

NOT A LEGAL SURVEY, FOR REFERENCE ONLY

# REFERENCE SURVEY

THE ARCHITECT CERTIFIES 1 (ALSO CALLED 2020 IRC) A SEE "BUILDING ENVELOPE TO THESE DRAWINGS TO BE IN COMPLIANCE WITH THE 2020 RESIDENTIAL CODE OF NYS AND THE 2020 ENERGY CONSERVATION CODE OF NYS (ALSO CALLED 2020 IREC). THERMAL COMPONENTS CRITERIA" FOR ENERGY COMPLIANCE INFORMATION.

GRAVEL

PLYWOOD

CONCRETE

EARTH

BATT INSULATION

DO NOT SCALE DRAWINGS.

ALL CONSTRUCTION IS TO CONFORM WITH ALL APPLICABLE RESIDENTIAL CODE OF NEW YORK STATE 2020 RESIDENTIAL E WORK TO BE PROVIDED ON THIS PROJECT SHALL INCLUDE ALL NECESSARY COMPONENTS EVEN THOUGH )T SPECIFICALLY MENTIONED OR SHOWN; AND THE CONTRACTOR SHALL NOT AVAIL HIMSELF OF ANY ANIFESTLY UNINTENTIONAL OMISSIONS, SHOULD THEY EXIST. THESE DRAWINGS REPRESENT A "BUILDER SET" DRAWINGS AND ARE TO BE USED AS A GUIDE TO THE CONSTRUCTION PROCESS. THEY DO NOT REPRESENT FULL OR COMPLETE ARCHITECTURAL SERVICE. CODES, ORDINANCES, ETC. ENERGY CODE OF NEW YO ). INCLUDING THE ORK STATE.

ARCHITECT SUPERVISION OF CONSTRUCTION IS NOT INCLUDED WITH THESE DRAWINGS. ARCHITECT ASSUMES NO RESPONSIBILITY FOR WORKMANSHIP, CODE OR PLAN COMPLICONSTRUCTION. THEREFORE THE ANCE DURING

STEEL

RIGID INSULATION

ELEVATION No

**SYMBOLS** 

BRICK

CMU

FINISHED WOOD

GYPSUM BOARD

IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS AND REFINESE SPECIFICATIONS THE MORE STRINGENT PROVISIONS SHALL GOVERN. THE CONTRACTOR SHALL VERIFY ALL MATERIALS, DIMENSIONS, DETAILS AND CONDITION ANY ALLEGED DIFFERENCES OR DISCREPANCIES AT ONCE TO THE OWNER. ERENCED STANDARDS OF NS AND SHALL REPORT

STRUCTURAL SPECIFICATIONS AND DRAWINGS FOR THIS WORK HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED ARCHITECTURAL PRACTICE TO MEET MINIMUM REQUIREMENTS OF THE RESIDENTIAL CODE OF NEW YORK STATE.

ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS MEANS, METHODS, SEQUENCES OF CONSTRUCTION AND THE SAFETY PROCEDURES EMPLOYED BY HIM. CONSTRUCTION LOADS SHALL NOT OVERLOAD STRUCTURE NOR SHALL THEY BE IN EXCESS OF DESIGN LOADING INDICATED ON DRAWINGS.

DING INSPECTOR NOTE THAT THESE PLANS ARE INVALID...

IF ALTERED.

IF NOT STAMPED BY A NEW YORK STATE REGISTERED ARCHITECT WHOSE SEAL MUST BE EITHER IMPRESSED OR ORIGINALLY STAMPED.

IF NOT COLLATED WITH ALL PRESCRIBED SHEETS, INCLUDING THESE NOTES.

WINDOW INDICATION

 $\leq$ 

DOOR NUMBER

REVISION INDICATION

**ELEVATION MARK** 

CHANGES TO THESE PLANS MAY ONLY BE APPROVED WITH THE CONSENT OF TH ARCHITECT AND OWNER.

THE ABSENCE OF A SOILS REPORT THE DRAWINGS USED AS A GUIDE TO THEIR CONSTRUCTION AND VISTRUCTION SITE. MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC. SHALL BE HANDLED AND ALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND PROVISIONS. WHERE SPECIFIC UFACTURED PRODUCTS ARE CALLED FOR, GENERIC EQUALS, WHICH MEET APPLICABLE STANDARDS A SIFICATIONS, MAY BE USED. SHOWING THE FOOTINGS, FOUNDATION AND SLAB ARE TO ARE NOT BASED ON ACTUAL SOIL CONDITIONS AT THE AND

RELOCATE EXISTING SUPPLY AND RETURN DIFFUSERS/DUCTWORK AS REQUIRED ALL INTERIOR AND EXTERIOR INFILL WALLS SHALL BE 2X4 STUDS @ 16" O.C. EXCEPT WHERE NOTED.

THE FOLLOWING ITEMS ARE TO BE PROVIDED BY THE OWNER AND INSTALLED BY THE GENERAL

BY OWNER

SHEET No.

PLUMBING FIXTURES
CABINETS
COUNTERTOPS
GLASS SHOWER DOORS

WOOD BURNING FIREPLACE

SURFACE MOUNTED LIGHTS APPLIANCES

19. 17. ALL EXHAUST FANS, RANGE HOODS AND DRYERS SHALL VENT TO THE OUTSIDE THR CAULK AROUND ALL PENETRATIONS THROUGH EXTERIOR. ALL ELECTRICAL WORK SHALL BE SUPPLIED BY A COMPONENT LICENSED ELECTRICAL CODE. NUGH SHEET METAL DUCTS CONTRACTOR AND SHALL

ALL PLUMBING WORK SHALL CONFORM TO THE 2020 RESIDENTIAL CODE OF NYS ANIPLUMBING WORK SHALL BE PROVIDED BY A LICENSED PLUMBING CONTRACTOR. ALL LOCAL LAWS. ALL

21. ALL PIPE PENETRATIONS OF FLOOR AND FIRE RATED WALL ASSEMBLES SHALL HAVE SIDES TYPICAL OF 3M CP 25N/S CAULK OR ACCEPTABLE EQUAL PER MANUFACTURE FIRE STOP SEALANT BOTH ER'S RECOMMENDATIONS.

ARCHITECT CERTIFIES THESE DRAWINGS ARE IN COMPLIANCE WITH THE 2020 RESIDENTIAL CODE OF NYS TERMITE PROTECTION (R318) BY REQUIRING PRESSURE PRESERVATIVE TREATED WOOD AS PRESCRIBED IN R317.1 AND FOR PROTECTION AGAINST DECAY (R317).

