAP TAKEN FROM USGS MAMARONECK, NY-CT QUADRANGLE.
3. ELEVATIONS REFERENCE NAV88, UNLESS NOTED OTHERWISE.
4. THIS SITE INFORMATION HAS BEEN TAKEN FROM A DRAWING TITLED "4 SHORE ROAD LANDSCAPE DEVELOPMENT REVISED GRADING", PREPARED FOR ROBERT GOODMAN, BY JANICE PARKER LANDSCAPE ARCHITECTS, DATED 3/30/2020.
5. SUPPLEMENTARY INFORMATION OBTAINED BY RACE COASTAL ENGINEERING, LLC ON 12/09/2020 AND ONLY REPRESENT THE SITE CONDITIONS AT THAT TIME.
6. TIDAL ELEVATION DATA HAS BEEN TAKEN FROM BENCH MARK SHEET FOR 8518091, RYE BEACH, AMUSEMENT PARK NY FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION TIDES AND CURRENTS WEBSITE.

PROJECT TIDAL ELEVATIONS:

DATUM	NAVD 88 (FT)	NGVD 29 (FT)	MLW (FT)
HIGH TIDE LINE (HTL)	+6.7	+7.8	+10.6
MEAN HIGH WATER (MHW)	+3.4	+4.5	+8.3
NAVD 88	0.0	+1.1	+3.9
NGVD 29	-1.1	0.0	+2.8
MEAN LOW WATER (MLW)	-3.9	-2.8	0.0

 <p>611 Access Road Stratford, CT 06615 Tel: 203-377-0663 racecoastal.com</p>	Prepared For: <p style="text-align: center;">ROBERT GOODMAN 1013 COVE ROAD MAMARONECK, NY 10543</p>	SEAL: 	Date: 11-24-2020	Rev.:	
	Project: <p style="text-align: center;">RESIDENTIAL DOCK 4 SHORE ROAD MAMARONECK, NY 10580</p>		Drawn By: SLB	Checked By: ADS	
	ALL RIGHTS RESERVED. ©2020 RACE COASTAL ENGINEERING, LLC.		NOT FOR CONSTRUCTION FOR REGULATORY REVIEW ONLY	Datum: NAVD88	Scale: N/A
	NOT VALID WITHOUT ENGINEER'S SEAL		Project No.: 2020131	Drawing No.: 1 of 5	



VICINITY MAP



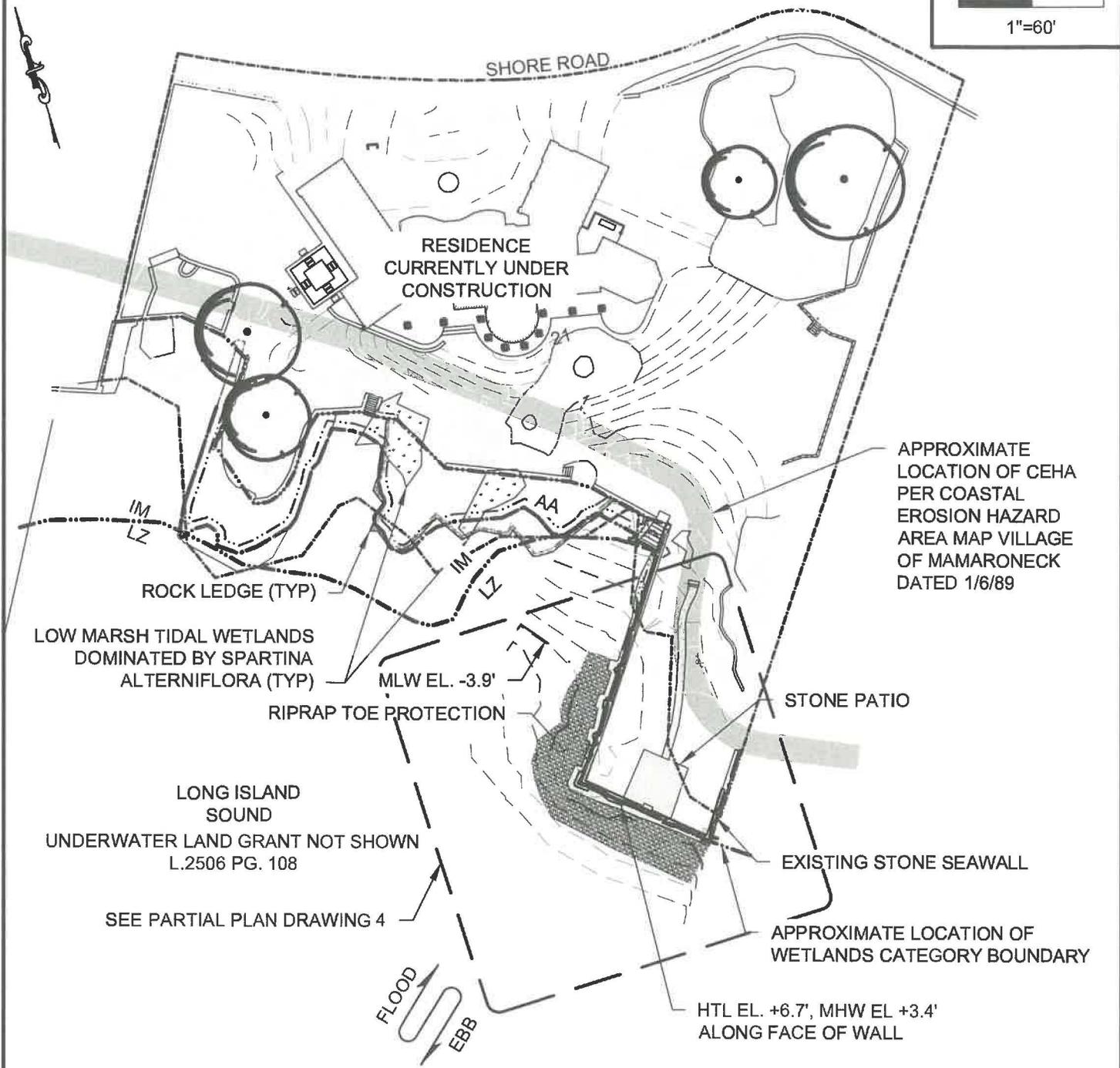
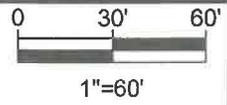
611 Access Road Stratford, CT 06615
Tel: 203-377-0663 racecoastal.com

Prepared For:
ROBERT GOODMAN
 1013 COVE ROAD
 MAMARONECK, NY 10543

Project:
RESIDENTIAL DOCK
 4 SHORE ROAD
 MAMARONECK, NY 10580

SEAL:

Date:	Rev.:
11-24-2020	
Drawn By:	Checked By:
SLB	ADS
Datum:	Scale:
NAVD88	1"=660'-0"
Project No.:	Drawing No.:
2020131	2 of 5



APPROXIMATE LOCATION OF CEHA PER COASTAL EROSION HAZARD AREA MAP VILLAGE OF MAMARONECK DATED 1/6/89

EXISTING SITE PLAN

RACE
COASTAL ENGINEERING

611 Access Road Stratford, CT 06615
Tel: 203-377-0663 racecoastal.com

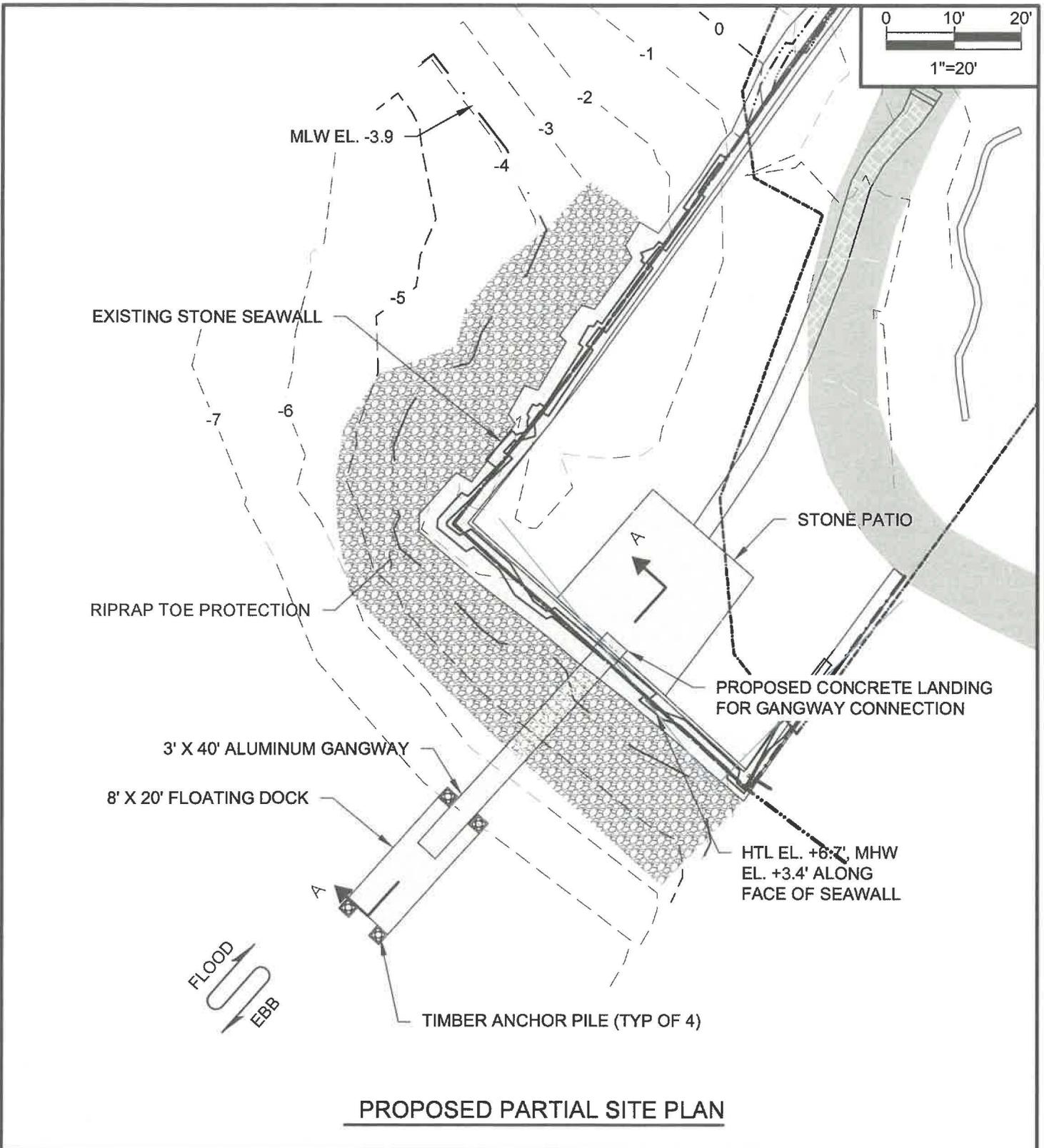
Prepared For:
ROBERT GOODMAN
 1013 COVE ROAD
 MAMARONECK, NY 10543

Project:
RESIDENTIAL DOCK
 4 SHORE ROAD
 MAMARONECK, NY 10580

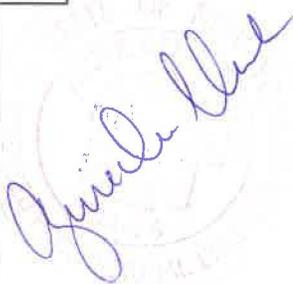
SEAL.

