





ARCHITECTS

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SECTION 7209(2) OF THE NEW YORK STATE  
EDUCATION LAW.

ONE BUILDING ONLY BY THE PERSON WHO  
NAME APPEARS ON THE PLANS.

ISSUED / REVISIONS	
DESCRIPTION	DATE
ISSUED FOR PERMIT	3/16/21

OAKHURST LLC

NEW HOUSE

New York 10543

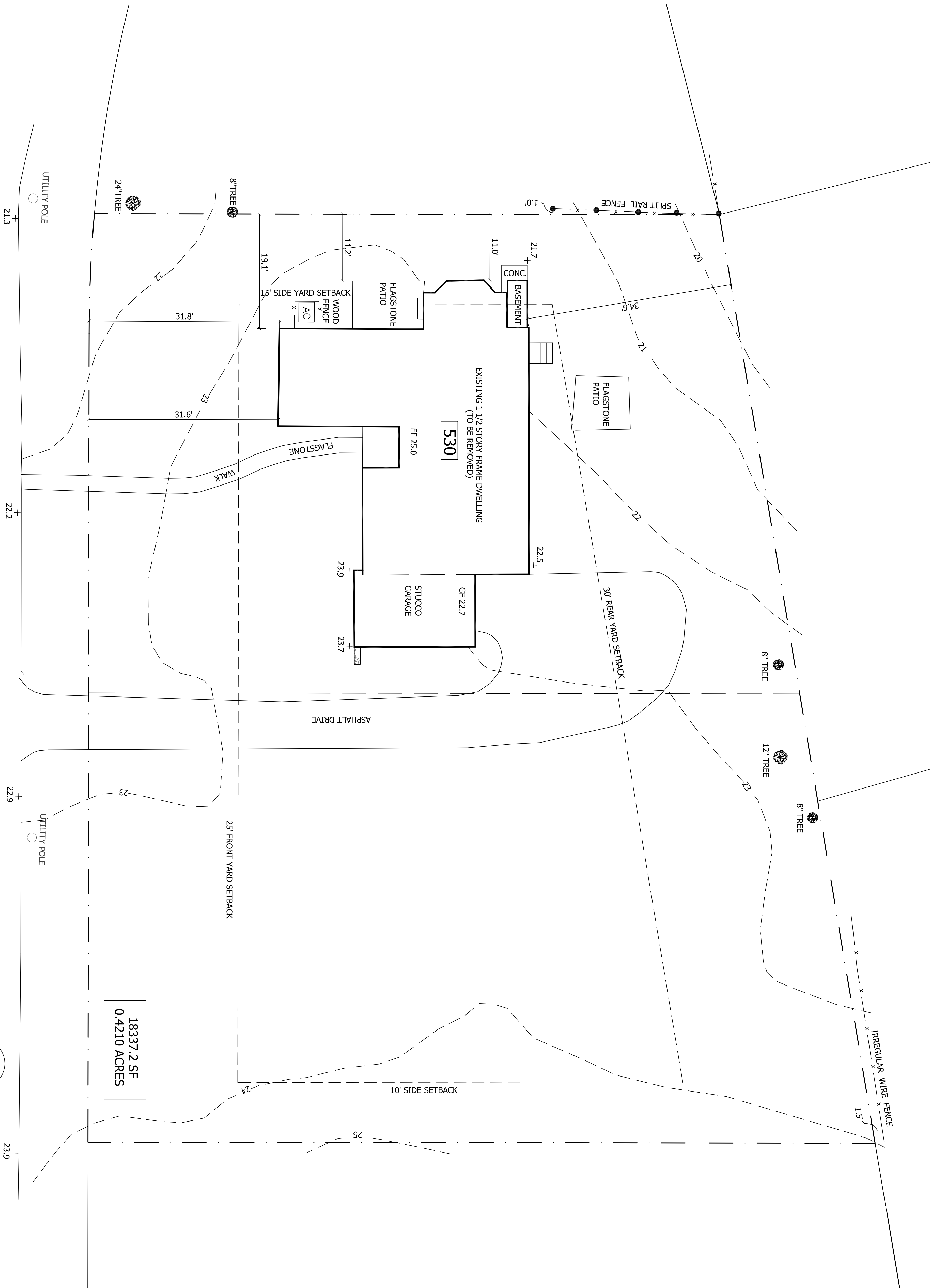
## NOTES

## EXISTING SITE PLAN

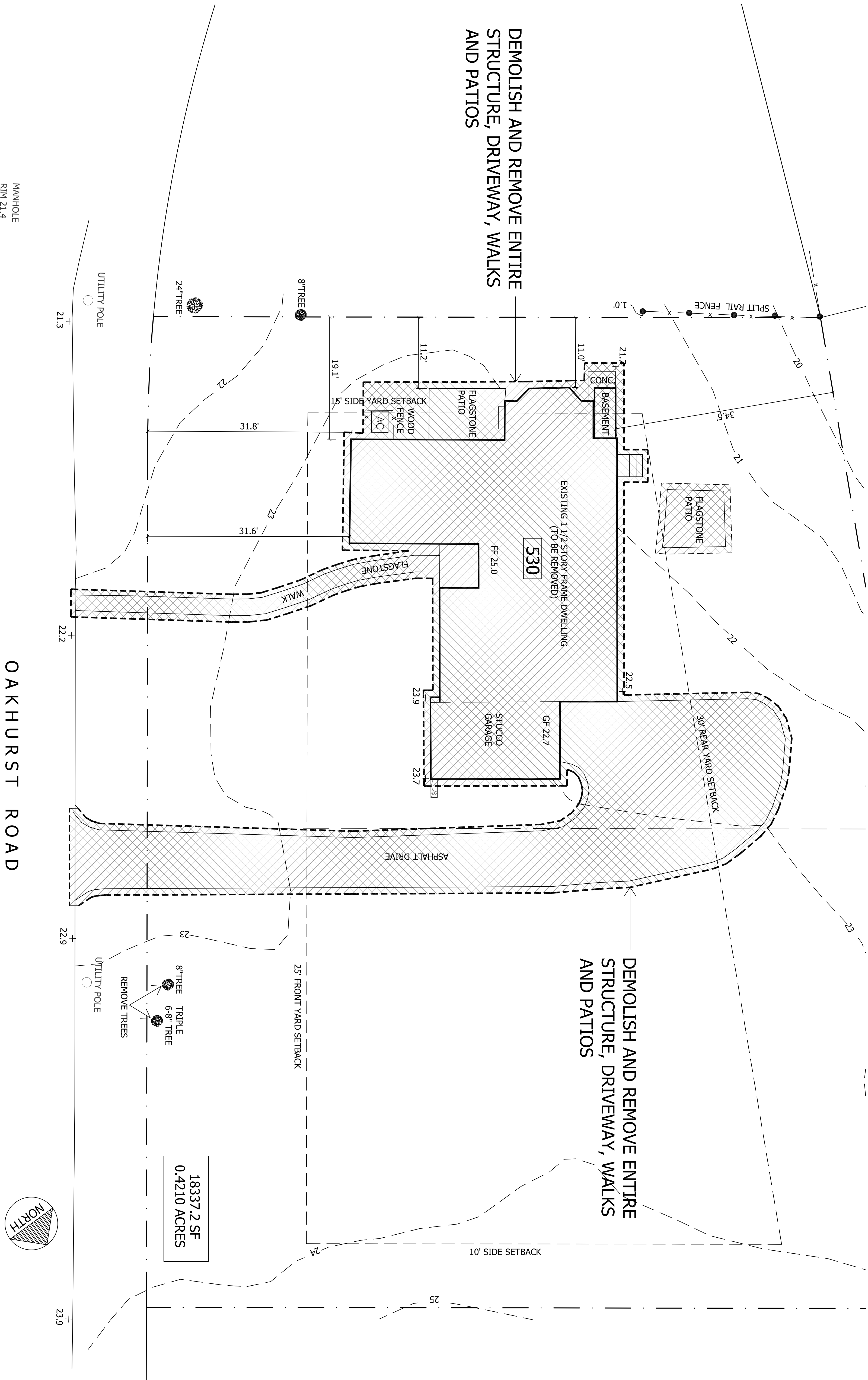
# A-1.0

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**EXISTING SITE PLAN**  
SCALE: 1/8" = 1'-0"



DEMOLITION NOTES – TYPICAL	DEMOLITION LEGEND
1. REMOVE EXISTING CONSTRUCTION AS REQUIRED TO BUILD PROPOSED LAYOUT. 2. RELOCATE EXISTING MECHANICAL/ELECTRICAL/PLUMBING AS REQUIRED FOR NEW LAYOUT. 3. PROVIDE DOUBLE VISIBLE DUST BARRIER AT ALL DEMOLITION. 4. GENERAL CONTRACTOR RESPONSIBLE FOR ADHERENCE TO ALL LEAD, ASBESTOS, ETC. ABATEMENT PROCEDURES PER EPA STANDARDS. 5. PROTECT EXISTING HOUSE FROM DAMAGE DURING DEMOLITION. 6. REMOVE AND PROPERLY DISPOSE OF ALL DEMOLITION DEBRIS FROM THE CONSTRUCTION SITE.	<div><div>EXISTING PARTITION TO REMAIN</div><div>EXISTING CONSTRUCTION TO BE REMOVED</div><div>INDICATES THE COMPLETE REMOVAL OF ALL ITEMS WITHIN THIS SPACE INCLUDING FLOORING DOWN TO EXISTING STRUCTURE. (GUT DEMOLITION)</div><div>INDICATES THE REMOVAL OF THE EXISTING FLOORING AND BASEBOARD.</div><div>EXISTING DOOR TO BE REMOVED.</div></div>



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NEW HOUSE  
530 Oakhurst Road  
Mamaroneck  
New York 10543

NOTES

SHEET DESCRIPTION:  
DEMOLITION PLAN

SHEET NO.

A-1.1

PHASE:

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DESCRIPTION	DATE
PAID FOR PERMIT	3/16/20

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# OAKHURST LLC

## NEW HOUSES

New York 10543

## NOTE

SHEET DESCRIPTION

## PLAN

SHEET NO.

# A-2.0














PHASE



# PROPOSED SITE PLAN

PROPOSED S.  
SCALE : 1/8" = 1'-0"

Architectural drawing showing a pool foundation and stairs. The pool foundation is a large rectangular area with a stippled pattern, labeled "POOL FOUNDATION". It is surrounded by a concrete border. The stairs are located to the left of the pool foundation, labeled "STAIRS ABOVE". The drawing includes dimensions: 34'-0" (width of the pool area), 30'-0" (width of the pool area), 12'-0" (width of the pool area), and 36'-0" (width of the pool area). The drawing also shows a concrete border and a pool deck area.