22

THE PROPOSED WORK HAS BEEN DESIGNED IN ALL INSULATION MATERIALS SHALL BE INSTALLED IN COMPLIANCE WITH THE BUILDING CODE. VAPOR BARRIERS SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF THE INSULATION. NO EXPOSED VAPOR BARRIERS SHALL BE COVERED WITH CODE COMPLIANT COVERING. COMPLIANCE WITH THE 2020 NYS ENE RGY CODE.

> FIRST FLOOR SECOND FLOOR GARAGE CELLAR VILLAGE TOTAL MISCELLANEOUS AREA HABITABLE AREA OF MAMARONECK ZONING DISTRICT: SQUARE FEET AND BUILDING DATA R-10 5,263 SF MAXIMUM SQUARE FEET PROPOSED HOUSE 2,479 2,145 504 5,128 2,299

	REQUIRED	PROPOSED	
MINIMUM LOT AREA - SQUARE FEET	10,000	18,337.2 *	
MINIMUM LOT WIDTH	100'	155' *	
MINIMUM LOT DEPTH	100'	104' *	
MINIMUM YARD DIMENSIONS			
PRINCIPAL BUILDING			
FRONT YARD	25'	27.1'	
ONE SIDE YARD	10'	28'	
BOTH SIDE YARDS	25'	56'	
REAR YARD	30'	52.2'	
MAXIMUM FLOOR AREA RATIO (FAR)	28.7	28.7	
MAXIMUM COVERAGE ALL BUILDINGS	35%	16%	
MAXIMUM HEIGHT			
PRINCIPAL BUILDING (FEET) PRINCIPAL BUILDING (STORIES)	35 <sup>-</sup> 2.5	31.5' 2	

EXISTING CONDITION, NO CHANGE REQUESTED

### AKHURST RESIDENCE

PROJECT NAME

**LEWIS** 

+

**LEWIS** 

ARCHITECTS

0

SURVEY

## **NEW HOUSE**

753 FOREST AVENUE LARCHMONT, NEW YORK 10538 (914) 315-6323 gregorym.lewis@hotmail.com

#### 3 AMARONECK, NEW 530 OAKHURST YORK ROAD 10543

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DEMOLISH EXISTING HOUSE NEW TWO-STORY HOUSE NEW IN-GROUND SWIMMING POOL

SCOPE OF WORK

THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT. BLUEPRINTS OR PHOTOCOPIES OF SEAL AND SIGNATURE ARE INVALID. THESE PLANS ARE FOR CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSON WHOSE NAME APPEARS ON THE PLANS.

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CONSERVATION CODE OF NEW YORK STATE

ISSUED FOR PERMIT

DATE 3/16/21

ISSUED / REVISIONS

2020 ENERGY CONSERVATION CODE OF NEW Y CLIMATE ZONE 4 MINIMUM R-VALUE OF WALLS - R-21 MINIMUM R-VALUE OF CEILINGS - R-49 MINIMUM U-VALUE OF FENESTRATIONS - U-32

CLIMATIC AND GEOGRAPHICAL CRITERIA

2020 RESIDENTIAL CODE OF NEW YORK STATE
GROUND SNOW LOAD: 30 PSF
WIND SPEED: 110 MPH
SEISMIC DESIGN CATEGORY: C
FROST DEPTH: 42"
WEATHERING: SEVERE
TERMITE: MODERATE TO HEAVY
FLOOD HAZARD: NOT APPLICABLE

OAKHURST

**NEW HOUSE** 

PSF = POUNDS PER SQUARE FOOT

STRUCTURAL CRITERIA

2020 RESIDENTIAL CODE OF NEW YORK STATE

LIVE LOAD: LIVING AREAS AND DECK: 40 PSF BEDROOMS: 30 PSF

DEAD LOAD : 10 PSF GROUND SNOW LOAD: 30 PSF

ALL STRUCTURAL LUMBER SHALL BE: DOUGLAS FIR #2,  $f_b$  =900, E=1,400,000 (OR BETTER)

PSF = POUNDS PER SQUARE FOOT

MAXIMUM FAR: 0.287 MAXIMUM FLOOR AREA ALLOWED = 5,263 SF > 5,128 SF PROPOSED (OK)