NOT VALID WITHOUT ENGINEER'S SEAL

Date:	11-24-2020	Rev.:	
Drawn By:	SLB	Checked By:	ADS
Datum:	NAVD88	Scale:	1"=60'-0"
Project No.:	2020131	Drawing No.:	3 of 5



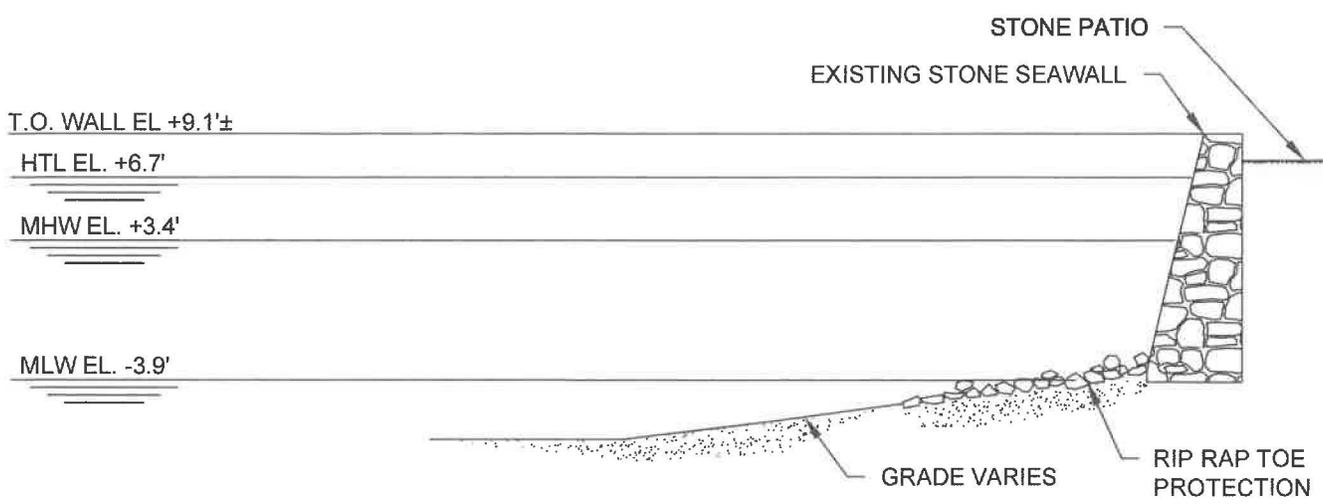
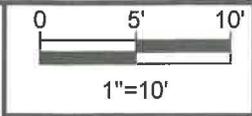
PROPOSED PARTIAL SITE PLAN

 <p>611 Access Road Stratford, CT 06615 Tel: 203-377-0663 racecoastal.com</p>	Prepared For:	ROBERT GOODMAN 1013 COVE ROAD MAMARONECK, NY 10543	SEAL:	Date:	Rev.:
	Project:	RESIDENTIAL DOCK 4 SHORE ROAD MAMARONECK, NY 10580		11-24-2020	
				Drawn By:	Checked By:
				SLB	ADS
				Datum:	Scale:
				NAVD88	1"=20'-0"
				Project No.:	Drawing No.:
				2020131	4 of 5

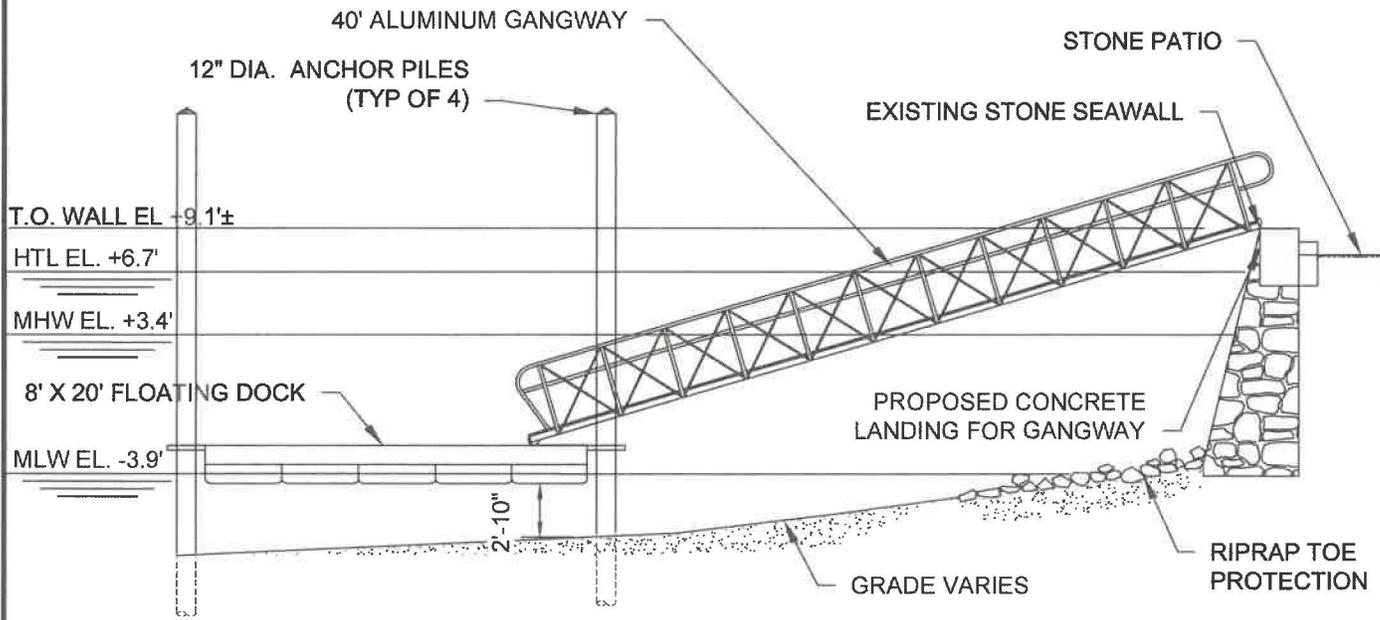
ALL RIGHTS RESERVED.
©2020 RACE COASTAL ENGINEERING, LLC.

NOT FOR CONSTRUCTION
FOR REGULATORY REVIEW ONLY

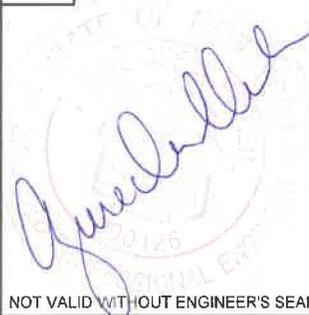
NOT VALID WITHOUT ENGINEER'S SEAL



EXISTING SECTION A-A



PROPOSED SECTION A-A

 <p>611 Access Road Stratford, CT 06615 Tel: 203-377-0663 racecoastal.com</p>	Prepared For:	SEAL:	Date:	Rev.:	
		ROBERT GOODMAN 1013 COVE ROAD MAMARONECK, NY 10543		11-24-2020	
	Project:	RESIDENTIAL DOCK 4 SHORE ROAD MAMARONECK, NY 10580		Drawn By:	Checked By:
				SLB	ADS
				Datum:	Scale:
		NAVD88		1"=10'-0"	
ALL RIGHTS RESERVED. ©2020 RACE COASTAL ENGINEERING, LLC.	NOT FOR CONSTRUCTION FOR REGULATORY REVIEW ONLY	NOT VALID WITHOUT ENGINEER'S SEAL	Project No.:	Drawing No.:	
			2020131	5 of 5	

SECTION 6

Photographs





Figure 1: Stone Patio and Lawn Looking North, 12/9/2020



Figure 2: Stone Ledge Looking Northwest, 12/9/2020



Figure 3: Stone Seawall and Buttresses Looking Southeast, 12/9/2020



Figure 4: Waterward Face of Wall, Rip Rap Toe Protection Looking Southeast, 12/9/2020