- | FLOOR PLAN SYMBOL LEGEND  |   |
|---|---|
|  | DOOR SYMBOL—SEE DOOR SCHEDULE                 |
|  | WINDOW SYMBOL—SEE WINDOW SCHEDULE             |
|  | EXISTING CONSTRUCTION                         |
|  | NEW WOOD FRAMED WALLS                         |
|  | 2x4 @ 16" O.C. @ INTERIOR WALLS               |
|  | 2x6 @ 16" O.C. @ EXTERIOR WALLS (R-20)        |
|  | (UNLESS NOTED OTHERWISE)                      |
|  | NEW 3 5/8" METAL STUDS WITH CLOSED CELL SPRAY |
|  | FOAM INSULATION (R-20) — BASEMENT ONLY        |
|  | FLOOR DIFFUSER                                |
|  | (FLUSH WOOD DIFFUSER TO MATCH FLOOR FINISH)   |
|  | ● POINT LOAD FROM ABOVE                       |
|  | FD FLOOR DRAIN                                |



PROPOSED CE  
SCALE: 1 / 4" = 1'-0"

PROPOSED CE  
SCALE : 1 / 4" = 1'-0"

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DESCRIPTION	
ISSUED FOR PERMIT	3/16/21

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## NEW HOUSE

530 Oakhurst Road  
Mamaroneck  
New York 10543

## NOTES

PROPOSED  
BASEMENT PLAN

**SHEET NO**

# A-3.0

**PHASE:**

ISSUED / REVISIONS	DATE
DESCRIPTION	3/16/21
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OAKHURST LLC

NEW HOUSE

530 Oakhurst Road  
Mamaroneck  
New York 10543

NOTES


PROPOSED FIRST  
FLOOR PLAN

SHEET NO.

A-4.0

PHASE:

GENERAL NOTES	FLOOR PLAN SYMBOL LEGEND
1. PROVIDE (2)2X10 HEADERS AT ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED. 2. FRAMING PLANS FOR ILLUSTRATIVE PURPOSES ONLY. NOT ALL MEMBERS SHOWN. 3. PROVIDE 3" MINIMUM BEARING AT ALL BEAMS. 4. PROVIDE 1 1/2" MINIMUM BEARING AT ALL HEADERS. 5. ALL EXTERIOR WALLS TO BE 2X6 STUDS AT 16" O.C. (2X4 AT INTERIOR WALLS U.N.O.) 6. NOTCH COLUMNS AT EXTERIOR BEAMS (OR PROVIDE SIMPSON CONNECTORS). 7. MAINTAIN 6"-8" MINIMUM HEAD CLEARANCE AT ALL STAMPS 8. FIRE CAULK AT ALL FLOOR PENETRATIONS 9. ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR #2 (OR BETTER). 10. PROVIDE SIMPSON CONNECTORS AS REQUIRED AT BEAMS/COLUMNS 11. SISTER 2X6'S TO EXISTING CEILING JOISTS AS REQUIRED TO LEVEL CELLINGS 12. PROVIDE 3.5" SOUND ATTENUATION BATT INSULATION AROUND ALL BATHROOMS AND LAUNDRY ROOMS	(X) DOOR SYMBOL-SEE DOOR SCHEDULE (X) WINDOW SYMBOL-SEE WINDOW SCHEDULE <div>EXISTING CONSTRUCTION</div> <div>NEW WOOD FRAMED WALLS</div> <div>2X4 @ 16" O.C. @ INTERIOR WALLS</div> <div>2X6 @ 16" O.C. @ EXTERIOR WALLS (R-20)</div> <div>(UNLESS NOTED OTHERWISE)</div> <div>NEW 3 5/8" METAL STUDS WITH CLOSED CELL SPRAY</div> <div>FOAM INSULATION (R-20) - BASEMENT ONLY</div> <div>FLOOR DIFFUSER</div> <div>(FLUSH WOOD DIFFUSER TO MATCH FLOOR FINISH)</div> <div>COLUMN</div> <div>POINT LOAD FROM ABOVE</div> <div>FLOOR DRAIN</div>

30' X 15' POOL

PLANTER

DN

STOOP

DN

STEP

POWDER ROOM

BK

AC

AC

POOL EQUIPMENT

GENERATOR

BURIED PROPANE TANK

GENE

AC

AC

POOL EQUIPMENT

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BURIED PROPANE TANK

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DESCRIPTION	3/16/21
ISSUED FOR PERMIT	


OAKHURST LLC

NEW HOUSE

530 Oakhurst Road  
Mamaroneck  
New York 10543

NOTES

SHEET DESCRIPTION:  
PROPOSED  
SECOND FLOOR  
PLAN

SHEET NO.