### DRAWING INDEX

T-1 A-0.0 A-0.1 A-0.2 A-1.0 A-1.1

ADJACENT PROPERTIES

ADJACENT PROPERTIES

NEIGHBORING PROPERTIES

NEIGHBORING SITE PLAN

EXISTING SITE PLAN

DEMOLITION PLAN

PROPOSED SITE PLAN

PROPOSED LANDSCAPE PLAN

PROPOSED LANDSCAPE PLAN

PROPOSED BASEMENT PLAN

PROPOSED BASEMENT REFLECTED CEILING & ELECTRICAL PLAN

PROPOSED FIRST FLOOR PLAN

PROPOSED FIRST FLOOR REFLECTED CEILING & ELECTRICAL PLAN

PROPOSED SECOND FLOOR PLAN

PROPOSED SECOND FLOOR PLAN

PROPOSED ROOF PLAN

PROPOSED ROOF PLAN

PROPOSED ELEVATIONS

SCHEDULES

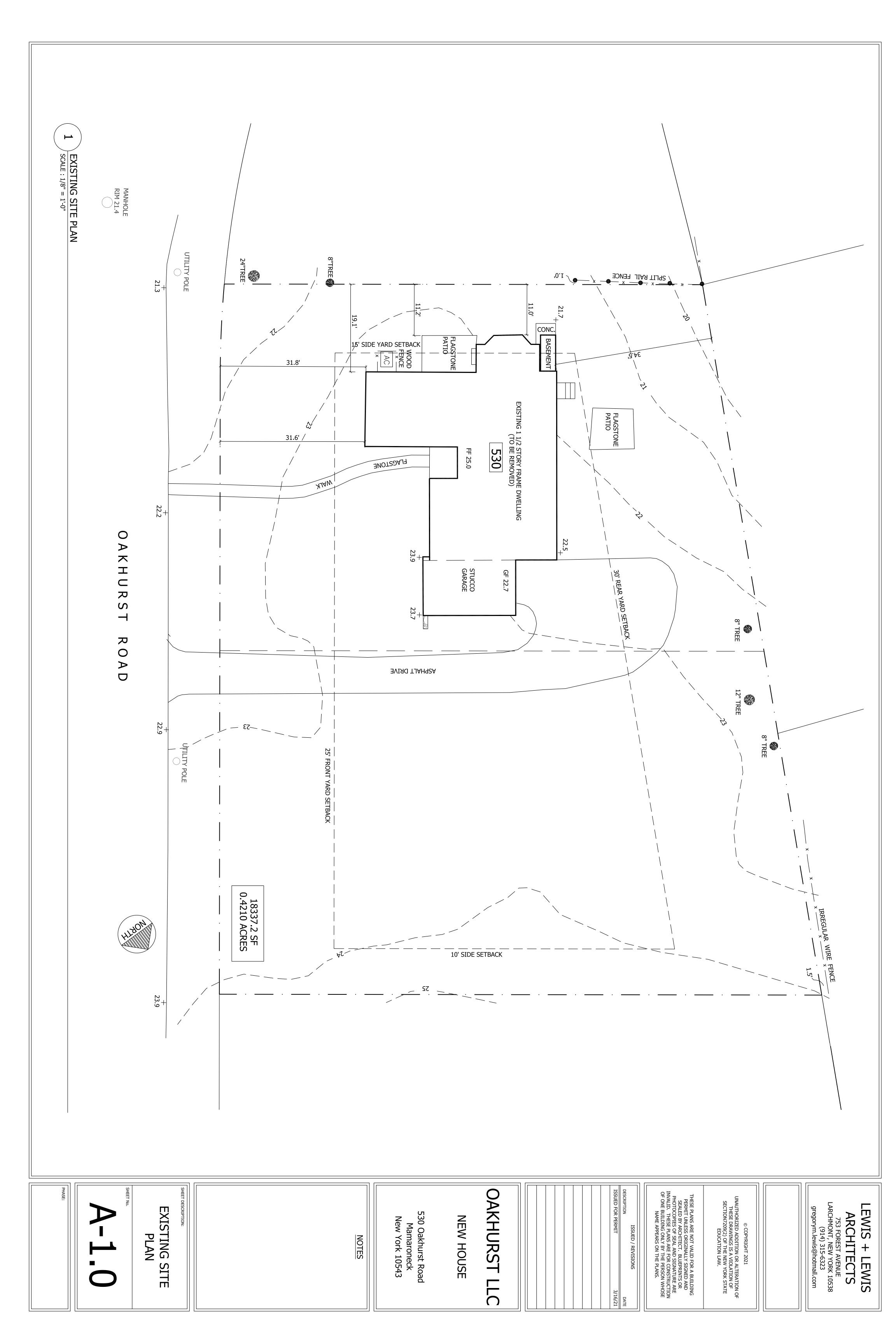
SCHEDULES

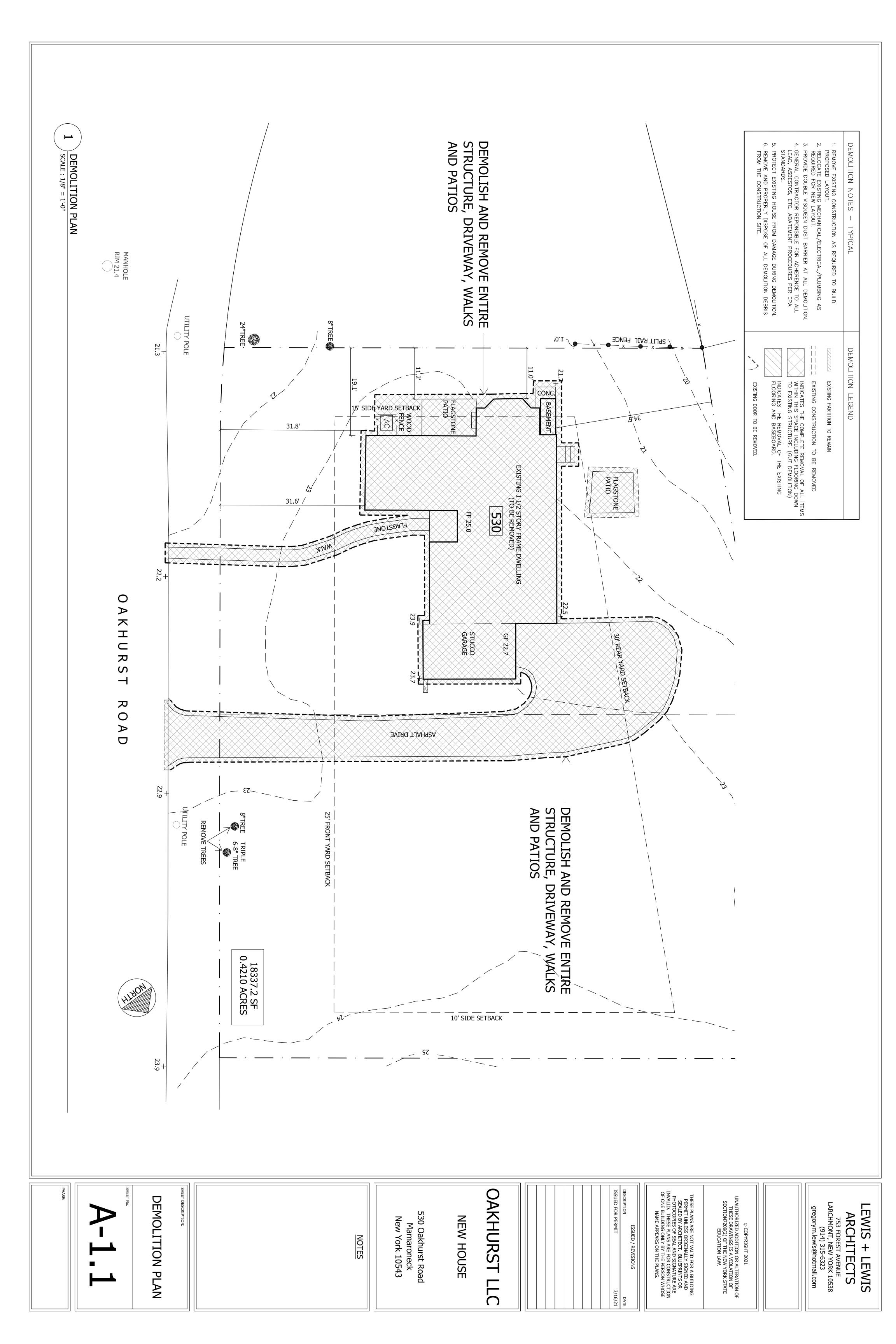
A-3.0 A-3.2 A-4.0 A-5.0 A-5.2 A-6.0 A-7.0 A-7.1 A-8.0 A-9.0