Figure 5: Adjacent Stone Ledge and Existing Seawall Looking Northwest, 12/9/2020



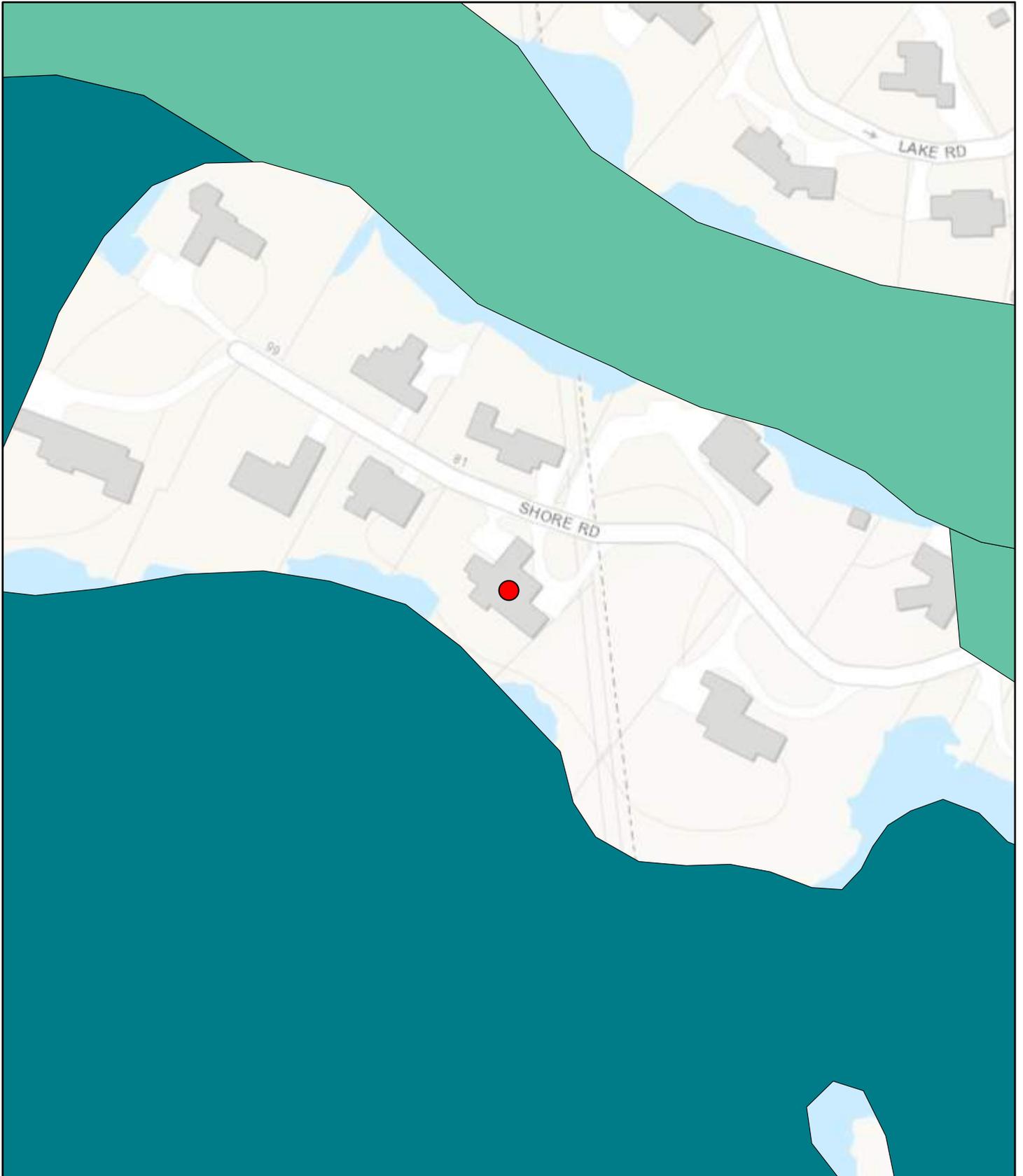
Figure 5: Photo Map

SECTION 7

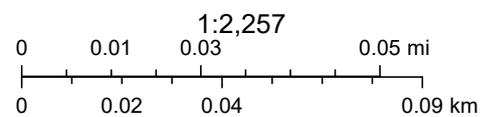
Coastal Resource Map



4 Shore Road Environmental Resource Map



December 2, 2020



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

NYS Department of Environmental Conservation
Not a legal document

SECTION 8

Abutters



Abutters

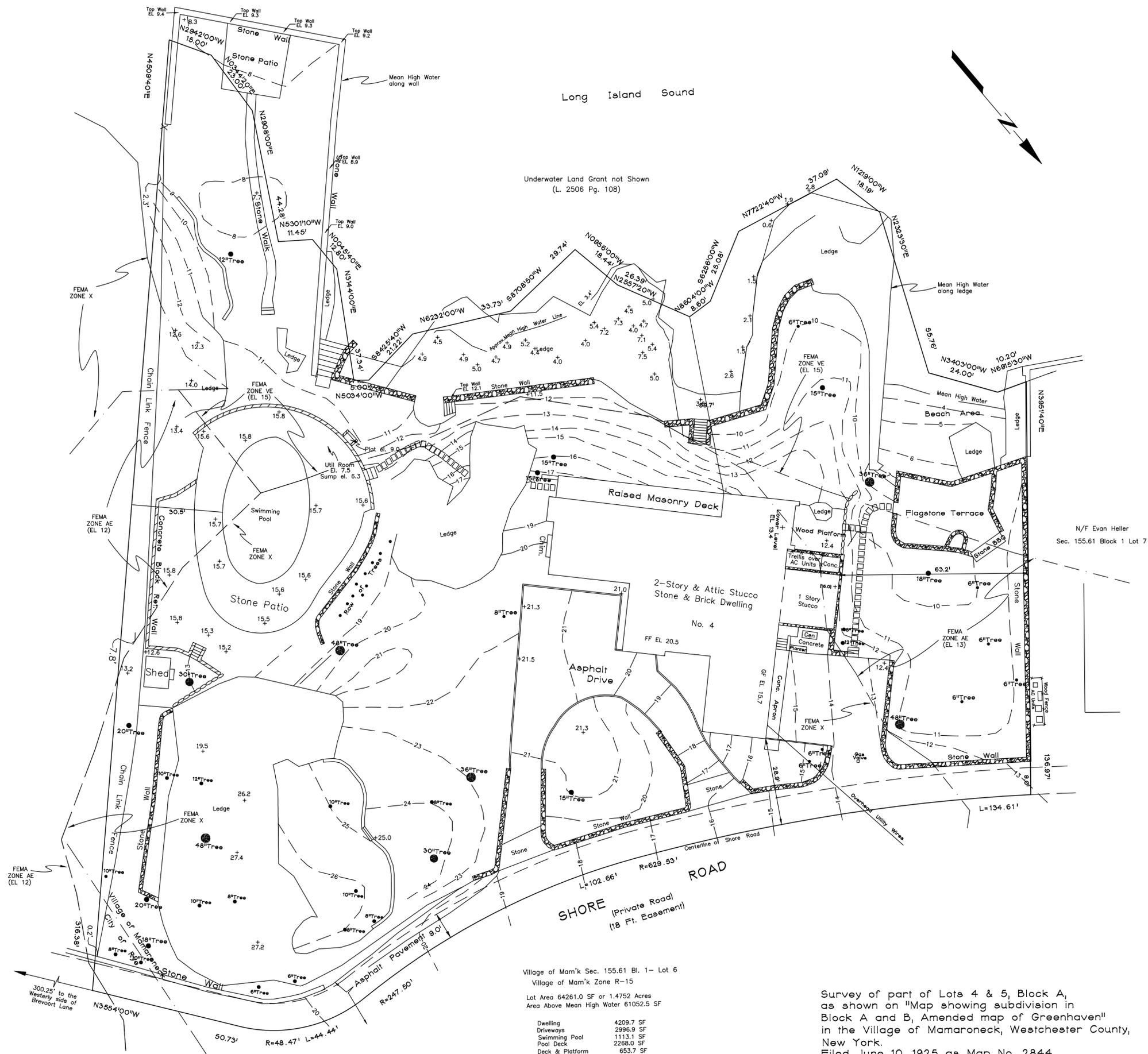
OWNER NAME	ADDRESS	CITY	ZIP
Goodman, Robert	4 Shore Rd	Mamaroneck	10580
ABUTTER'S (100') OWNER NAME	ADDRESS	CITY	ZIP
Fensterstock, Jay	14 Shore Rd	Mamaroneck	10543
Neubardt Elizabeth Pressman	12 Shore Rd	Mamaroneck	10543
Gottlieb, Bonni	10 Shore Rd	Mamaroneck	10543
Martino Denise R	2 Shore Rd	Mamaroneck	10543
Heller, Evan	3 Shore Rd	Mamaroneck	10543
Ames, Steven	Greenhouse Cir.	Rye	10580



SECTION 9

Survey





Long Island Sound

Underwater Land Grant not Shown
(L. 2506 Pg. 108)

N/F Evan Heller
Sec. 155.61 Block 1 Lot 7

Village of Mam'k Sec. 155.61 Bl. 1- Lot 6
Village of Mam'k Zone R-15

Lot Area 64261.0 SF or 1.4752 Acres
Area Above Mean High Water 61052.5 SF

Dwelling	4209.7 SF
Driveways	2996.9 SF
Swimming Pool	1113.1 SF
Pool Deck	2268.0 SF
Deck & Platform	653.7 SF
Stone Terraces	669.6 SF
Steps	145.1 SF
Walls	1615.0 SF
Shed	84.7 SF
Stone BBQ	41.9 SF
Walks	330.7 SF
Street Pavement	3567.2 SF
AC Conc. Slab	92.7 SF
Total	17788.3 SF
Lot coverage	27.7%
Lot coverage above MHW	29.1%

Survey of part of Lots 4 & 5, Block A,
as shown on "Map showing subdivision in
Block A and B, Amended map of Greenhaven"
in the Village of Mamaroneck, Westchester County,
New York.
Filed June 10, 1925 as Map No. 2844

Scale 1"=20'
September 30, 2006
May 18, 2009 (Updated)
July 17, 2018 (topographical)

Richard A. Spinelli
650 Halstead Ave.
Mamaroneck, N. Y. 10543
(914) 381-2357
N.Y.S. Lic. Land Surveyor
No. 49240

SECTION 10

Short Environmental Assessment Form and EAF Mapper Summary Report



Short Environmental Assessment Form

Part 1 - Project Information

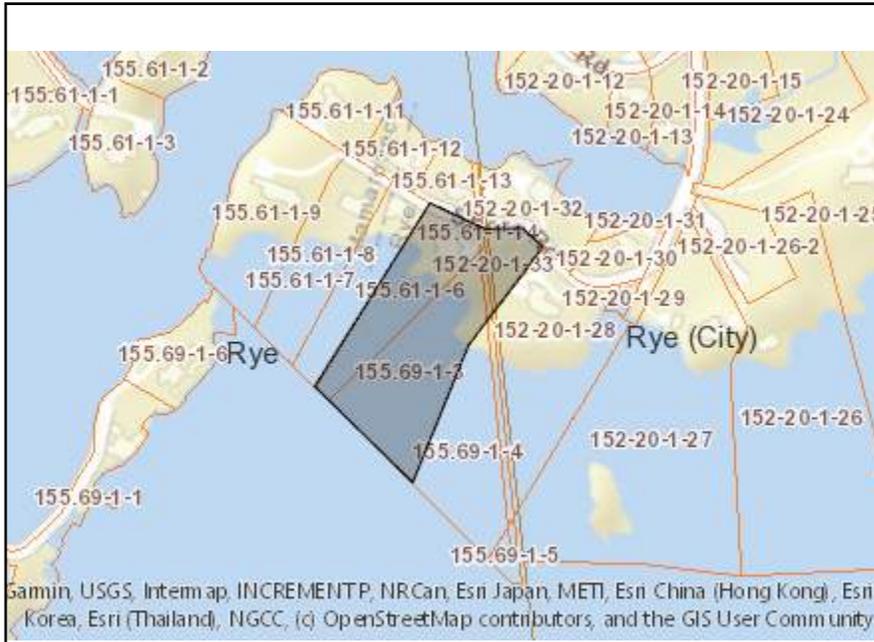
Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
Name of Action or Project:				
Project Location (describe, and attach a location map):				
Brief Description of Proposed Action:				
Name of Applicant or Sponsor:		Telephone:		
		E-Mail:		
Address:				
City/PO:		State:	Zip Code:	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres				
b. Total acreage to be physically disturbed? _____ acres				
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres				
4. Check all land uses that occur on, are adjoining or near the proposed action:				
5. Urban Rural (non-agriculture) Industrial Commercial Residential (suburban)				
<input type="checkbox"/> Forest Agriculture Aquatic Other(Specify):				
<input type="checkbox"/> Parkland				

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	Yes
Part 1 / Question 7 [Critical Environmental Area - Identify]	Name:Long Island Sound, Name:Van Amringe Mill Pond, Reason:Exceptional or unique character, Reason:Protect water & natural area, Agency:Westchester County, Agency:Mamaroneck, Village of, Date:1-31-90, Date:12-25-80
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	Yes
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No

SECTION 11

Additional Information



NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 3
21 South Putt Corners Road, New Paltz, NY 12561-1620
P: (845) 256-3054 | F: (845) 255-4659
www.dec.ny.gov



Department of
Environmental
Conservation

IMPORTANT NOTICE TO ALL PERMITTEES

The permit you requested is enclosed. Please read it carefully and note the conditions that are included in it. The permit is valid for only that activity expressly authorized therein; work beyond the scope of the permit may be considered a violation of law and be subject to appropriate enforcement action. Granting of this permit does not relieve the permittee of the responsibility of obtaining any other permission, consent or approval from any other federal, state, or local government which may be required.