A-5.0

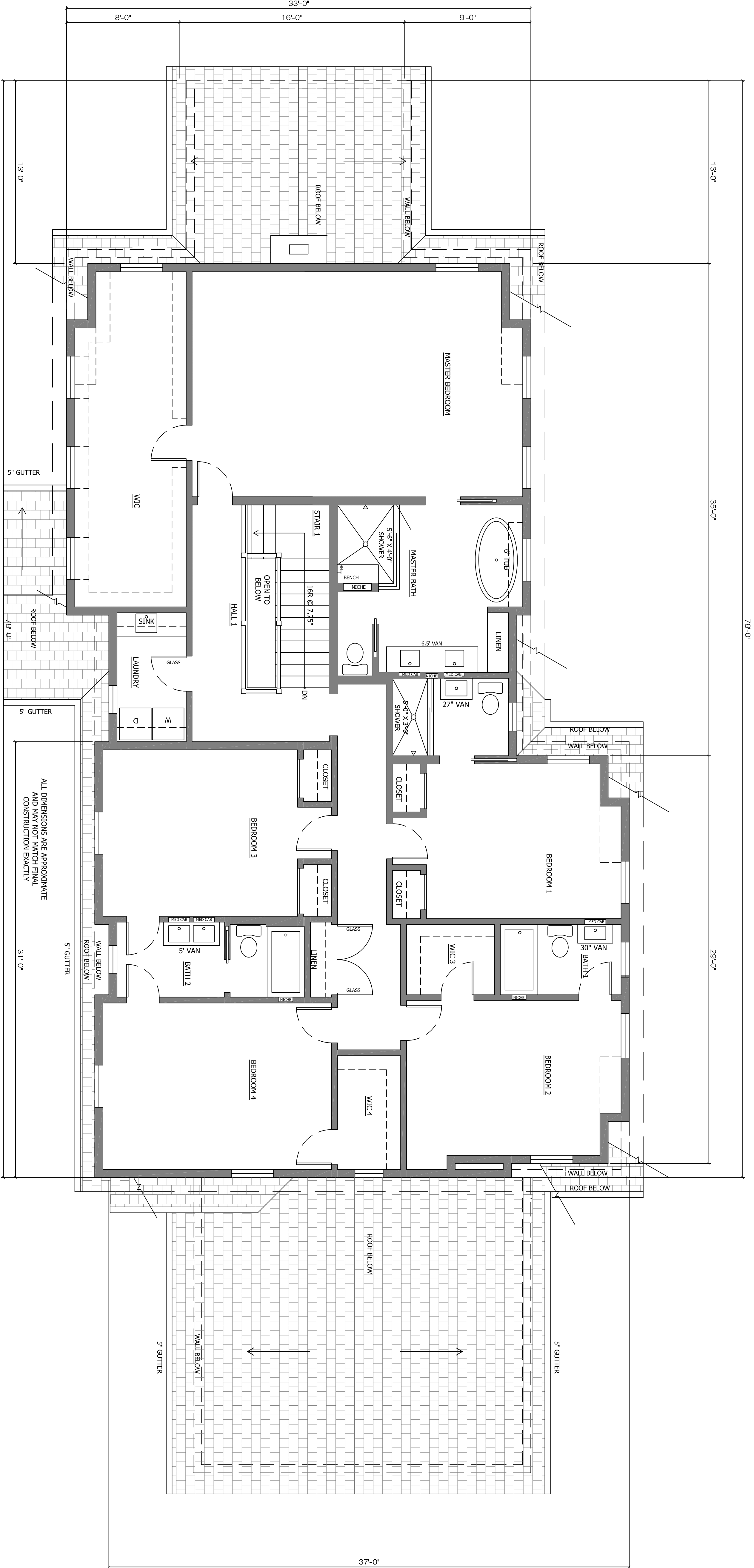
PHASE:

GENERAL NOTES

1. PROVIDE (2)2X10 HEADERS AT ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED.
2. FRAMING PLANS FOR ILLUSTRATIVE PURPOSES ONLY. NOT ALL MEMBERS SHOWN.
3. PROVIDE 3" MINIMUM BEARING AT ALL BEAMS.
4. PROVIDE 1 1/2" MINIMUM BEARING AT ALL HEADERS.
5. ALL EXTERIOR WALLS TO BE 2X6 STUDS AT 16" O.C. (2X4 AT INTERIOR WALLS U.N.O.)
6. NOTCH COLUMNS AT EXTERIOR BEAMS (OR PROVIDE SIMPSON CONNECTORS).
7. MAINTAIN 6"-8" MINIMUM HEAD CLEARANCE AT ALL STAIRS
8. FIRE CAULK AT ALL FLOOR PENETRATIONS
9. ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR #2 (OR BETTER).
10. PROVIDE SIMPSON CONNECTORS AS REQUIRED AT BEAMS/COLUMNS
11. SISTER 2X6'S TO EXISTING CEILING JOISTS AS REQUIRED TO LEVEL CEILINGS
12. PROVIDE 3.5" SOUND ATTENUATION BATT INSULATION AROUND ALL BATHROOMS AND LAUNDRY ROOMS

FLOOR PLAN SYMBOL LEGEND

- (X) DOOR SYMBOL—SEE DOOR SCHEDULE  
(X) WINDOW SYMBOL—SEE WINDOW SCHEDULE
- EXISTING CONSTRUCTION
- NEW WOOD FRAMED WALLS
- 2X4 @ 16" O.C. @ INTERIOR WALLS  
2X6 @ 16" O.C. @ EXTERIOR WALLS (R-20)  
(UNLESS NOTED OTHERWISE)  
NEW 3 5/8" METAL STUDS WITH CLOSED CELL SPRAY  
FOAM INSULATION (R-20) — BASEMENT ONLY
- FLOOR DIFFUSER  
(FLUSH WOOD DIFFUSER TO MATCH FLOOR FINISH)
- COLUMN  
POINT LOAD FROM ABOVE  
FLOOR DRAIN