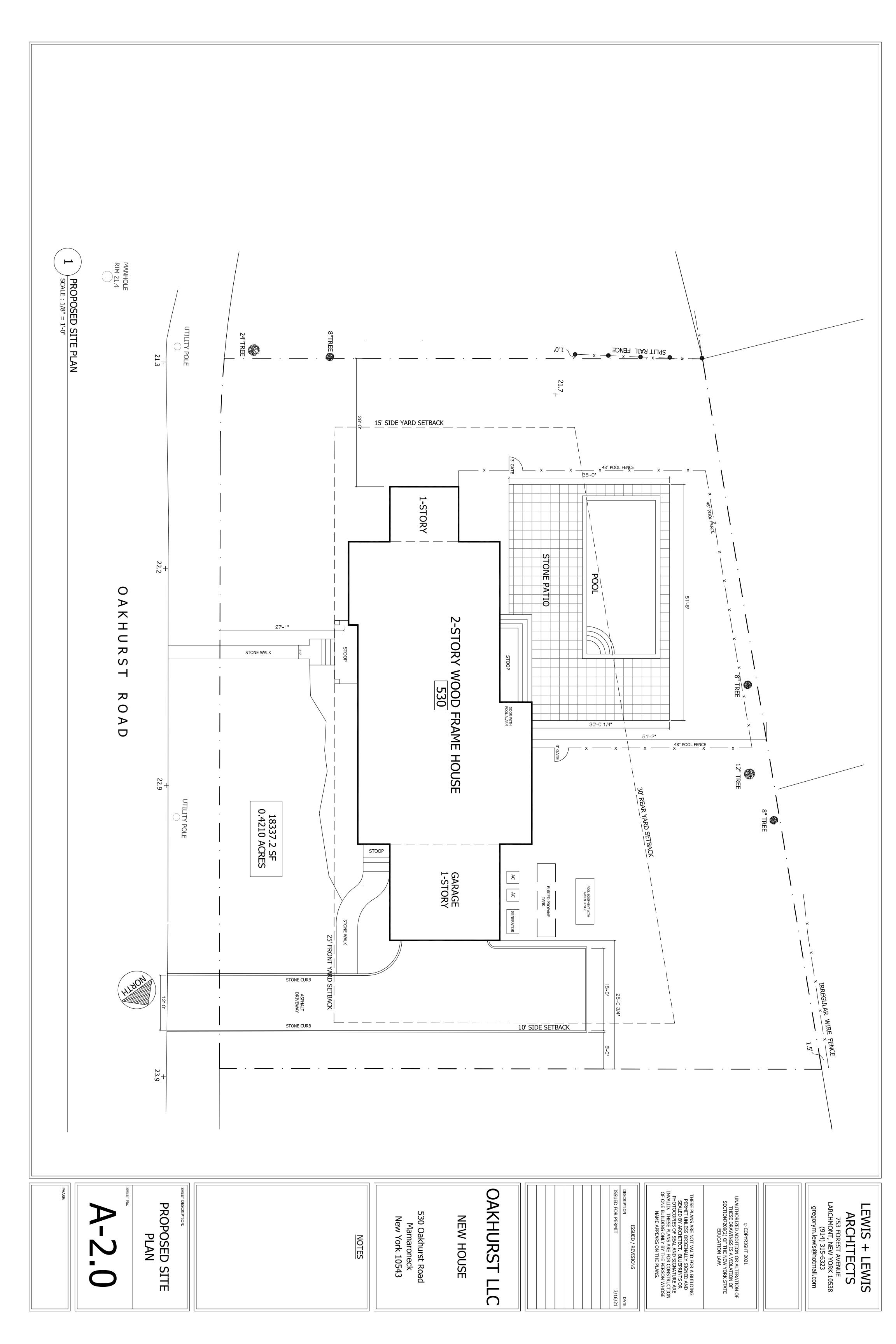
#### 530 Oakhurst Road New York 10543 Mamaroneck