Please note the expiration date of the permit. Applications for permit renewal should be made well in advance of the expiration date (minimum of 30 days) and submitted to the Regional Permit Administrator at the above address. For SPDES, Solid Waste and Hazardous Waste Permits, renewals must be made at least 180 days prior to the expiration date.

The DEC permit number & program ID number noted on page 1 under "Permit Authorization" of the permit are important and should be retained for your records. These numbers should be referenced on all correspondence related to the permit, and on any future applications for permits associated with this facility/project area.

A permit notice sign is enclosed. Please post it at the work site with appropriate weather protection, per General Condition 1.

If you have any questions on the extent of work authorized or your obligations under the permit, please contact the staff person indicated below or the Division of Environmental Permits at the above address.

Chris Lang
Division of Environmental Permits, Region 3
Telephone (845) 256-3096

- Applicable only if checked. Please note all instream work authorized under this permit is prohibited during trout spawning season commencing October 1 and ending April 30.
- Applicable only if checked for STORMWATER SPDES INFORMATION: We have determined that your project requires coverage under the General Stormwater SPDES Permit. You must file a Notice of Intent to obtain coverage under the General Permit. This form can be downloaded at: <http://www.dec.ny.gov/chemical/43133.html>
- Applicable only if checked - MS4 Areas: This site is within an MS4 area (Municipal Separate Storm Sewer System), therefore the SWPPP must be reviewed and accepted by the municipality. The MS-4 Acceptance Form must be submitted in addition to the Notice of Intent.

Send the completed form(s) to: NYS DEC, Stormwater Permitting, Division of Water, 625 Broadway, Albany, New York 12233-3505.



Department of
Environmental
Conservation



PERMIT
Under the Environmental Conservation Law (ECL)

Permittee and Facility Information

Permit Issued To:
ROBERT GOODMAN
1013 COVE RD
MAMARONECK, NY 10543

Facility:
GOODMAN PROPERTY
4 SHORE RD
RYE, NY 10580

Facility Location: In MULTIPLE TOWNS in WESTCHESTER COUNTY
Facility Principal Reference Point: NYTM-E: 608.2354312013471 NYTM-N:
4533.49156677176

Latitude: 40°56'43.4" Longitude: 73°42'50.8"

Authorized Activity: This permit authorizes disturbance to DEC-regulated tidal wetlands, and coastal erosion hazard areas, associated with the installation of a 3'x40' gangway with concrete foundation on the seawall, and 8'x20' floating dock.

Permit Authorizations

Tidal Wetlands - Under Article 25

Permit ID 3-5599-00093/00005

New Permit

Effective Date: 3/9/2021

Expiration Date: 12/31/2025

Coastal Erosion Management - Under Article 34

Permit ID 3-5599-00093/00006

New Permit

Effective Date: 3/9/2021

Expiration Date: 12/31/2025

Excavation & Fill in Navigable Waters - Under Article 15, Title 5

Permit ID 3-5599-00093/00007

New Permit

Effective Date: 3/9/2021

Expiration Date: 12/31/2025

NYSDEC Approval

By acceptance of this permit, the permittee agrees that the permit is contingent upon strict compliance with the ECL, all applicable regulations, and all conditions included as part of this permit.

Permit Administrator: REBECCA S CRIST, Deputy Regional Permit Administrator
Address: NYSDEC Region 3 Headquarters
 21 S Putt Corners Rd
 New Paltz, NY 12561

Authorized Signature: Rebecca S Crist

Date 03/09/2021



Distribution List

May O'Malley, DEC Coastal Erosion Management Unit
Angela Schimizzi, DEC Div. of Marine Resources
Azure Dee Sleicher, RACE Coastal Engineering
Alexandra Ryan, US Army Corps of Engineers
NYS Dept. of State Coastal Consistency Unit

Permit Components

NATURAL RESOURCE PERMIT CONDITIONS

GENERAL CONDITIONS, APPLY TO ALL AUTHORIZED PERMITS

NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

NATURAL RESOURCE PERMIT CONDITIONS - Apply to the Following Permits: TIDAL WETLANDS; COASTAL EROSION MANAGEMENT; EXCAVATION & FILL IN NAVIGABLE WATERS

- 1. Conformance With Plans** All activities authorized by this permit must be in strict conformance with the approved plans submitted by the applicant or applicant's agent as part of the permit application. Such approved plans were prepared by RACE Coastal Engineering and consist of the Joint Application Form and all attachments received by DEC January 14, 2021, and resubmission letter dated and received by DEC February 18, 2021.
- 2. Notice of Intent to Commence Work** The permittee must notify Angela Schimizzi of the DEC Division of Marine Resources via email (angela.schimizzi@dec.ny.gov) no less than 48 hours prior to the commencement of work.
- 3. Post Permit Sign** The permit sign enclosed with this permit shall be posted in a conspicuous location on the worksite and adequately protected from the weather.
- 4. No Equipment in Tidal Wetland** No heavy equipment shall enter any tidal wetland or be allowed below mean low water during any phases of the reconstruction.
- 5. Wood Preservatives**
 - a. Pressure treated wood used for construction of in-water structures must have undergone a treatment process approved (stamped or otherwise marked as certified) by the American Wood Preservative Association.
 - b. Wood treated with Pentachlorophenol (PCP) is prohibited. Wood treated with PCP must be aged in the open air for at least three months prior to in-water use.
 - c. The use of creosote treated wood is prohibited both in the water and upland areas.



- d. Chromated Copper Arsenate (CCA) pressure treated wood must be clean and free of CCA surface deposits. Wood with surface deposits must be washed for at least 5 minutes under running water prior to use. The washing must occur greater than 100 feet landward of any regulated wetland and/or water body. (Note "E." below for handling wash water.)
- e. Any wood debris such as sawdust or wash water must not enter any water body, including wetlands or protected buffer areas.

6. Storage of Materials Storage of any materials within the mapped coastal erosion hazard area (CEHA) is strictly prohibited.

7. No Unauthorized Fill No placement of other fill or backfill is authorized by this permit without further written approval from the department (permit, modification, amendment).

8. No Structures on Dock/Catwalk/Float No permanent structures may be installed on dock/catwalk/float without first obtaining written approval from the Department.

9. Concrete Leachate During construction, no wet or fresh concrete or leachate shall be allowed to escape into any wetlands or waters of New York State, nor shall washings from ready-mixed concrete trucks, mixers, or other devices be allowed to enter any wetland or waters. Only watertight or waterproof forms shall be used. Wet concrete shall not be poured to displace water within the forms.

10. Precautions Against Contamination of Waters All necessary precautions shall be taken to preclude contamination of any wetland or waterway by suspended solids, sediments, fuels, solvents, lubricants, epoxy coatings, paints, concrete, leachate or any other environmentally deleterious materials associated with the project.

11. Site Restoration Any areas disturbed during construction must be re-seeded and/or restored to pre-project conditions, including any access routes and staging areas.

12. State May Order Removal or Alteration of Work If future operations by the State of New York require an alteration in the position of the structure or work herein authorized, or if, in the opinion of the Department of Environmental Conservation it shall cause unreasonable obstruction to the free navigation of said waters or flood flows or endanger the health, safety or welfare of the people of the State, or cause loss or destruction of the natural resources of the State, the owner may be ordered by the Department to remove or alter the structural work, obstructions, or hazards caused thereby without expense to the State, and if, upon the expiration or revocation of this permit, the structure, fill, excavation, or other modification of the watercourse hereby authorized shall not be completed, the owners, shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may require, remove all or any portion of the uncompleted structure or fill and restore to its former condition the navigable and flood capacity of the watercourse. No claim shall be made against the State of New York on account of any such removal or alteration.

13. No Interference With Navigation There shall be no unreasonable interference with navigation by the work herein authorized.

14. State May Require Site Restoration If upon the expiration or revocation of this permit, the project hereby authorized has not been completed, the applicant shall, without expense to the State, and to such extent and in such time and manner as the Department of Environmental Conservation may



lawfully require, remove all or any portion of the uncompleted structure or fill and restore the site to its former condition. No claim shall be made against the State of New York on account of any such removal or alteration.

15. State Not Liable for Damage The State of New York shall in no case be liable for any damage or injury to the structure or work herein authorized which may be caused by or result from future operations undertaken by the State for the conservation or improvement of navigation, or for other purposes, and no claim or right to compensation shall accrue from any such damage.

GENERAL CONDITIONS - Apply to ALL Authorized Permits:

1. Facility Inspection by The Department The permitted site or facility, including relevant records, is subject to inspection at reasonable hours and intervals by an authorized representative of the Department of Environmental Conservation (the Department) to determine whether the permittee is complying with this permit and the ECL. Such representative may order the work suspended pursuant to ECL 71- 0301 and SAPA 401(3).

The permittee shall provide a person to accompany the Department's representative during an inspection to the permit area when requested by the Department.

A copy of this permit, including all referenced maps, drawings and special conditions, must be available for inspection by the Department at all times at the project site or facility. Failure to produce a copy of the permit upon request by a Department representative is a violation of this permit.

2. Relationship of this Permit to Other Department Orders and Determinations Unless expressly provided for by the Department, issuance of this permit does not modify, supersede or rescind any order or determination previously issued by the Department or any of the terms, conditions or requirements contained in such order or determination.