1  
SCALE : 1 / 4" = 1'-0"  
PROPOSED SECOND FLOOR PLAN



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DESCRIPTION	
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NEW HOUSE

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New York 10543

NOTES

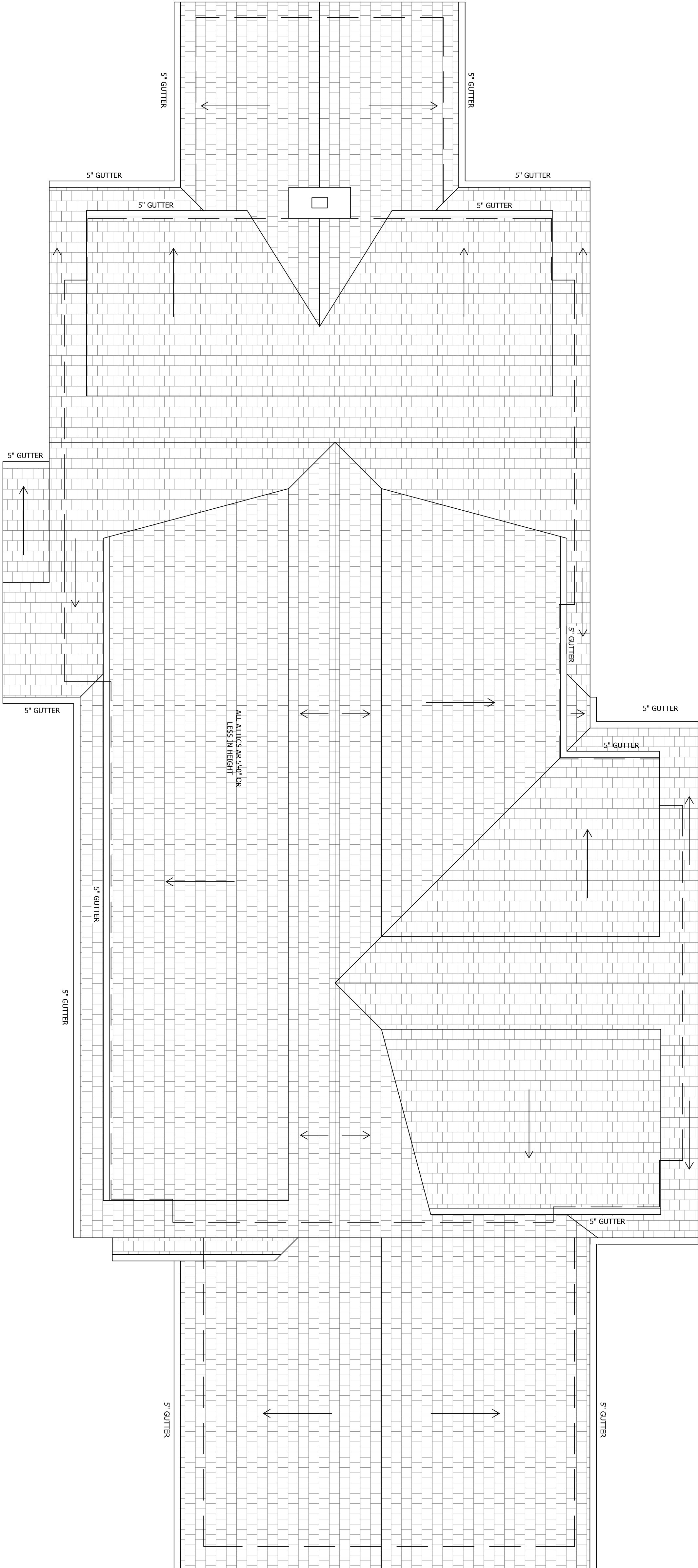

SHEET DESCRIPTION:

PROPOSED ROOF  
PLAN

SHEET NO.

A-6.0

PHASE:





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NOTES

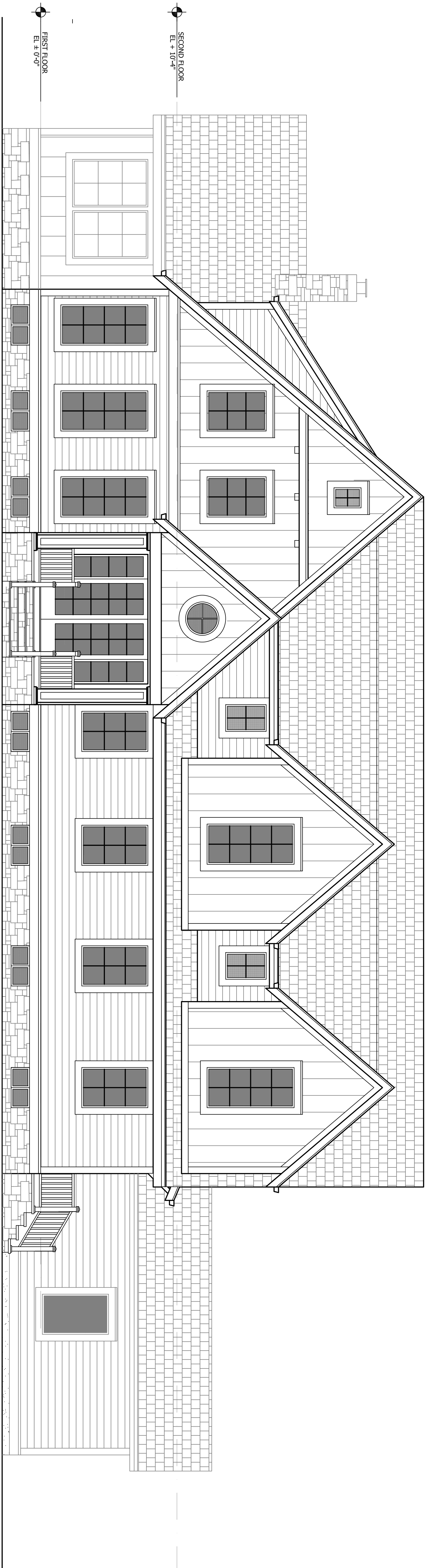
SHEET DESCRIPTION:

PROPOSED  
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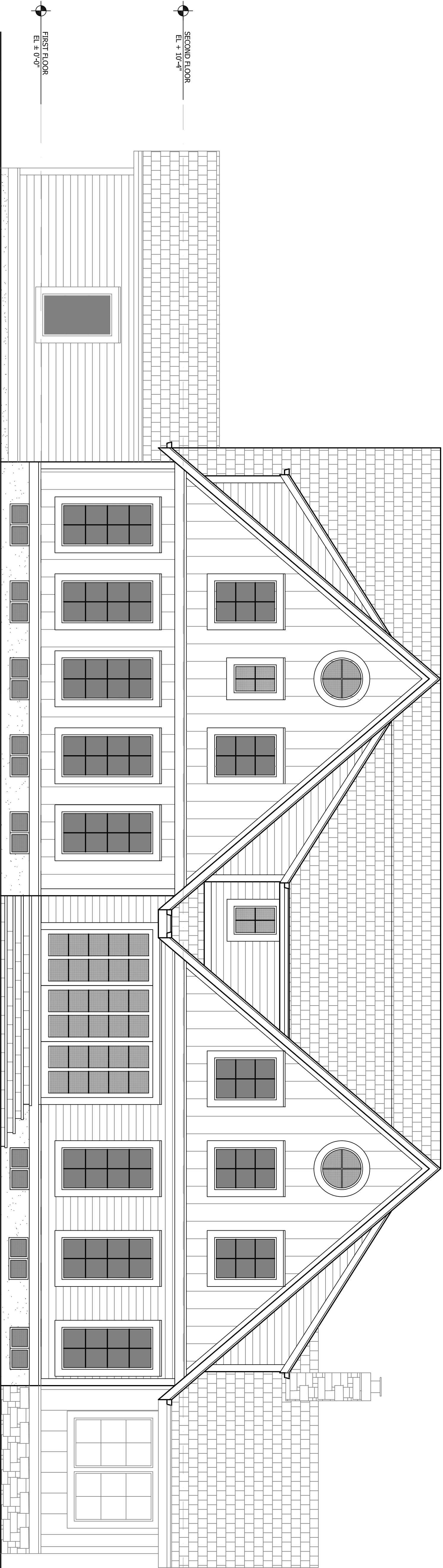
SHEET NO.

A-7.0

PHASE:



1 PROPOSED FRONT ELEVATION  
SCALE : 1 / 4" = 1'-0"



2 PROPOSED REAR ELEVATION  
SCALE : 1 / 4" = 1'-0"

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DESCRIPTION	
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NEW HOUSE