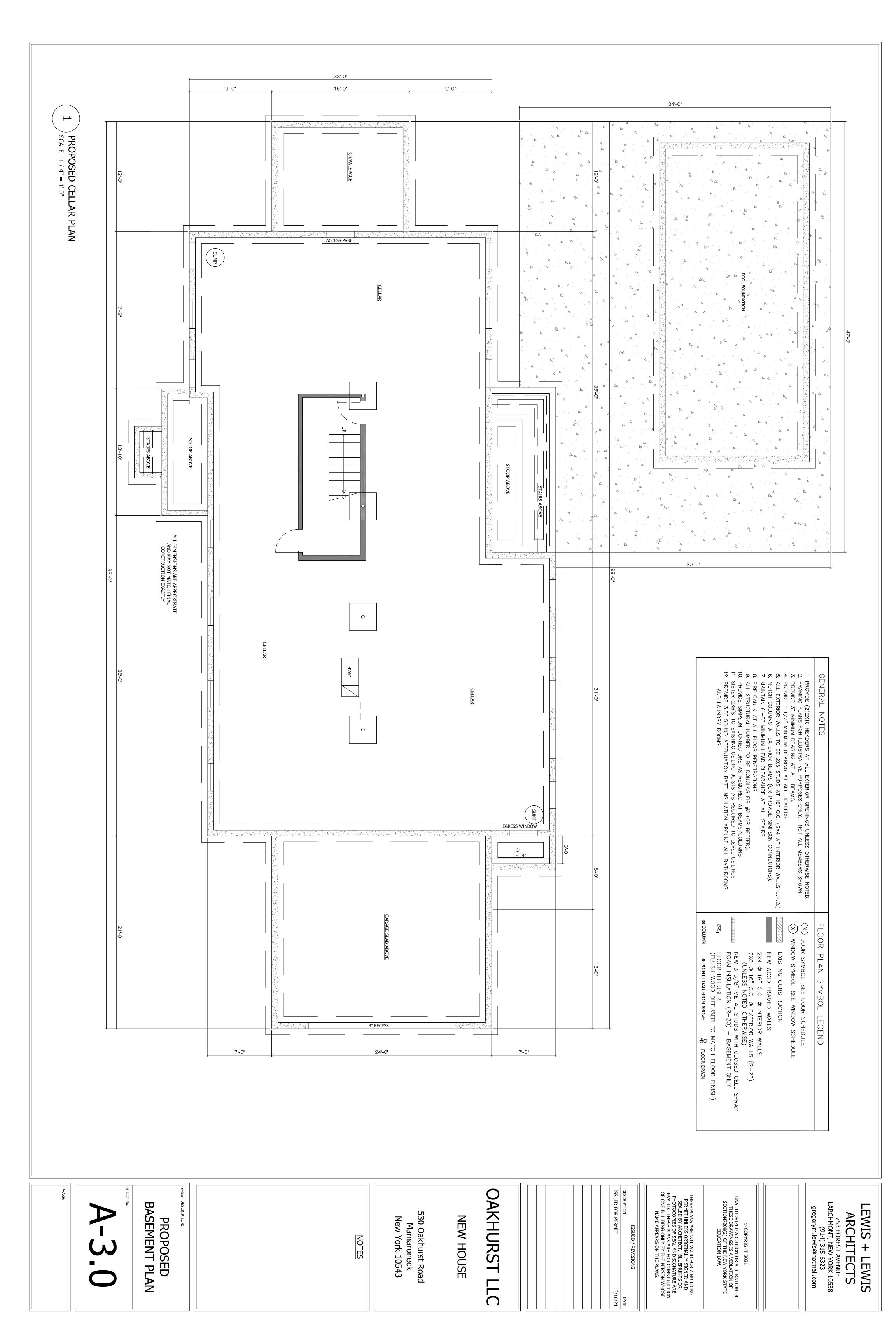
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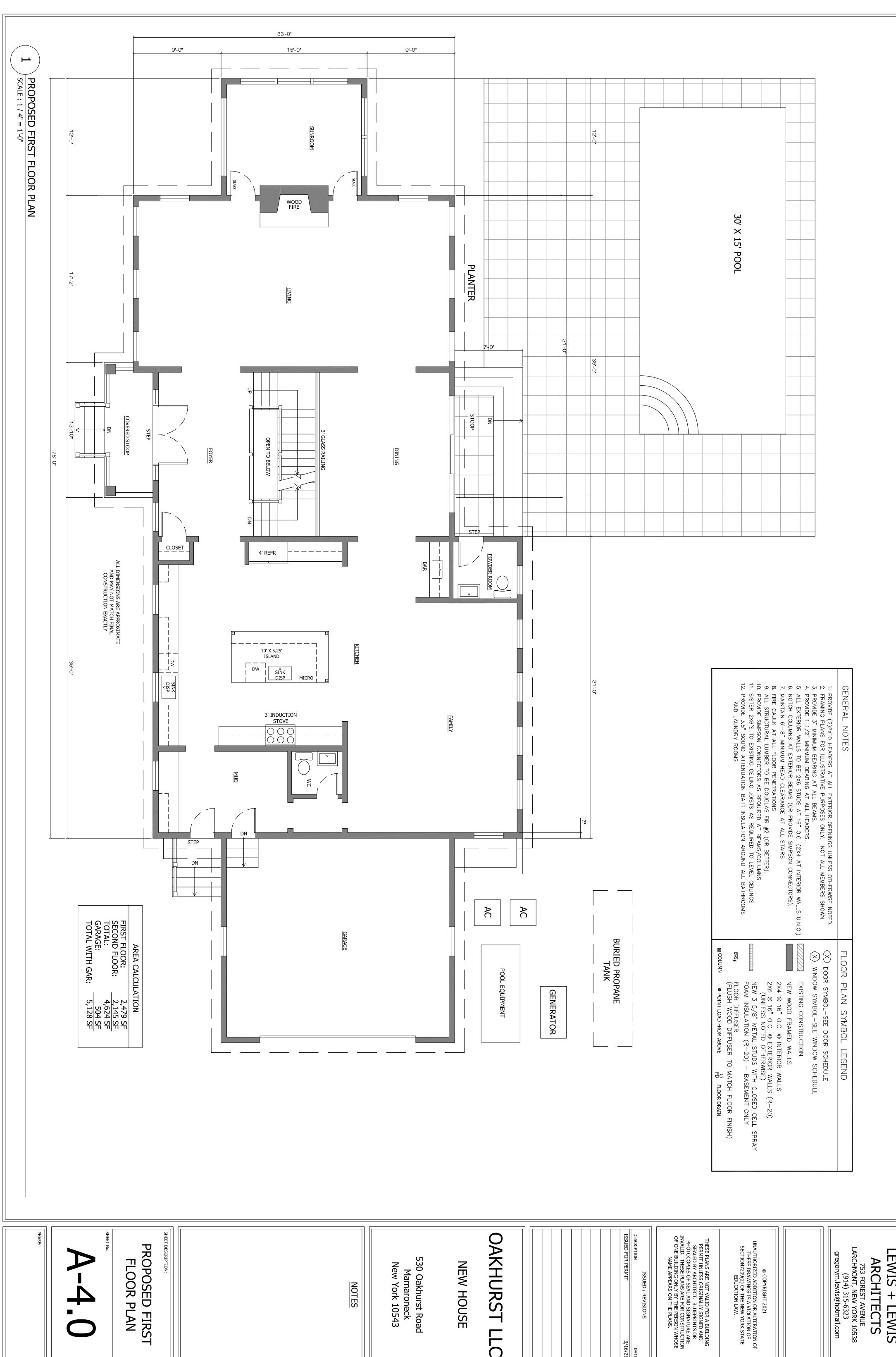
ITLE **SHEE** 