3. Applications For Permit Renewals, Modifications or Transfers The permittee must submit a separate written application to the Department for permit renewal, modification or transfer of this permit. Such application must include any forms or supplemental information the Department requires. Any renewal, modification or transfer granted by the Department must be in writing. Submission of applications for permit renewal, modification or transfer are to be submitted to:

Regional Permit Administrator
NYSDEC Region 3 Headquarters
21 S Putt Corners Rd
New Paltz, NY12561

4. Submission of Renewal Application The permittee must submit a renewal application at least 30 days before permit expiration for the following permit authorizations: Coastal Erosion Management, Excavation & Fill in Navigable Waters, Tidal Wetlands.

5. Permit Modifications, Suspensions and Revocations by the Department The Department reserves the right to exercise all available authority to modify, suspend or revoke this permit. The



grounds for modification, suspension or revocation include:

- a. materially false or inaccurate statements in the permit application or supporting papers;
- b. failure by the permittee to comply with any terms or conditions of the permit;
- c. exceeding the scope of the project as described in the permit application;
- d. newly discovered material information or a material change in environmental conditions, relevant technology or applicable law or regulations since the issuance of the existing permit;
- e. noncompliance with previously issued permit conditions, orders of the commissioner, any provisions of the Environmental Conservation Law or regulations of the Department related to the permitted activity.

6. Permit Transfer Permits are transferrable unless specifically prohibited by statute, regulation or another permit condition. Applications for permit transfer should be submitted prior to actual transfer of ownership.

NOTIFICATION OF OTHER PERMITTEE OBLIGATIONS

Item A: Permittee Accepts Legal Responsibility and Agrees to Indemnification

The permittee, excepting state or federal agencies, expressly agrees to indemnify and hold harmless the Department of Environmental Conservation of the State of New York, its representatives, employees, and agents ("DEC") for all claims, suits, actions, and damages, to the extent attributable to the permittee's acts or omissions in connection with the permittee's undertaking of activities in connection with, or operation and maintenance of, the facility or facilities authorized by the permit whether in compliance or not in compliance with the terms and conditions of the permit. This indemnification does not extend to any claims, suits, actions, or damages to the extent attributable to DEC's own negligent or intentional acts or omissions, or to any claims, suits, or actions naming the DEC and arising under Article 78 of the New York Civil Practice Laws and Rules or any citizen suit or civil rights provision under federal or state laws.

Item B: Permittee's Contractors to Comply with Permit

The permittee is responsible for informing its independent contractors, employees, agents and assigns of their responsibility to comply with this permit, including all special conditions while acting as the permittee's agent with respect to the permitted activities, and such persons shall be subject to the same sanctions for violations of the Environmental Conservation Law as those prescribed for the permittee.

Item C: Permittee Responsible for Obtaining Other Required Permits

The permittee is responsible for obtaining any other permits, approvals, lands, easements and rights-of-way that may be required to carry out the activities that are authorized by this permit.

Item D: No Right to Trespass or Interfere with Riparian Rights

This permit does not convey to the permittee any right to trespass upon the lands or interfere with the riparian rights of others in order to perform the permitted work nor does it authorize the impairment of

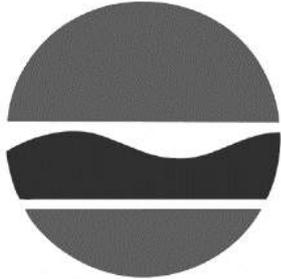


any rights, title, or interest in real or personal property held or vested in a person not a party to the permit.

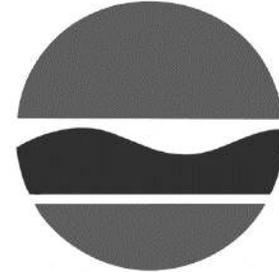
Item E: SEQR Type II Action Under the State Environmental Quality Review Act (SEQR), this project has been determined to be a Type II Action and therefore is not subject to further procedures under this law.



New York State
Department of Environmental Conservation



NOTICE



The Department of Environmental Conservation (DEC) has issued permit(s) pursuant to the Environmental Conservation Law for work being conducted at this site. For further information regarding the nature and extent of work approved and any Department condition on it, contact the DEC at 845-256-3054. Please refer to the permit number shown when contacting the DEC.

Permittee: Robert Goodman

Permit No. 3-5599-00093/00005

Effective Date: March 9, 2021

Expiration Date: December 31, 2025

Applicable if checked. No instream work allowed between October 1 & April 30

NOTE: This notice is NOT a permit.



DEPARTMENT OF THE ARMY
U.S. ARMY CORPS OF ENGINEERS, NEW YORK DISTRICT
JACOB K. JAVITS FEDERAL BUILDING
26 FEDERAL PLAZA
NEW YORK, NEW YORK 10278-0090

April 1, 2021

Western Section

SUBJECT: Department of the Army Permit Number NAN-2021-00073

Robert Goodman
1013 Cove Road
Mamaroneck, NY 10543

Dear Mr. Goodman:

We have completed our review of Application Number NAN-2021-00073.

Pursuant to Section 10 of the Rivers and Harbors Act of 1899 (33 USC 403), you are hereby authorized by the Secretary of the Army:

ACTIVITY: Install a 40-foot long by 3-foot wide aluminum gangway and 20-foot long by 8-foot wide floating dock, secured by four (4) 12-inch diameter timber anchor piles. Additionally, a concrete foundation would be constructed at the top of the existing seawall, in uplands, to attach the gangway. All work shall be done in accordance with the attached plans, subject to Special Conditions (A) through (C), which are hereby made part of this permit.

WATERWAY: Long Island Sound

LOCATION: Village of Mamaroneck, Westchester County, New York

The activity authorized herein must be completed within three years of the date of this permit. This authorization is subject to the enclosed conditions. Please find enclosed two forms to be used to submit to this office, as required, the dates of commencement and completion for the authorized activity.

This letter contains an initial proffered permit for your activity. If you object to this permit decision because of certain terms and conditions therein, you may request that the permit be modified accordingly under Corps regulations at 33 CFR 331. Enclosed you will find a combined Notification of Appeal Process (NAP) and Request for Appeal (RFA) form. If you object to this permit decision you must submit a completed RFA form to the New York District Office at:

SUBJECT: Department of the Army Permit Number NAN-2021-00073 for Robert Goodman in the Village of Mamaroneck, Westchester County, New York.

Stephan A. Ryba
Chief, Regulatory Branch
New York District Corps of Engineers
26 Federal Plaza, Room 16-406
New York, New York 10278-0090

In order for an RFA to be accepted by the Corps, the Corps must determine that it is complete, that it meets the criteria for appeal under 33 CFR Part 331.5, and that it has been received by the District Office within 60 days of the date of the NAP. Should you decide to submit an RFA form, it must be received at the above address by May 31, 2021. It is not necessary to submit an RFA form to the District Office if you do not object to the permit decision in this letter.

The authorized activity must be performed in accordance with the enclosed plans. If any material changes in the location or plans of the subject work are found necessary, revised plans should be submitted to the District Engineer. These plans must receive the approval required by law before work begins.

Notice is hereby given that the permittee should recognize that a possibility exists that the structures permitted herein may be subject to wavewash from passing vessels. The issuance of this permit does not relieve the permittee from taking all proper steps to insure the integrity of the structures permitted herein and the safety of boats moored thereto from damage by wavewash and the permittee shall not hold the United States liable for any such damage.

In order for us to better serve you, please complete our Customer Service Survey located at <http://www.nan.usace.army.mil/Missions/Regulatory/CustomerSurvey.aspx>.

If any questions should arise concerning this matter, please contact Alexandra Ryan, of my staff, at (917) 790-8518.

Sincerely,

FOR AND IN BEHALF OF
MATTHEW W. LUZZATTO
Colonel, U.S. Army
Commander and District Engineer

Enclosures

PERMITTEE: Robert Goodman
PERMIT NO.: NAN-2021-00073

PERMIT CONDITIONS:

NOTE: The term "you" and its derivatives, as used in this permit means the permittee or any future transferee. The term "this office" refers to the appropriate district or division office of the Corps of Engineers having jurisdiction over the permitted activity or appropriate official of that office acting under the authority of the commanding officer.

GENERAL CONDITIONS:

1. The time limit for completing the work authorized ends within three years of the date of this permit. If you find that you need more time to complete the authorized activity, submit your request for a time extension to this office for consideration at least four months before the date is reached.
2. You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party upon written notification to this office. Should you wish to cease to maintain the authorized activity or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.
3. If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and State coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.
4. You must allow representatives from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.

Special Conditions:

(A) The permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structure or work herein authorized, or if, in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the permittee will be required, upon due notice from the Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.

PERMITTEE: Robert Goodman
PERMIT NO.: NAN-2021-00073

(B) The permittee, and designated contractors, shall chock the float where water depths are less than two (2)-feet at mean low water to ensure it does not rest on the bottom at any stage of the tide.

(C) The permittee, and project contractors, shall maintain vessels operating within the action area to speed limits below 10 knots, during project construction.

Further Information:

1. Limits of authorization.

- a. This permit does not obviate the need to obtain other Federal, state, or local authorizations required by law.
- b. This permit does not grant any property rights or exclusive privileges.
- c. This permit does not authorize any injury to the property or rights of others.
- d. This permit does not authorize interference with any existing or proposed Federal project.

2. Limits to Federal Liability. In issuing this permit, the Federal Government does not assume any liability for the following:

- a. Damages to the permitted project or uses thereof as a result of other permitted or unpermitted activities or from natural causes.
- b. Damages to the permitted project or uses thereof as result of current or future activities undertaken by or on behalf of the United States in the public interest.
- c. Damages to persons, property, or to other permitted or unpermitted activities or structures caused by the activity authorized by this permit.
- d. Design or construction deficiencies associated with the permitted work.
- e. Damage claims associated with any future modification, suspension, or revocation of this permit.

3. Reliance on Applicant's Data: The determination of this office that issuance of this permit is not contrary to the public interest was made in reliance on the information you provided.

PERMITTEE: Robert Goodman
PERMIT NO.: NAN-2021-00073

4. **Reevaluation of Permit Decision:** This office may reevaluate its decision on this permit at any time the circumstances warrant. Circumstances that could require a reevaluation include, but are not limited to, the following:

- a. You fail to comply with the terms and conditions of the permit.
- b. The information provided by you in support of your permit application proves to have been false, incomplete, or inaccurate (See 3 above).
- c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.

Such a reevaluation may result in a determination that it is appropriate to use the suspension, modification, and revocation procedures contained in 33 CFR 325.7 or enforcement procedures such as those contained in 33 CFR 326.4 and 326.5. The referenced enforcement procedures provide for the issuance of an administrative order requiring you to comply with the terms and conditions of your permit and for the initiation of legal action where appropriate. You will be required to pay for any corrective measures ordered by this office, and if you fail to comply with such directive, this office may in certain situations (such as those specified in 33 CFR 209.170) accomplish the corrective measures by contract or otherwise and bill you for the cost.