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Mamaroneck  
New York 10543

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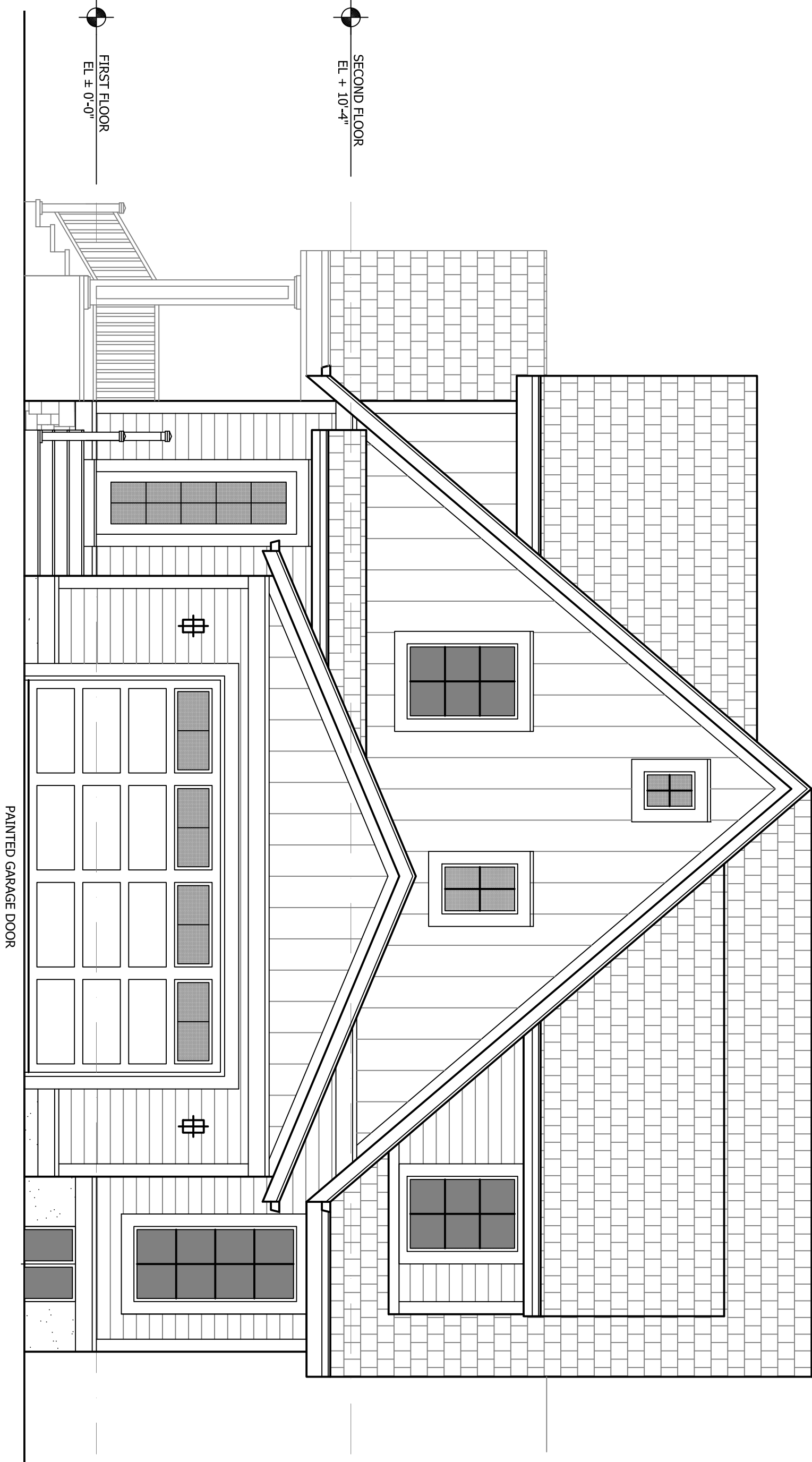
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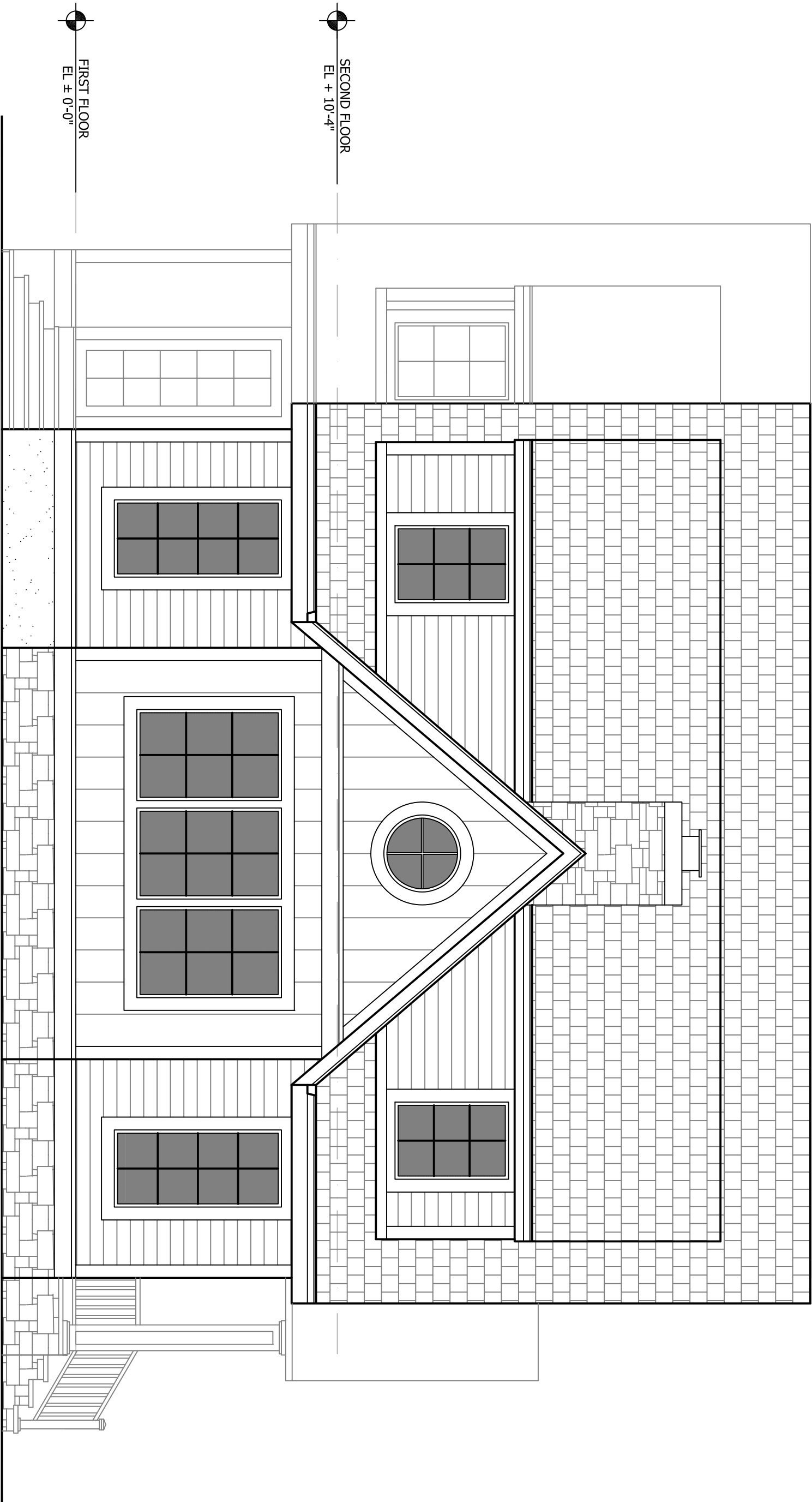
SHEET NO.