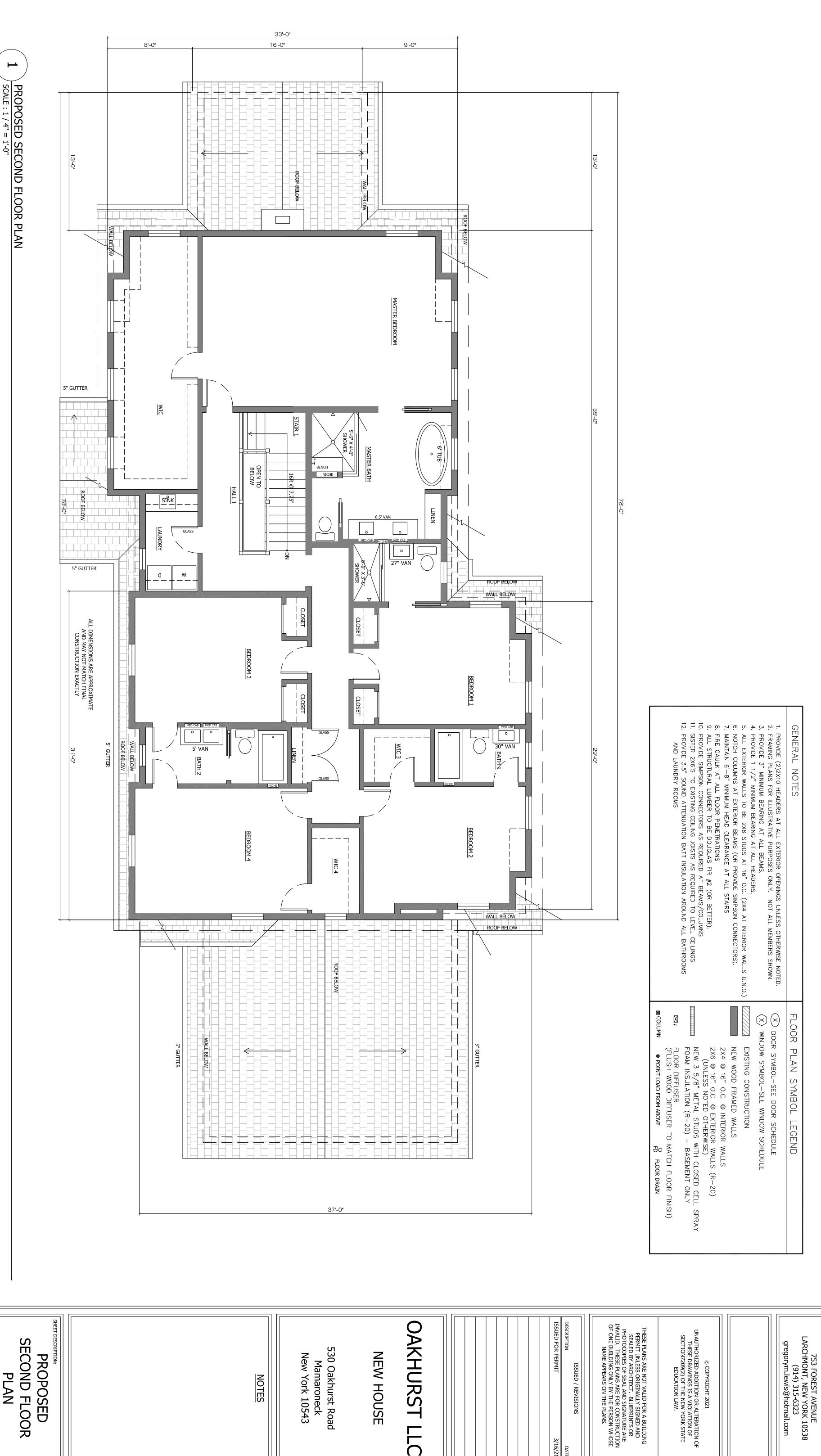






LEWIS + LEWIS ARCHITECTS

DATE 3/16/21



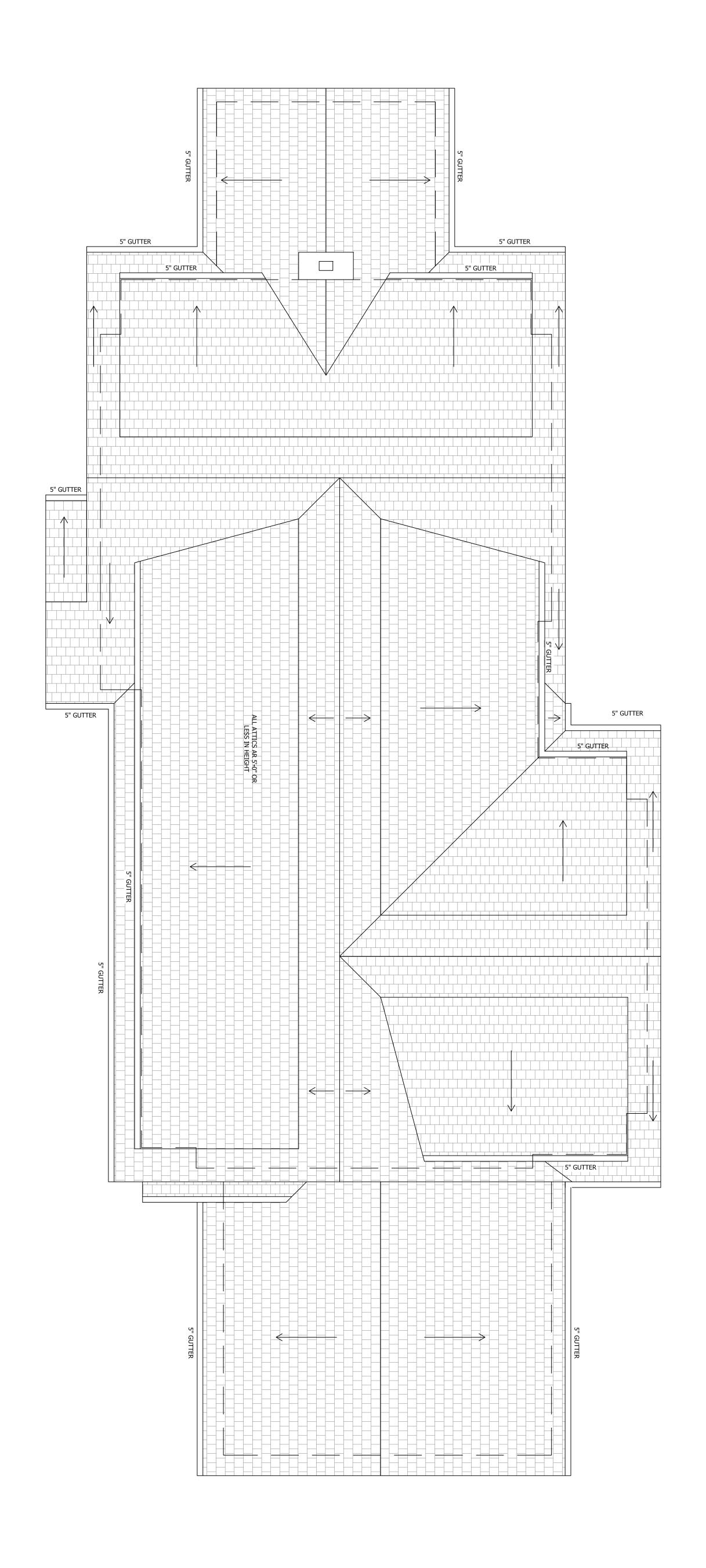
LEWIS + LEWIS ARCHITECTS

DATE 3/16/21

NOTES

PLAN

PROPOSED ROOF PLAN SCALE: 1/4" = 1'-0"