5. **Extensions.** General condition 1 establishes a time limit for the completion of the activity authorized by this permit. Unless there are circumstances requiring either a prompt completion of the authorized activity or a reevaluation of the public interest decision, the Corps will normally give favorable consideration to a request for an extension of this time limit.

ROBERT GOODMAN 4 SHORE ROAD DOCK

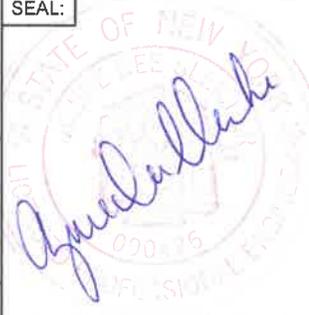
DRAWING LIST	
DRAWING No.	DRAWING TITLE
1	TITLE SHEET & GENERAL NOTES
2	VICINITY MAP
3	SITE PLAN
4	PROPOSED PARTIAL PLAN
5	EXISTING AND PROPOSED SECTIONS A-A

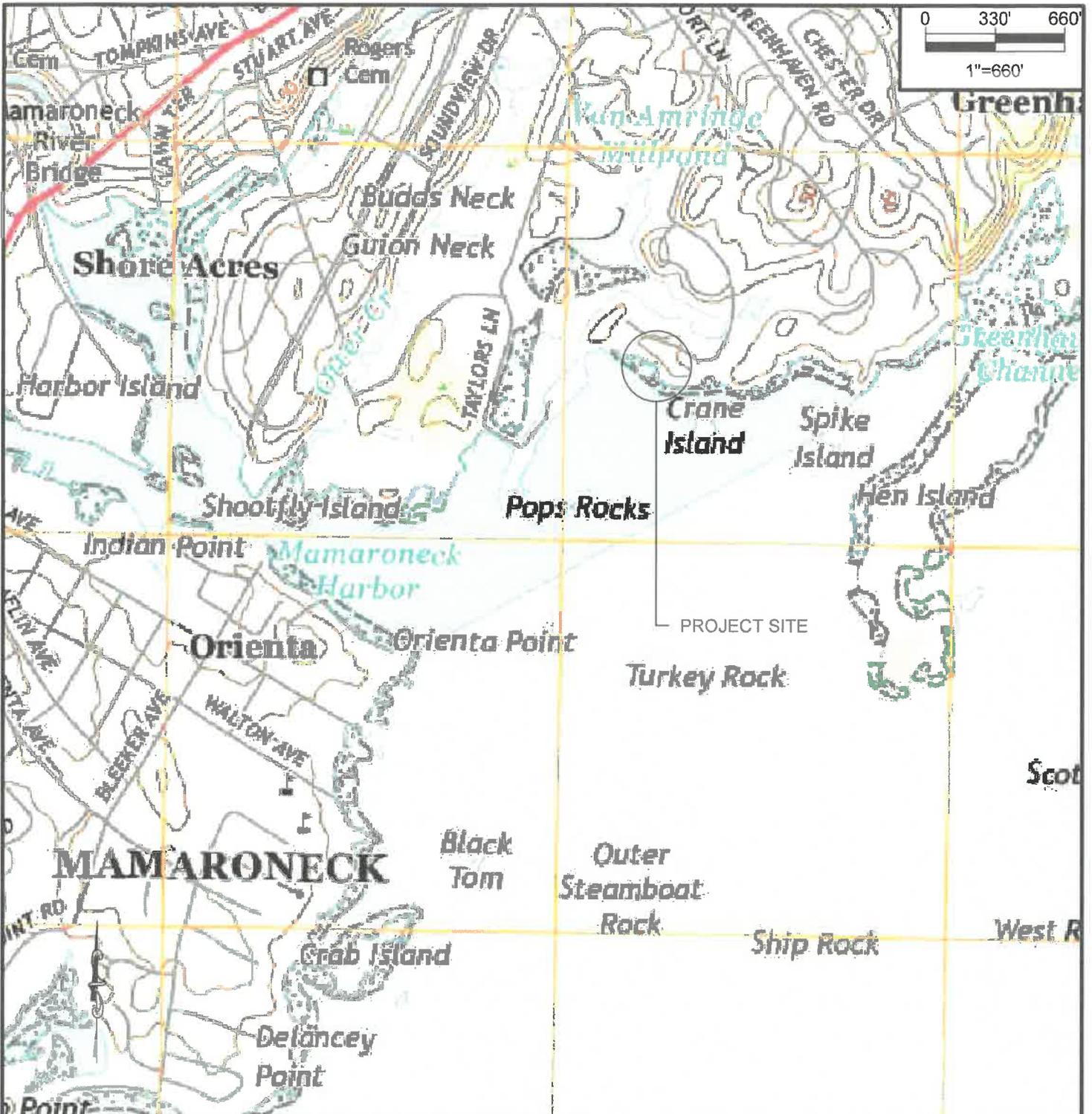
GENERAL NOTES

1. THE PURPOSE OF THESE DRAWINGS ARE FOR REGULATORY REVIEW ONLY.
2. VICINITY MAP TAKEN FROM USGS MAMARONECK, NY-CT QUADRANGLE.
3. ELEVATIONS REFERENCE NAV88, UNLESS NOTED OTHERWISE.
4. THIS SITE INFORMATION HAS BEEN TAKEN FROM A DRAWING TITLED "4 SHORE ROAD LANDSCAPE DEVELOPMENT REVISED GRADING", PREPARED FOR ROBERT GOODMAN, BY JANICE PARKER LANDSCAPE ARCHITECTS, DATED 3/30/2020.
5. SUPPLEMENTARY INFORMATION OBTAINED BY RACE COASTAL ENGINEERING, LLC ON 12/09/2020 AND ONLY REPRESENT THE SITE CONDITIONS AT THAT TIME.
6. TIDAL ELEVATION DATA HAS BEEN TAKEN FROM BENCH MARK SHEET FOR 8518091, RYE BEACH, AMUSEMENT PARK NY FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION TIDES AND CURRENTS WEBSITE.

PROJECT TIDAL ELEVATIONS:

DATUM	NAVD 88 (FT)	NGVD 29 (FT)	MLW (FT)
HIGH TIDE LINE (HTL)	+6.7	+7.8	+10.6
MEAN HIGH WATER (MHW)	+3.4	+4.5	+8.3
NAVD 88	0.0	+1.1	+3.9
NGVD 29	-1.1	0.0	+2.8
MEAN LOW WATER (MLW)	-3.9	-2.8	0.0

 <p>611 Access Road Stratford, CT 06615 Tel: 203-377-0663 racecoastal.com</p>	Prepared For: <p style="text-align: center;">ROBERT GOODMAN 1013 COVE ROAD MAMARONECK, NY 10543</p>	SEAL: 	Date:	Rev.:	
	Project: <p style="text-align: center;">RESIDENTIAL DOCK 4 SHORE ROAD MAMARONECK, NY 10580</p>		11-24-2020	Drawn By: <p style="text-align: center;">SLB</p>	Checked By: <p style="text-align: center;">ADS</p>
ALL RIGHTS RESERVED. ©2020 RACE COASTAL ENGINEERING, LLC.		NOT FOR CONSTRUCTION FOR REGULATORY REVIEW ONLY		Datum: <p style="text-align: center;">NAVD88</p>	Scale: <p style="text-align: center;">N/A</p>
		Project No.: <p style="text-align: center;">2020131</p>		Drawing No.: <p style="text-align: center; font-size: 2em;">1 of 5</p>	



VICINITY MAP

RACE
COASTAL ENGINEERING
 611 Access Road Stratford, CT 06615
 Tel: 203-377-0663 racecoastal.com

Prepared For:
 ROBERT GOODMAN
 1013 COVE ROAD
 MAMARONECK, NY 10543

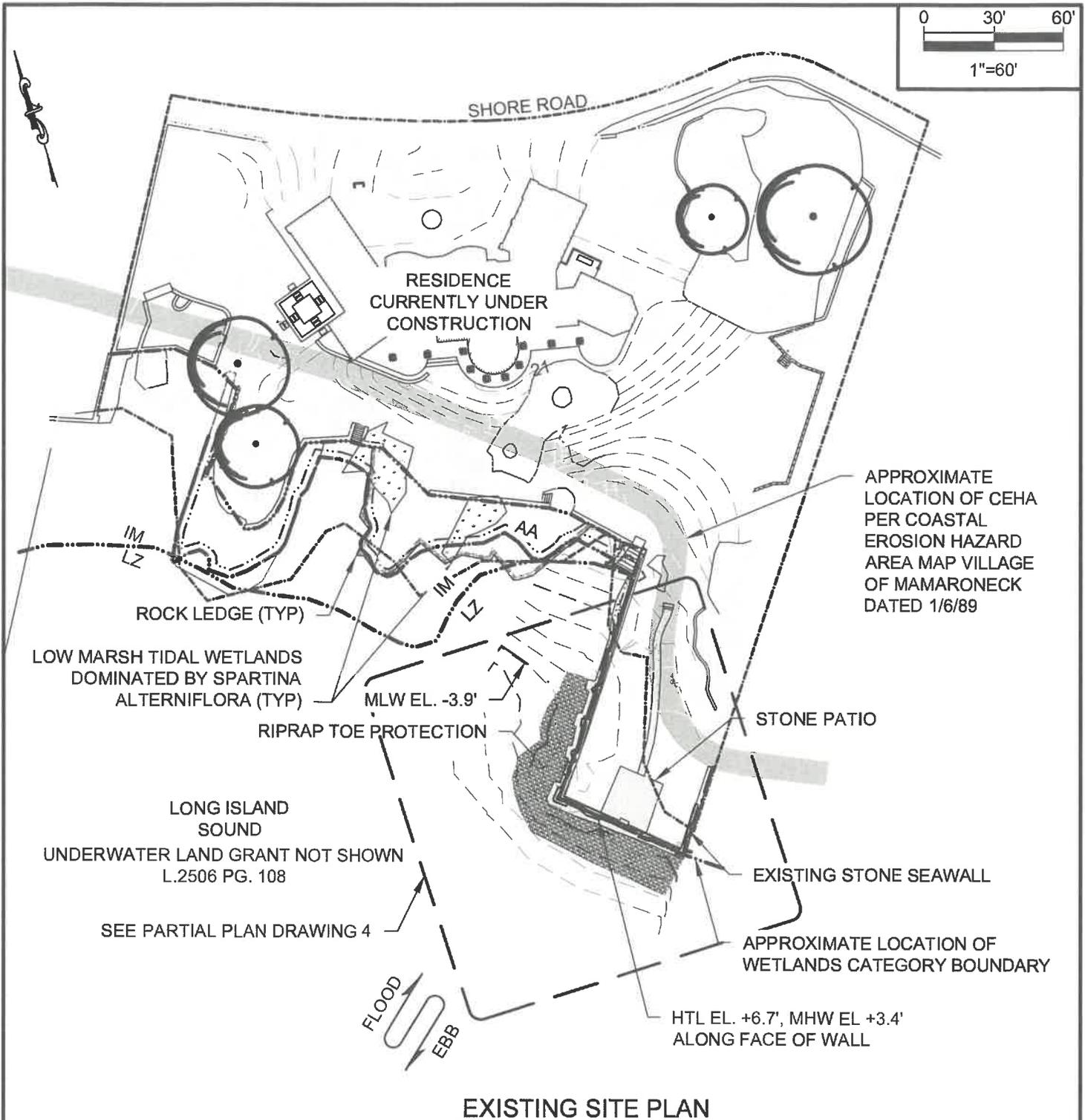
Project:
 RESIDENTIAL DOCK
 4 SHORE ROAD
 MAMARONECK, NY 10580