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PHASE:



1 PROPOSED LEFT ELEVATION  
SCALE : 1 / 4" = 1'-0"



2 PROPOSED RIGHT ELEVATION  
SCALE : 1 / 4" = 1'-0"

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ISSUED FOR PERMIT	3/16/21


# OAKHURST LLC

## NEW HOUSE


530 Oakhurst Road  
Mamaroneck  
New York 10543

## NOTE

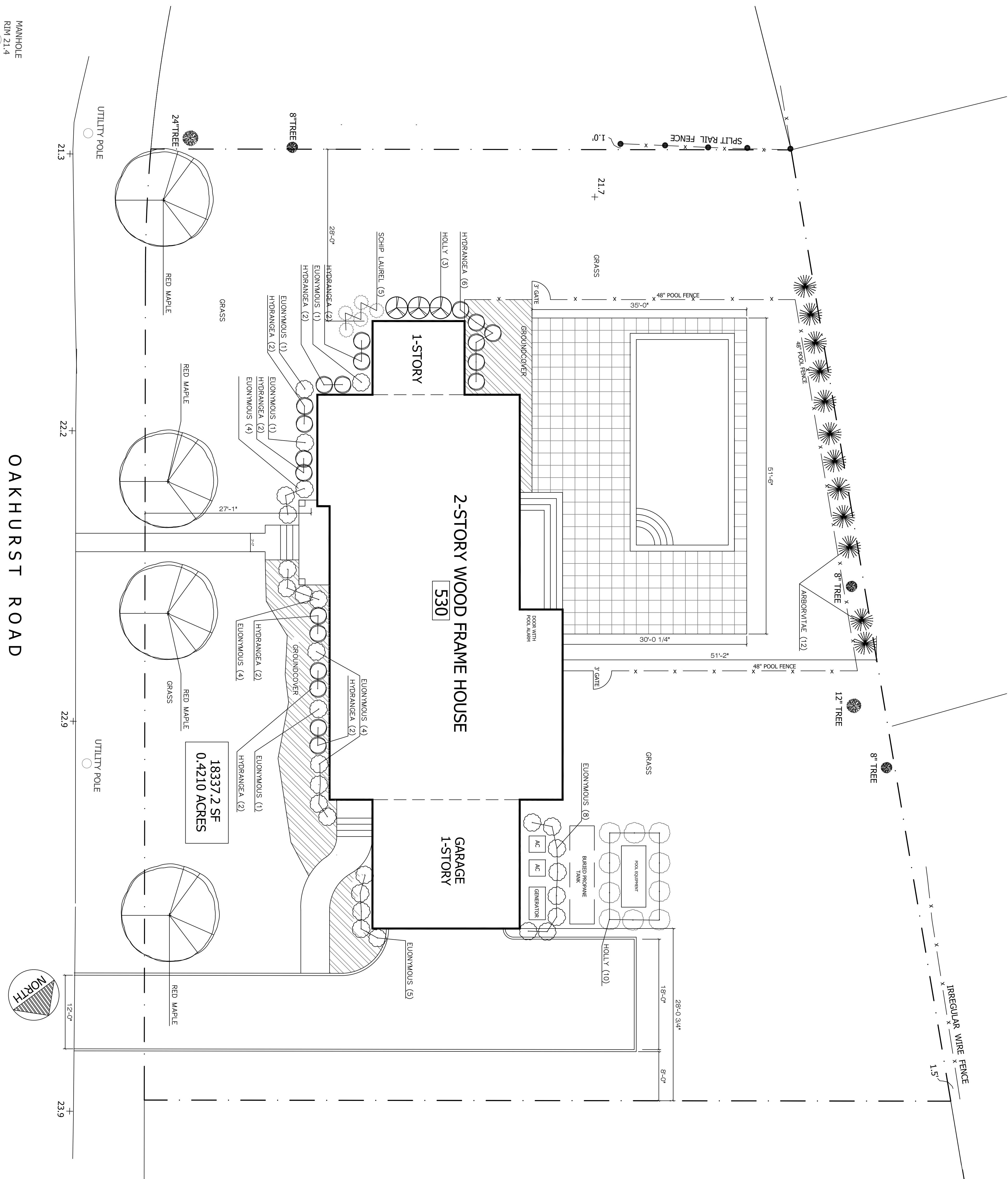
SHEET DESCRIPTION

LANDSCAPE PLA

SHEET



## PHASE



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SCALE: 1/8" = 1'-0"