PROPOSED ROOF
PLAN 530 Oakhurst Road Mamaroneck New York 10543 NOTES

**NEW HOUSE** 

**OAKHURST** 

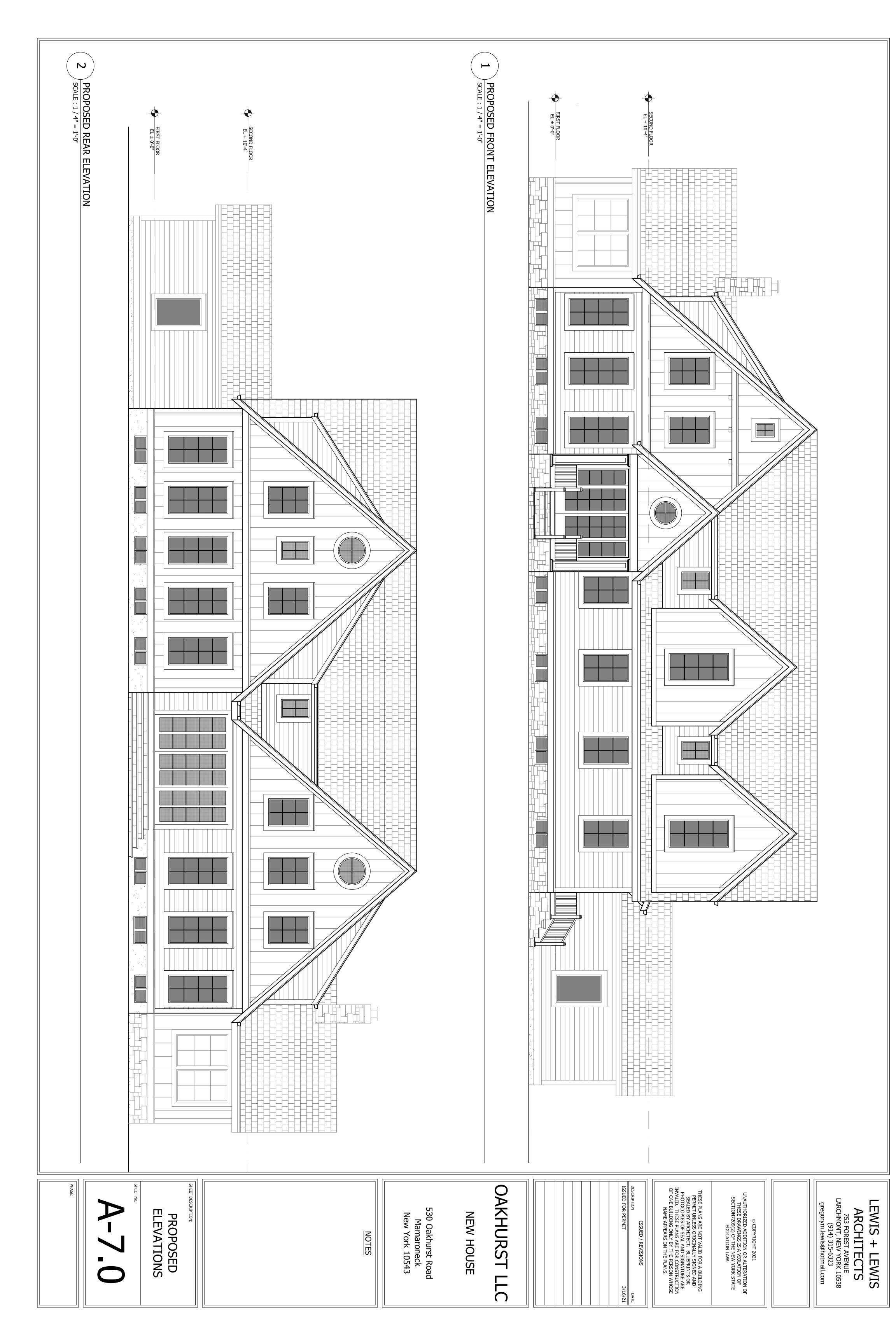
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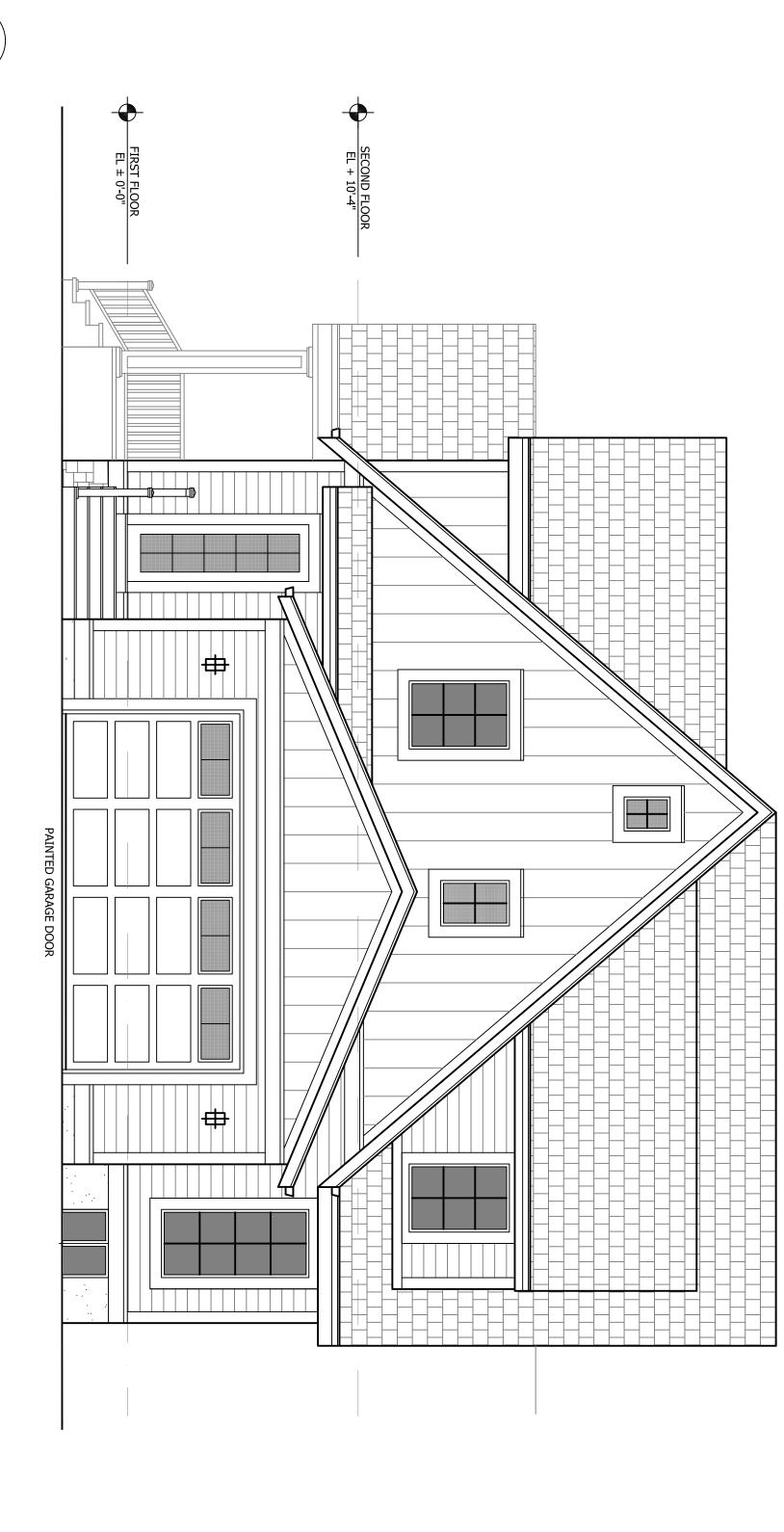
ISSUED / REVISIONS DATE 3/16/21