SEAL: [Professional Engineer Seal]
 [Signature]

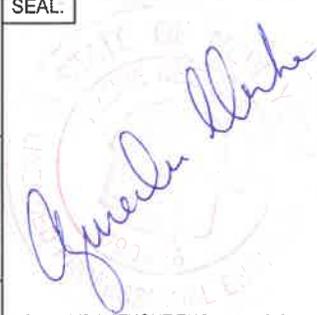
Date:	Rev.:
11-24-2020	
Drawn By:	Checked By:
SLB	ADS
Datum:	Scale:
NAVD88	1"=660'-0"
Project No.:	Drawing No.:
2020131	2 of 5

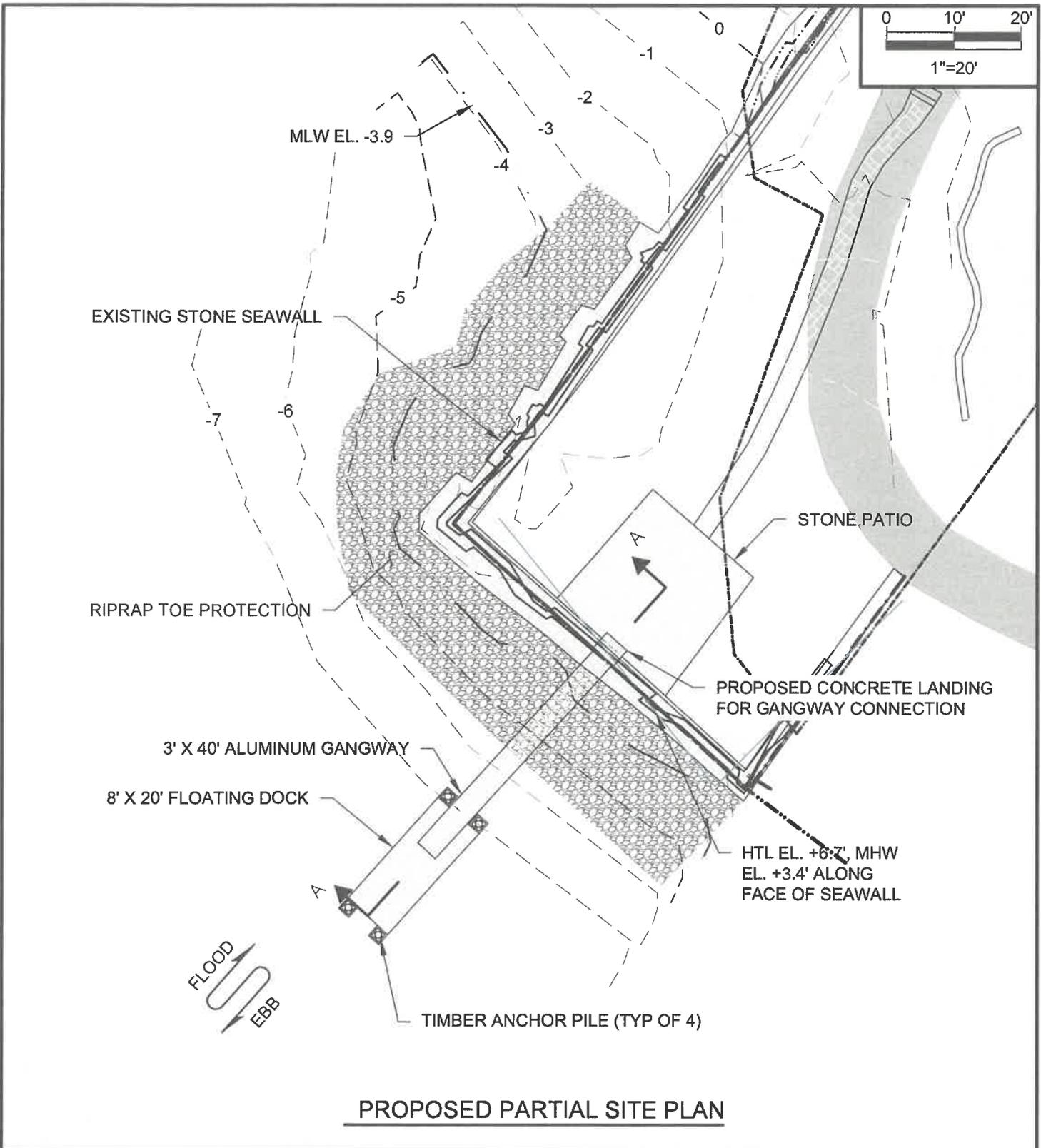
ALL RIGHTS RESERVED. ©2020 RACE COASTAL ENGINEERING, LLC. NOT FOR CONSTRUCTION FOR REGULATORY REVIEW ONLY

NOT VALID WITHOUT ENGINEER'S SEAL

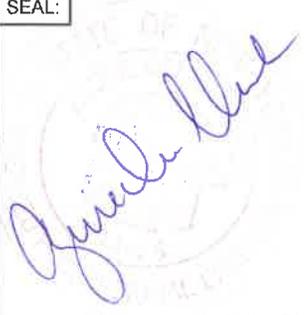


EXISTING SITE PLAN

 <p>RACE COASTAL ENGINEERING</p> <p>611 Access Road Stratford, CT 06615 Tel: 203-377-0663 racecoastal.com</p>	Prepared For:	ROBERT GOODMAN 1013 COVE ROAD MAMARONECK, NY 10543	SEAL.	Date:	11-24-2020	Rev.:	
	Project:	RESIDENTIAL DOCK 4 SHORE ROAD MAMARONECK, NY 10580		Drawn By:	SLB	Checked By:	ADS
	ALL RIGHTS RESERVED. ©2020 RACE COASTAL ENGINEERING, LLC.			Datum:	NAVD88	Scale:	1"=60'-0"
	NOT FOR CONSTRUCTION FOR REGULATORY REVIEW ONLY			Project No.:	2020131	Drawing No.:	3 of 5
NOT VALID WITHOUT ENGINEER'S SEAL							

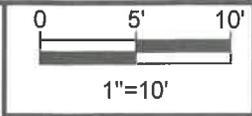


PROPOSED PARTIAL SITE PLAN

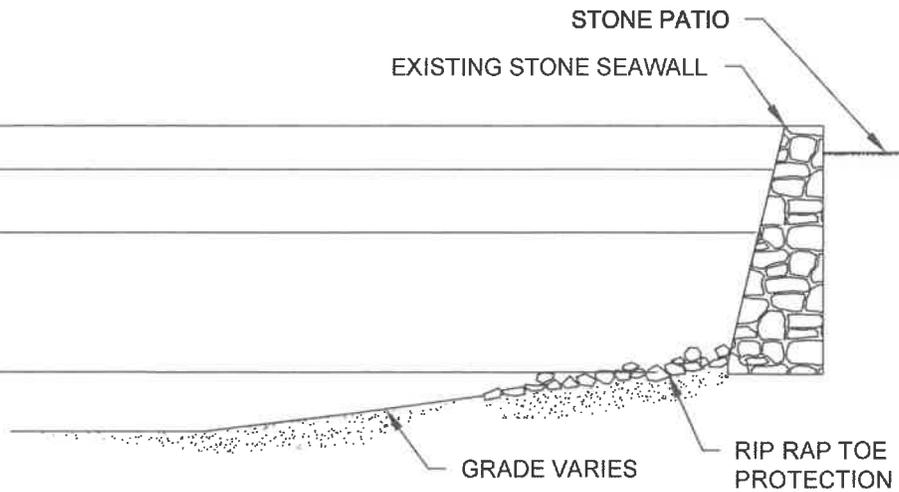
 <p>611 Access Road Stratford, CT 06615 Tel: 203-377-0663 racecoastal.com</p>	Prepared For:	ROBERT GOODMAN 1013 COVE ROAD MAMARONECK, NY 10543	SEAL:	Date:	Rev.:
	Project:	RESIDENTIAL DOCK 4 SHORE ROAD MAMARONECK, NY 10580		11-24-2020	
				Drawn By:	Checked By:
				SLB	ADS
			Datum:	Scale:	
			NAVD88	1"=20'-0"	
			Project No.:	Drawing No.:	
			2020131	4 of 5	

ALL RIGHTS RESERVED. NOT FOR CONSTRUCTION FOR REGULATORY REVIEW ONLY
©2020 RACE COASTAL ENGINEERING, LLC.