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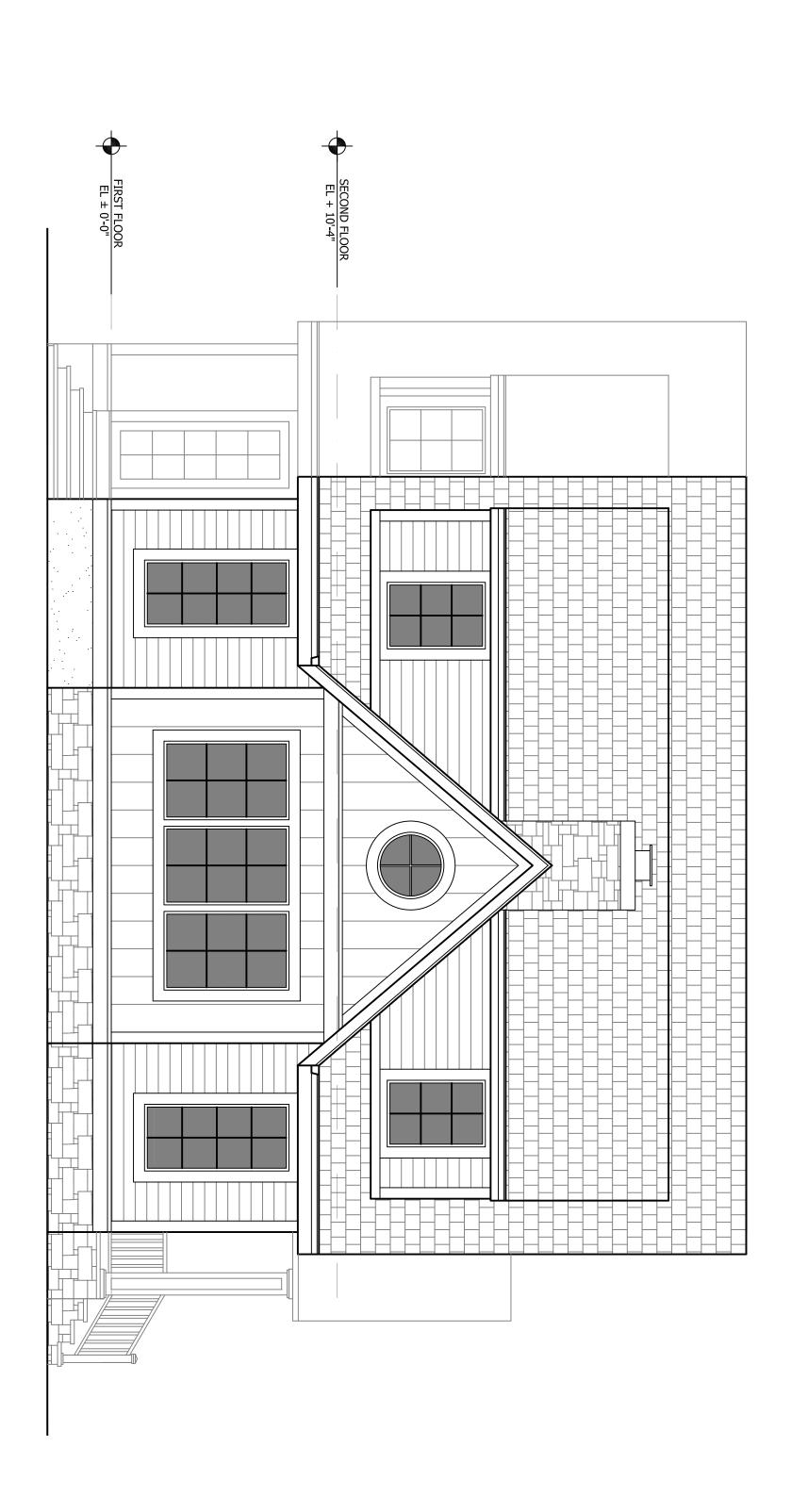
DESCRIPTION
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ISSUED / REVISIONS

PROPOSED LEFT ELEVATION

SCALE: 1/4" = 1'-0"



NOTES

530 Oakhurst Road Mamaroneck New York 10543 **NEW HOUSE** 

**OAKHURST** 

PROPOSED ELEVATIONS

2

PROPOSED RIGHT ELEVATION SCALE: 1 / 4" = 1'-0"

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