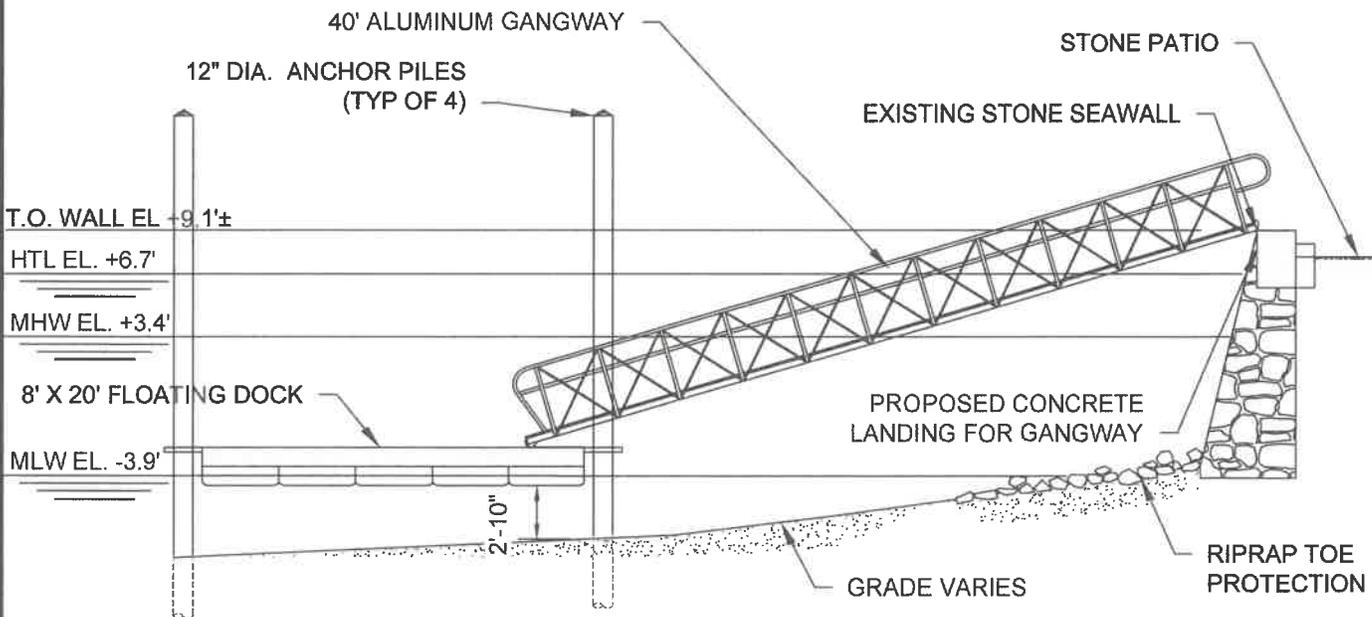
NOT VALID WITHOUT ENGINEER'S SEAL



T.O. WALL EL +9.1±
 HTL EL. +6.7'
 MHW EL. +3.4'
 MLW EL. -3.9'



EXISTING SECTION A-A



PROPOSED SECTION A-A

 611 Access Road Stratford, CT 06615 Tel: 203-377-0663 racecoastal.com	Prepared For:	SEAL:	Date:	Rev.:	
		ROBERT GOODMAN 1013 COVE ROAD MAMARONECK, NY 10543		11-24-2020	
	Project:	RESIDENTIAL DOCK 4 SHORE ROAD MAMARONECK, NY 10580		Drawn By:	Checked By:
				SLB	ADS
		Datum:		Scale:	
			NAVD88	1"=10'-0"	
			Project No.:	Drawing No.:	
			2020131	5 of 5	

ALL RIGHTS RESERVED. NOT FOR CONSTRUCTION
 ©2020 RACE COASTAL ENGINEERING, LLC. FOR REGULATORY REVIEW ONLY

NOT VALID WITHOUT ENGINEER'S SEAL

STATE OF NEW YORK
DEPARTMENT OF STATE

ONE COMMERCE PLAZA
99 WASHINGTON AVENUE
ALBANY, NY 12231-0001
WWW.DOS.NY.GOV

ANDREW M. CUOMO
GOVERNOR

ROSSANA ROSADO
SECRETARY OF STATE

March 26, 2021

Army Corps-Alexandra Ryan
alexandra.ryan@usace.army.mil

Azure Dee Sleicher
Project Manager/VP Coastal Engineering
azuredee@racecoastal.com

Re: **F- 2021-0037**
U.S. Army Corps of Engineers/New York District Permit
New York State DEC Region X Permit
Application – **NAN-2021-0073-WRY** -The applicant
proposes to install a 40-foot long by 3-foot wide
aluminum gangway and 20-foot long by 8-foot wide
floating dock, secured by four (4) 12-inch diameter timber
anchor piles. Additionally, a concrete foundation would be
constructed at the top of the existing seawall, in uplands, to
attach the gangway.
Long Island Sound
Village of Mamaroneck, Westchester County
Letter of Permission

Dear Ms. Ryan:

The Department of State received and reviewed your letter dated February 17, 2021, regarding the eligibility of the above-referenced proposal for authorization by a Corps of Engineers Letter of Permission.

Based upon the submitted information, the Department of State has no objection to the authorization of this proposal by Letter of Permission. Further review of this proposal and concurrence with the applicant's consistency certification by the Department of State is not required.

Sincerely,



Donna Morelli
Coastal Resources Specialist
Office of Planning, Development and
Community Infrastructure

ecc: DEC/Region- 3-5599-00093_00005-Christopher Lang





DEPARTMENT OF THE ARMY
U.S. ARMY CORPS OF ENGINEERS, NEW YORK DISTRICT
JACOB K. JAVITS FEDERAL BUILDING
26 FEDERAL PLAZA
NEW YORK NEW YORK 10278-0090

CENAN-OP-R

IMPORTANT

This letter must be completed and mailed to the Regulatory Branch at the above address prior to commencement of any work authorized under the permit.

Permittee: _____ Permit No. _____

Date Permit Issued: April 1, 2021 Expiration Date: April 1, 2024

Waterway: _____

Project Location: _____

Work will commence on or about: _____

Name, Address & Telephone Number of Contractor:

 Signature of Permittee

 Date

Fold this form into thirds, with the bottom third facing outward. Tape it together and mail to the address below or **FAX to (212) 264-4260**.

Place Stamp
 Here

USACE Operations/Regulatory 16-406
 c/o PSC Mail Center
 26 Federal Plaza
 New York, New York 10278



DEPARTMENT OF THE ARMY
U.S. ARMY CORPS OF ENGINEERS, NEW YORK DISTRICT
JACOB K. JAVITS FEDERAL BUILDING
26 FEDERAL PLAZA
NEW YORK NEW YORK 10278-0090

CENAN-OP-R

IMPORTANT

This letter must be completed and mailed to the Regulatory Branch at the above address following completion or cancellation of work authorized under the permit.

Permittee: _____ Permit No. _____

Date Permit Issued: April 1, 2021 Expiration Date: April 1, 2024

Waterway: _____

Project Location: _____

Check and complete applicable item(s) listed below:

- _____ Work was completed on _____
- _____ Work will not be performed on the project.
- _____ Deviation from work authorized in permit is explained below.
- _____ Other (explain) _____

_____ For dredging projects, list the volume of material dredged, and the amount placed at each disposal location (if more than one).
 _____ cubic yards placed at _____
 _____ cubic yards placed at _____
 _____ cubic yards placed at _____

 Signature of Permittee

 Date

Fold this form into thirds, with the bottom third facing outward. Tape it together and mail to the address below **or FAX to (212) 264-4260.**



Place Stamp
 Here

USACE Operations/Regulatory 16-406
 c/o PSC Mail Center
 26 Federal Plaza
 New York, New York 10278

NOTIFICATION OF ADMINISTRATIVE APPEAL OPTIONS AND PROCESS AND REQUEST FOR APPEAL

Applicant:	File Number:	Date: April 1, 2021
Attached is:		See Section below
	INITIAL PROFFERED PERMIT (Standard Permit or Letter of permission)	A
	PROFFERED PERMIT (Standard Permit or Letter of permission)	B
	PERMIT DENIAL	C
	APPROVED JURISDICTIONAL DETERMINATION	D
	PRELIMINARY JURISDICTIONAL DETERMINATION	E

SECTION I - The following identifies your rights and options regarding an administrative appeal of the above decision. Additional information may be found at <http://www.usace.army.mil/Missions/CivilWorks/RegulatoryProgramandPermits/appeals.aspx> or Corps regulations at 33 CFR Part 331.

A: INITIAL PROFFERED PERMIT: You may accept or object to the permit.

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **OBJECT:** If you object to the permit (Standard or LOP) because of certain terms and conditions therein, you may request that the permit be modified accordingly. You must complete Section II of this form and return the form to the district engineer. Your objections must be received by the district engineer within 60 days of the date of this notice, or you will forfeit your right to appeal the permit in the future. Upon receipt of your letter, the district engineer will evaluate your objections and may: (a) modify the permit to address all of your concerns, (b) modify the permit to address some of your objections, or (c) not modify the permit having determined that the permit should be issued as previously written. After evaluating your objections, the district engineer will send you a proffered permit for your reconsideration, as indicated in Section B below.

B: PROFFERED PERMIT: You may accept or appeal the permit

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **APPEAL:** If you choose to decline the proffered permit (Standard or LOP) because of certain terms and conditions therein, you may appeal the declined permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

C: PERMIT DENIAL: You may appeal the denial of a permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

D: APPROVED JURISDICTIONAL DETERMINATION: You may accept or appeal the approved JD or provide new information.

- **ACCEPT:** You do not need to notify the Corps to accept an approved JD. Failure to notify the Corps within 60 days of the date of this notice, means that you accept the approved JD in its entirety, and waive all rights to appeal the approved JD.
- **APPEAL:** If you disagree with the approved JD, you may appeal the approved JD under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

E: PRELIMINARY JURISDICTIONAL DETERMINATION: You do not need to respond to the Corps regarding the preliminary JD. The Preliminary JD is not appealable. If you wish, you may request an approved JD (which may be appealed), by contacting the Corps district for further instruction. Also you may provide new information for further consideration by the Corps to reevaluate the JD.

SECTION II - REQUEST FOR APPEAL or OBJECTIONS TO AN INITIAL PROFFERED PERMIT

REASONS FOR APPEAL OR OBJECTIONS: (Describe your reasons for appealing the decision or your objections to an initial proffered permit in clear concise statements. You may attach additional information to this form to clarify where your reasons or objections are addressed in the administrative record.)

ADDITIONAL INFORMATION: The appeal is limited to a review of the administrative record, the Corps memorandum for the record of the appeal conference or meeting, and any supplemental information that the review officer has determined is needed to clarify the administrative record. Neither the appellant nor the Corps may add new information or analyses to the record. However, you may provide additional information to clarify the location of information that is already in the administrative record.

POINT OF CONTACT FOR QUESTIONS OR INFORMATION:

If you have questions regarding this decision and/or the appeal process you may contact:
Mr. Stephan A. Ryba
Chief, Regulatory Branch (CENAN-OP-R)
USACE Operations/Regulatory 16-406
c/o PSC Mail Center
26 Federal Plaza
New York, New York 10278

If you only have questions regarding the appeal process you may also contact:
Ms. Naomi Handell
Regulatory Program Manager (CENAD-PD-OR)
U.S. Army Corps of Engineers
Fort Hamilton Military Community
General Lee Avenue, Building 301
Brooklyn, New York 11252-6700
Telephone number: 917-789-4841

RIGHT OF ENTRY: Your signature below grants the right of entry to Corps of Engineers personnel, and any government consultants, to conduct investigations of the project site during the course of the appeal process. You will be provided a 15 day notice of any site investigation, and will have the opportunity to participate in all site investigations.

Signature of appellant or agent.

Date:

Telephone number: