

Sigalow Residence

886 Orienta Ave, Mamaroneck, NY 10543

New In-Ground Pool, Patios & Landscaping

20 May 2021 - Building Department Issue



MARSELLA ARCHITECTS, PC

178 EAST BOSTON POST ROAD,
MAMARONECK, NY 10543

TEL 914 630 0800
MARSELLA-ARCHITECTS.COM

SUBMISSIONS

SEAL

Date	Description
05-20-21	Building Department Issue



Sigalow Residence - 886 Orienta Ave, Mamaroneck, NY 10543
New In-Ground Pool, Patios & Landscaping
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ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	DIA	DIAMETER	MECH	MECHANICAL	SECT.	SECTION
AC	AIR CONDITIONING	DET	DETAIL	MAX	MAXIMUM	SIM.	SIMILAR
ALUM	ALUMINUM			MTL	METAL	SQ.	SQUARE
APPROX.	APPROXIMATELY	ELEC	ELECTRIC	MO	MASONRY OPENING	S.F.	SQUARE FEET
ARCH.	ARCHITECTURAL	ELEV	ELEVATION			STD	STANDARD
@	AT	EQ.	EQUAL	NIC	NOT IN CONTRACT	S.S.	STAINLESS STEEL
		EXIST	EXISTING	NTS	NOT TO SCALE	STL	STEEL
BLK	BLOCK			NO OR #	NUMBER	ST	STREET
BD	BOARD	FL	FLOOR	NSM	NON STRUCTURAL MEMBER	STRUCT	STRUCTURAL
BOT.	BOTTOM	FIN	FINISH				
B/O	BOTTOM OF	FIXT.	FIXTURE	OC	ON CENTER	TEL	TELEPHONE
BLDG	BUILDING	FTG	FOOTING	OPG	OPENING	TYP.	TYPICAL
		FT	FOOT OR FEET			T.O.	TRIMMED OPENING
		FDN	FOUNDATION	PTD	PAINTED	T.O.W.	TOP OF WALL
C.H.	CEILING HEIGHT			PL	PLATE	TV	TELEVISION
CAB.	CABINET	GWB	GYPSUM WALLBOARD	PSI	POUNDS PER SQUARE INCH	U.O.N.	UNLESS OTHERWISE NOTED
CL.	CLOSET			RAD.	RADIATOR	VCT	VINYL COMPOSITION TILE
CLG	CEILING	HVAC	HEATING/VENTILATING	REINF.	REINFORCE OR	VERT	VERTICAL
CHU	CONC. MASONRY UNIT(S)	HGT	AIR CONDITIONING	REQ'D	REQUIRED	V.I.F.	VERIFY IN FIELD
COL.	COLUMN		HEIGHT	REV.	REVISION	W/	WITH
CONC.	CONCRETE	IN OR "	INCH OR INCHES	RM	ROOM		
CONT.	CONTINUOUS	LAV	LAVATORY				
DIM.	DIMENSION						
DN	DOWN						
DWG	DRAWING						

ZONE: R-20 SEC: 9 BLOCK: 48 LOT: 57

PROJECT CONTACTS

General Contractor

Cum Laude Group, Inc.
122 Westmoreland Avenue, White Plains, NY 10606
T (914) 946-2488
michelle@cumlaudegroupp.com

Architects

Frank Marsella, AIA for
Marsella Architects, PC
178 E. Bost Post Road, Mamaroneck, N.Y. 10543
T 914-630-0800
frank@marsella-architects.com

Storm Water Engineer

Frangione Engineering, LLC
15 Snowberry Avenue, New Canaan, CT 06840
T (203) 554-9551 F (203) 966-6957
rob.frangione@frangione.net

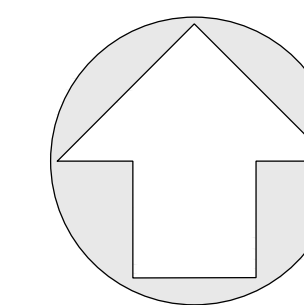
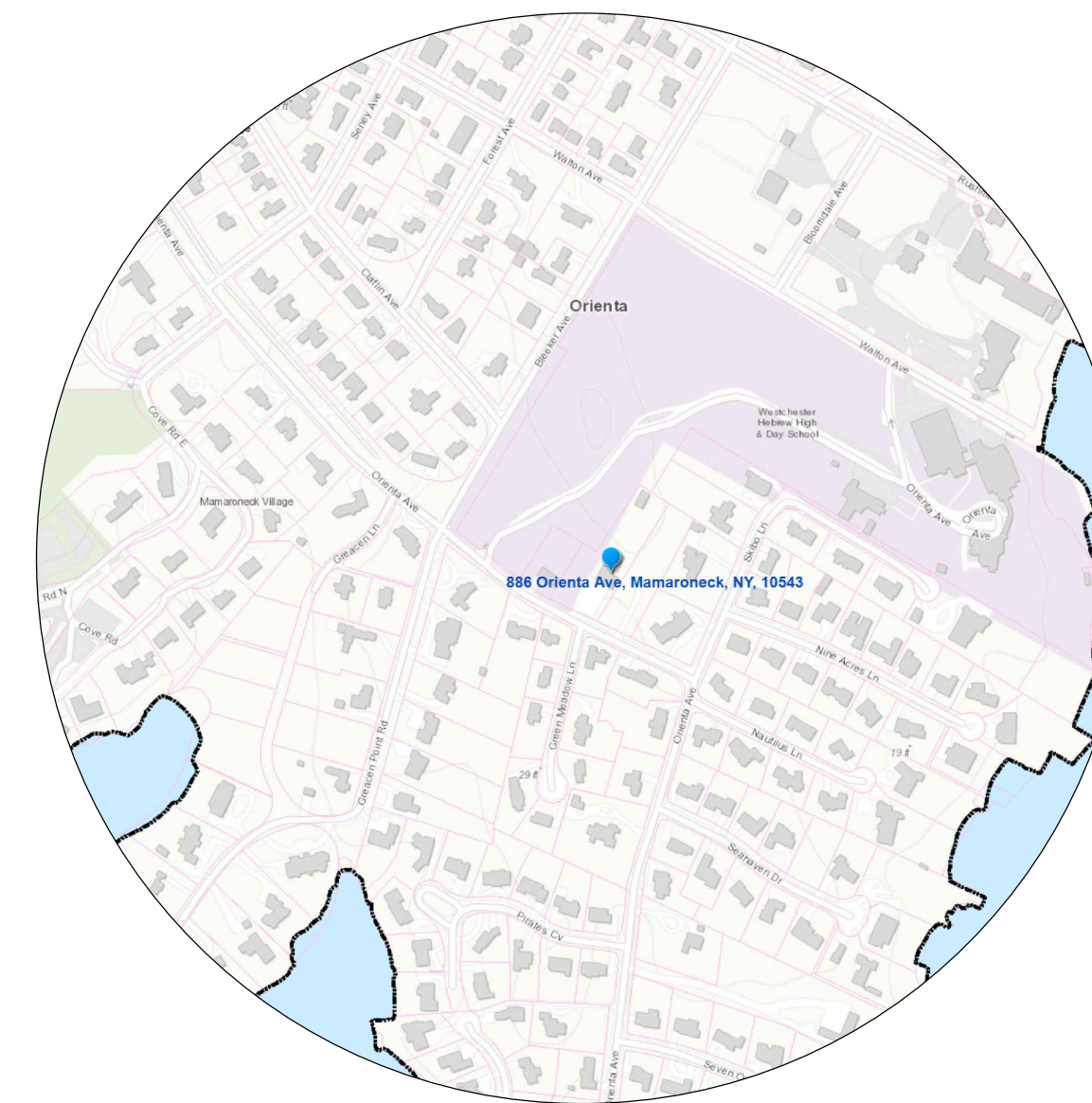
Owner

Ian and Jessica Sigalow
T (617) 285-3282
ian@greycroft.com

Landscape Designer

Rosalia Sanni Design LLC
Landscape & Garden Design
45 East Putnam Avenue, Suite 105,
Greenwich, CT 06830
T (203) 918-4619
rs@rosaliasanni.com

LOCATION MAP



SYMBOLS

	LINE OF FOOTING STONE VENEER		CONC. FOUNDATION WALL SEE PLAN FOR WALL THICKNESS		SUPPLY REGISTER - FLOOR (MATCH FLOOR U.O.N.)		ELEVATION MARK
	ADDITIONS		NEW WOOD STUD PARTITION SEE PLAN FOR STUD SIZE ALL ALL STUDS @ 16" O.C. (U.O.N.)		SUPPLY REGISTER - WALL		INTERIOR ELEVATION MARK
	NEW HOUSE CONSTRUCTION		RETURN REGISTER		SHEET NO. 3		DETAIL OR SECTION MARK
	INTERIOR BEARING PARTITION		INDICATES DROP IN FLOOR LEVEL		ROOM NAME		ROOM TAG
	MASONRY WALL W/ BLUESTONE CAP		FROST FREE HOSE BIB		FLOOR FINISH		CEILING HEIGHT
	STONE SITE WALL		DOOR SIZE		CENTERLINE		BREAK MARK
	EXISTING WALL TO REMAIN		EXTERIOR DOOR TYPES		AREA OF NO WORK		
	EXISTING CONSTRUCTION TO BE REMOVED		EXTERIOR WINDOW TYPES				
	SPRAY FOAM INSULATION		REVISION TAG				
	FIBERGLASS BATT INSULATION		SMOKE DETECTOR				
	RIGID INSULATION		SMOKE & CARBON MONOXIDE DETECTOR				
	NEW DOOR		CARBON MONOXIDE DETECTOR				
	EXISTING DOOR		HEAT DETECTOR				
	NEW WINDOW						
	EXISTING WINDOW						

NOTE: THIS SHEET MAY CONTAIN SYMBOLS THAT ARE NOT APPLICABLE TO THIS PROJECT.

NOTE: ALL FLOOR & CEILING FRAMING MEMBERS ARE TO BE
FLUSH MOUNTED UNLESS OTHERWISE NOTED.

SAFETY DETECTOR REQUIREMENTS

INSTALL AS PER SECTION R314 & SECTION R315 OF 2020 RESIDENTIAL CODE OF NEW YORK STATE
REQUIRED A MINIMUM OF THE FOLLOWING:

PROVIDE INTERCONNECTED SMOKE DETECTORS WITH BATTERY BACK-UP (INTERCONNECTION NOT
REQUIRED IN ALTERATIONS AND REPAIRS) IN EACH SLEEPING ROOM, OUTSIDE THE IMMEDIATE
VICINITY OF THE BEDROOMS, ONE SMOKE/CARBON MONOXIDE DETECTOR AT EACH LEVEL INCLUDING
THE ATTIC & BASEMENT. ALSO PROVIDE ONE HEAT DETECTOR AND ONE CARBON MONOXIDE
DETECTOR WITHIN SIX FEET OF THE BOILER UNIT.

TABLE N1102.1.2 (R402.1.2) INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT *									
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING FRAME R-VALUE	WOOD WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH
4A	0.32 ^b	0.55	0.40 ^b	49	20 or 13 + 5	8/13	19	10/13 ^c	10, 2FT ^d

- a. R-values are minimums. U-factors and SHGC are maximums. column applies to all glazed fenestration.
b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
c. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation on the interior of the basement wall. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall.
d. R-5 insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-value for slabs, as indicated in the table. The slab edge insulation for heated slabs shall not be required to extend below the slab.

STATEMENT OF COMPLIANCE:
The proposed building design represented in these documents is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the requirements of the New York State Energy Conservation Code, 2020

Architect: Frank Marsella, AIA Date

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA											
GROUND SNOW LOAD (psf)	WIND SPEED (mph)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM WEATHERING	FROST LINE DEPTH (IN.)	TERMITES	WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS
30	115-120	NO	YES	ZONE 1	C	SEVERE	42"	MODERATE/ HEAVY	0°-10°F	YES	NO

INTERIOR HEADER SCHEDULE
SIZE OF OPENING MEMBER REQUIRED
0' - 4' (2) 2x10
4' - 6' (2) 1 3/4" x 9 1/2" LVL

EXTERIOR HEADER SCHEDULE
SIZE OF OPENING MEMBER REQUIRED
0' - 4' (2) 1 3/4" x 9 1/2" LVL
4' - 8' (2) 1 3/4" x 11 7/8" LVL

STEEL LINTEL SCHEDULE
SIZE OF OPENING ANGLE REQUIRED
0' - 4' L4" x 3 1/2" x 3/16"
4' - 6' L5" x 3 1/2" x 3/16"
6' - 9' L6" x 3 1/2" x 3/16"

DESIGN LOADS

ROOF LIVE: 30 LBS/SF
DEAD: 30 LBS/SF
TOTAL LOAD: 60 LBS/SF

ATTIC LIVE: 20 LBS/SF
DEAD (no storage): 20 LBS/SF
DEAD (w/storage): 30 LBS/SF
TOTAL LOAD: 40-50 LBS/SF

INTERIOR PARTITIONS LIVE: 0 LBS/SF
DEAD: 20 LBS/SF
TOTAL LOAD: 20 LBS/SF

EXTERIOR WALLS LIVE: 0 LBS/SF
DEAD: 40 LBS/SF
TOTAL LOAD: 40 LBS/SF

FLOORS LIVE: 40 LBS/SF
DEAD: 20 LBS/SF
TOTAL LOAD: 60 LBS/SF

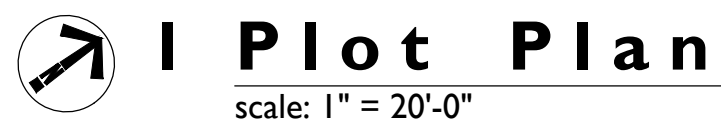
DRAWING LIST

- A-002** PLOT PLAN & ZONING DATA
- A-003** EXISTING SITE AND NEIGHBOR PHOTOS
- A-101** TRELLIS PLANS, DETAILS, RET. WALLS AND MAPS
- S1** STORMWATER MANAGEMENT - SITE PLAN
- S2** STORMWATER MANAGEMENT - DETAILS & NOTES
- L-6.0** PROPOSED PLANTING PLAN
- L-6.1** PLANTING DETAILS & SPECIFICATIONS



ZONING AS PERMITTED	ZONING AS EXISTING	ZONING AS PROPOSED	RESULT
DISTRICT: R-20, ONE FAMILY DWELLING	ONE FAMILY DWELLING	ONE FAMILY DWELLING	
LOT DATA MIN. LOT SIZE = 20,000 SF MIN. LOT FRONTAGE = 100' MIN. LOT DEPTH = 100'	LOT DATA ACTUAL LOT SIZE = 73,018.113 SF (1,677 AC.) LOT FRONTAGE = 157.91' LOT DEPTH = 437.06' AREA OF REAR YARD = 39,443.5' SF		
MAX. COVERAGE MAX. COVERAGE (ALL BUILDINGS) = 35%	MAX. COVERAGE MAX. COVERAGE = 4,563 / 73,018.113 = 6.25% (ALL BUILDINGS)	MAX. COVERAGE MAX. COVERAGE = 4,563 / 73,018.113 = 6.25% (ALL BUILDINGS)	✓
F.A.R. = .270 (.27%) 73,018.113 x .270 = 19,714.9 TOTAL S.F. = 19,714.9 S.F.	F.A.R. = 8,124 SF / 73,018.113 SF = .111 (11.1%) FIRST FLOOR + GARAGE: 3,321 SF. SECOND FLOOR: 2,319 SF. ACCESSORY STRUCT. FIRST FLOOR: 1,242 SF. ACCESSORY STRUCT. SECOND FLOOR: 1,242 SF. TOTAL: 8,124 SF	FIRST FLOOR + GARAGE: 3,321 SF. (NO CHANGE) ✓ SECOND FLOOR: 2,319 SF. (NO CHANGE) ✓ ACCESSORY STRUCT. FIRST FLOOR: 1,242 SF. (NO CHANGE) ✓ ACCESSORY STRUCT. SECOND FLOOR: 1,242 SF. (NO CHANGE) ✓ TOTAL: 8,124 SF (NO CHANGE) ✓	✓ ✓ ✓ ✓ ✓
MIN. YARD OFFSETS FRONT YARD = 25' (1) SIDE = 20' TOTAL OF (2) = 45' REAR YARD = 30'	YARD OFFSETS FRONT YARD = 108.07' (1) SIDE = 23.26' TOTAL OF (2) = 23.26' + 26.87' = 50.13' REAR YARD = 210.32'	YARD OFFSETS FRONT YARD = 108.07' (NO CHANGE) ✓ (1) SIDE = 23.26' (NO CHANGE) ✓ TOTAL OF (2) = 23.26' + 26.87' = 50.13' (NO CHANGE) ✓ REAR YARD = 210.32' (NO CHANGE) ✓	✓ ✓ ✓ ✓
MAX. BUILDING HEIGHT = 2½ STORY, 35'-0"	BUILDING HGT = 2 STORY, 30'-6 1/4" AVG.	BUILDING HGT = 2 STORY, 30'-6 1/4" AVG. (NO CHANGE)	✓
ACCESSORY STRUCTURE MIN. YARD OFFSETS SIDE YARD = 20' REAR YARD = 6'	ACCESSORY STRUCTURE YARD OFFSETS SIDE YARD = 2.8' REAR YARD = 9.53'	ACCESSORY STRUCTURE YARD OFFSETS SIDE YARD = 2.8' (NO CHANGE) ✓ REAR YARD = 9.53' (NO CHANGE) ✓	✓ ✓
MAX HEIGHT = 20'-0" (FOR ACCESSORY GARAGE)	AVG. HEIGHT = 19.61' (ACCESSORY STRUCTURE)	AVG. HEIGHT = 19.61' (ACCESSORY STRUCTURE) (NO CHANGE)	✓
SWIMMING POOL AREA MAX POOL AREA = 40% OF REAR YARD 39,443.5 x 0.40 = 15,777.4 SF.	SWIMMING POOL AREA POOL AREA = N/A	SWIMMING POOL AREA POOL AREA = 1,300 SF / 39,443.5 SF = .033 = 3.33%	✓
VARIANCE REQUIRED =			

VARIANCE REQUIRED =



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NO.	REVISION	DATE
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SHEET 9	BLOCK 48	LOT 57
PROJECT PHASE		
Building Department Issue		

DRAWING NUMBER

A-002



Main House - Right Looking Towards Rear



Location of Proposed Pool at Rear



Location of Proposed Pool Facing East



Location of Proposed Pool Facing South



Sample of Stacked Landscape Wall

SITE PHOTOS



Across Left Neighbor



Across Neighbor



Across Right Neighbor



Right Neighbor



Left Neighbor

NEIGHBORS

M | A
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SEAL AND SIGNATURE



NO.	SUBMISSION	DATE
A	Building Department Issue	05/20/21

NO.	REVISION	DATE
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PROJECT NAME
Sigalow Residence

In-Ground Pool, Patios
& Landscaping

BUILDING NAME & ADDRESS
886 Orienta Ave
Mamaroneck, N.Y. 10543

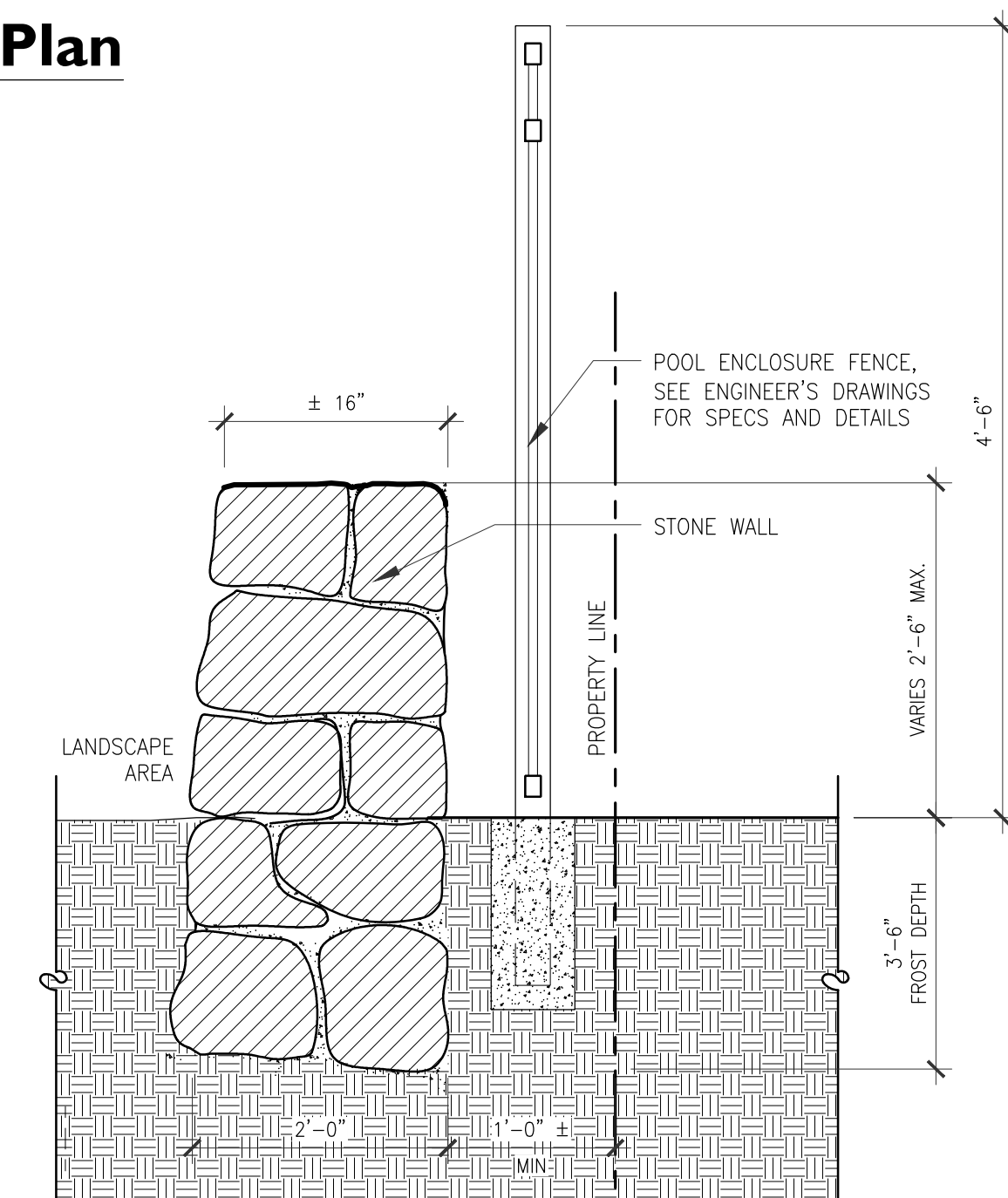
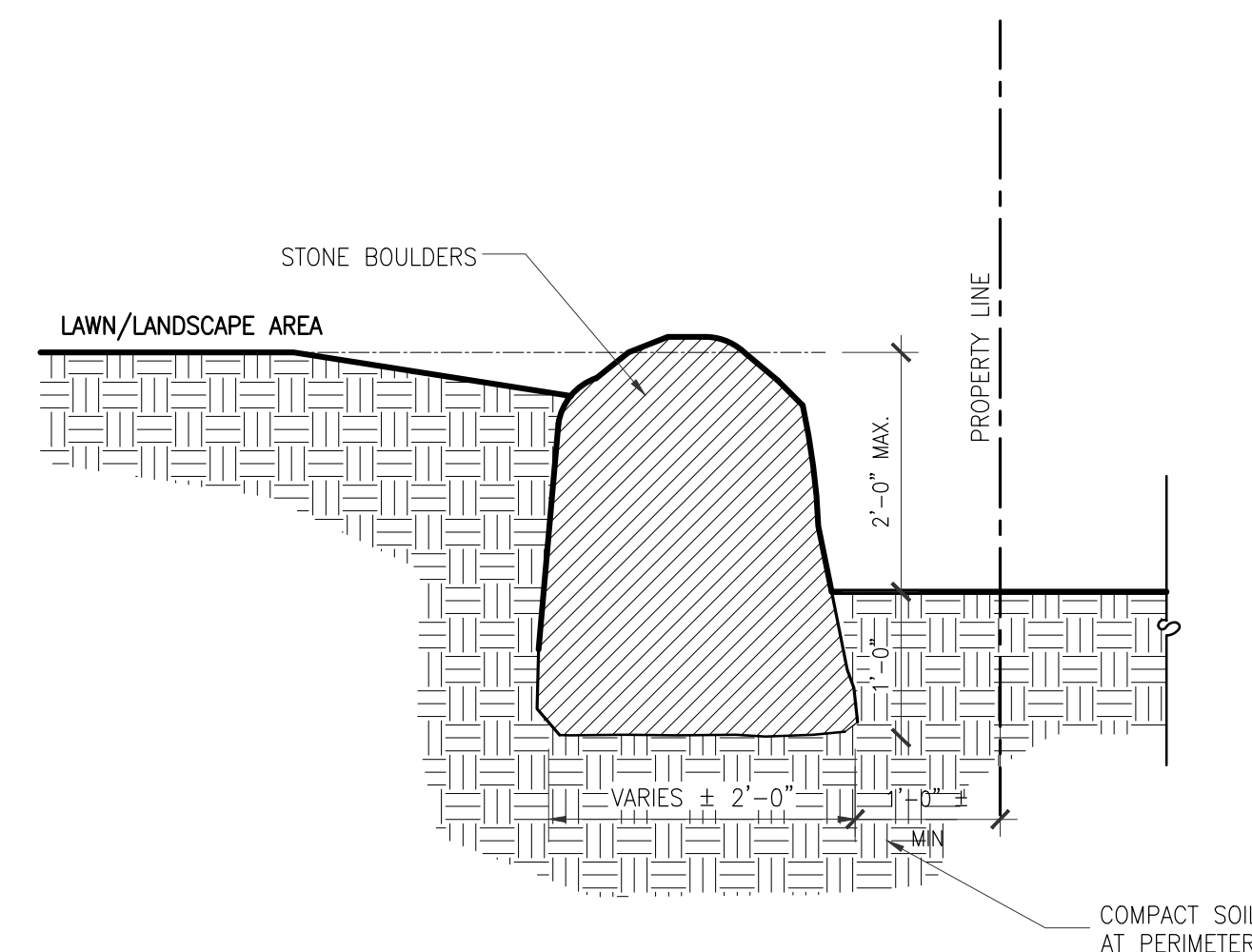
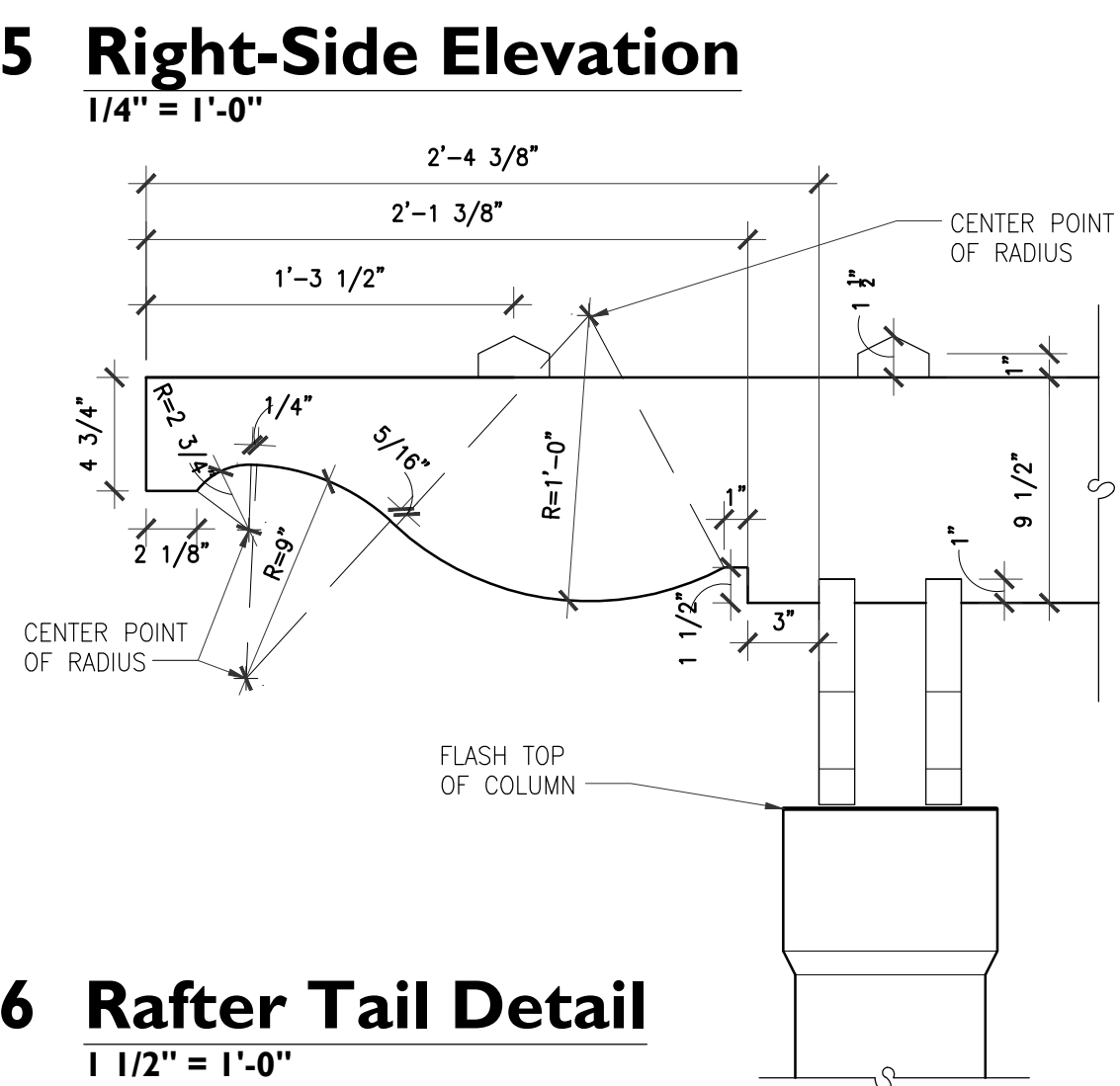
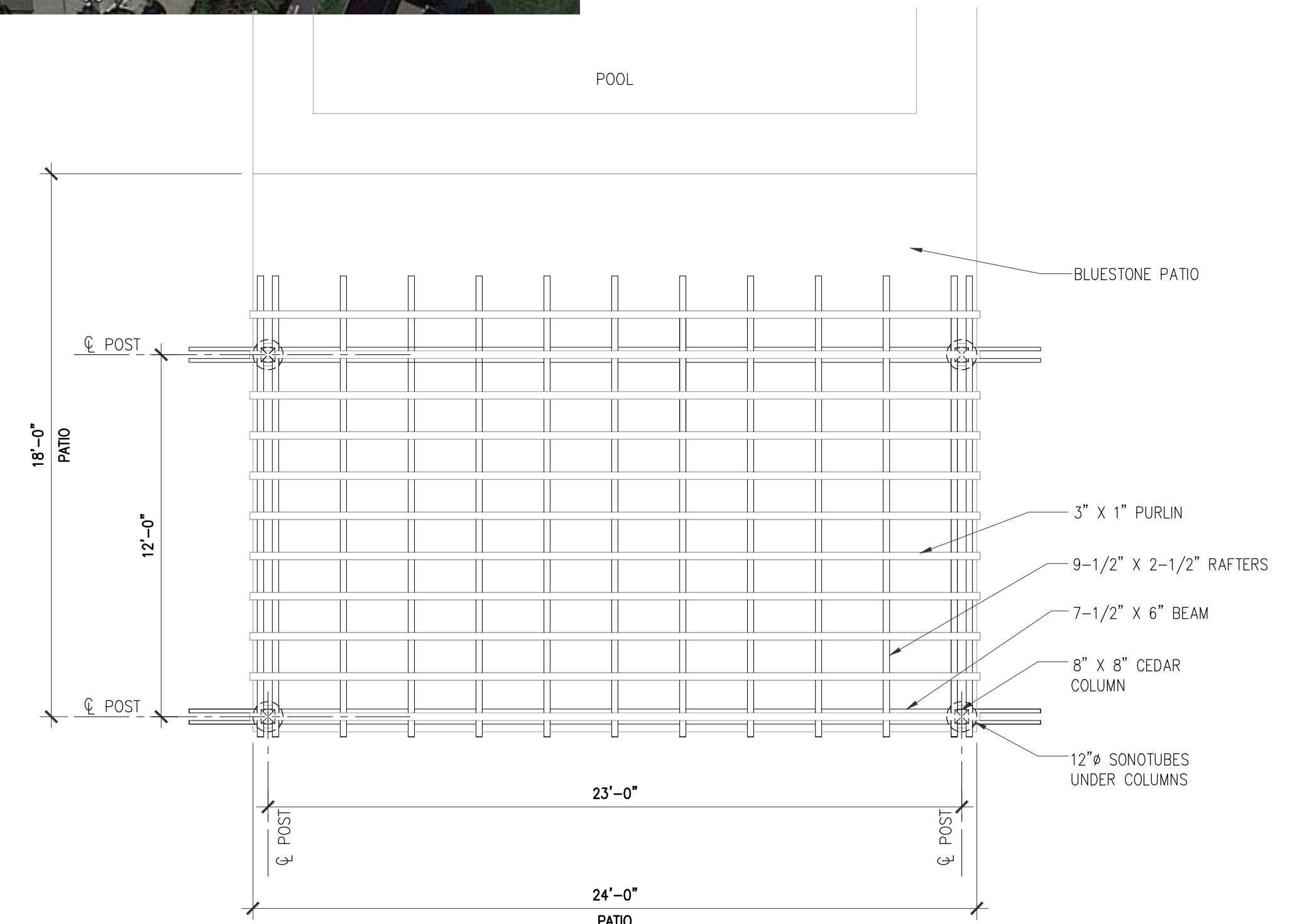
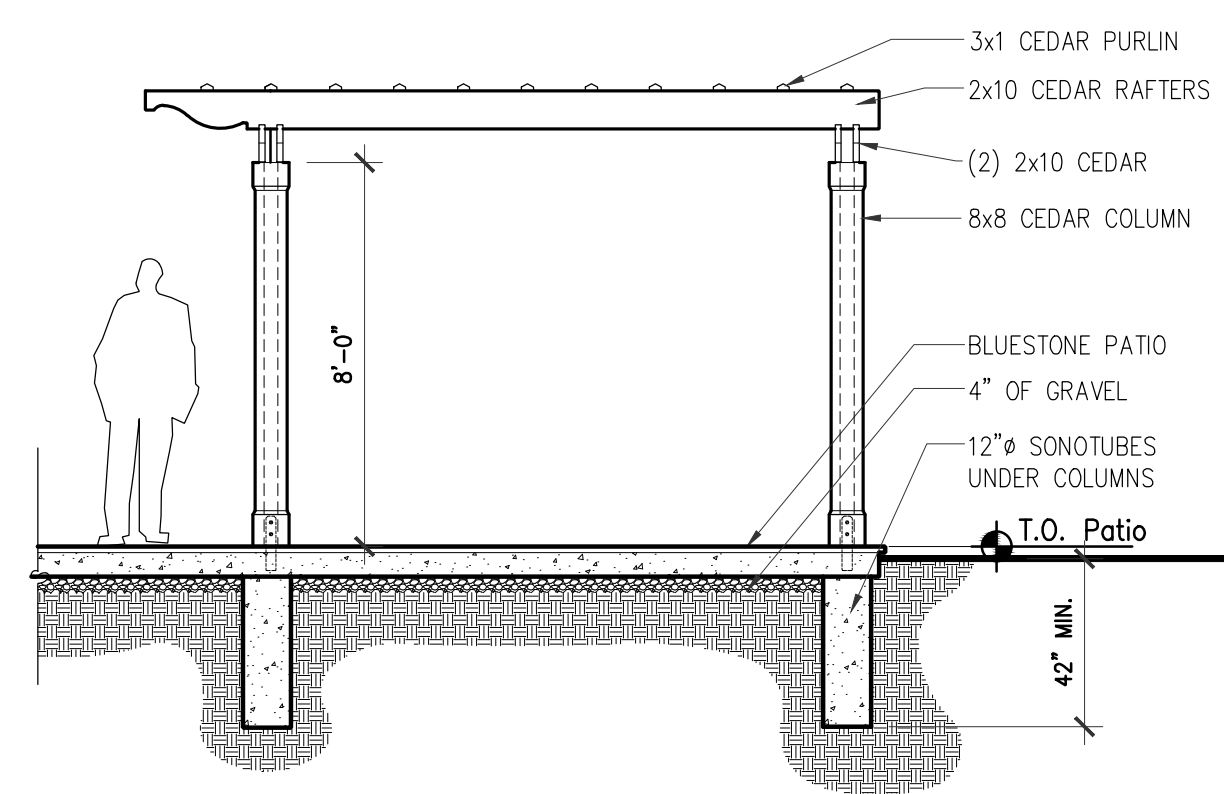
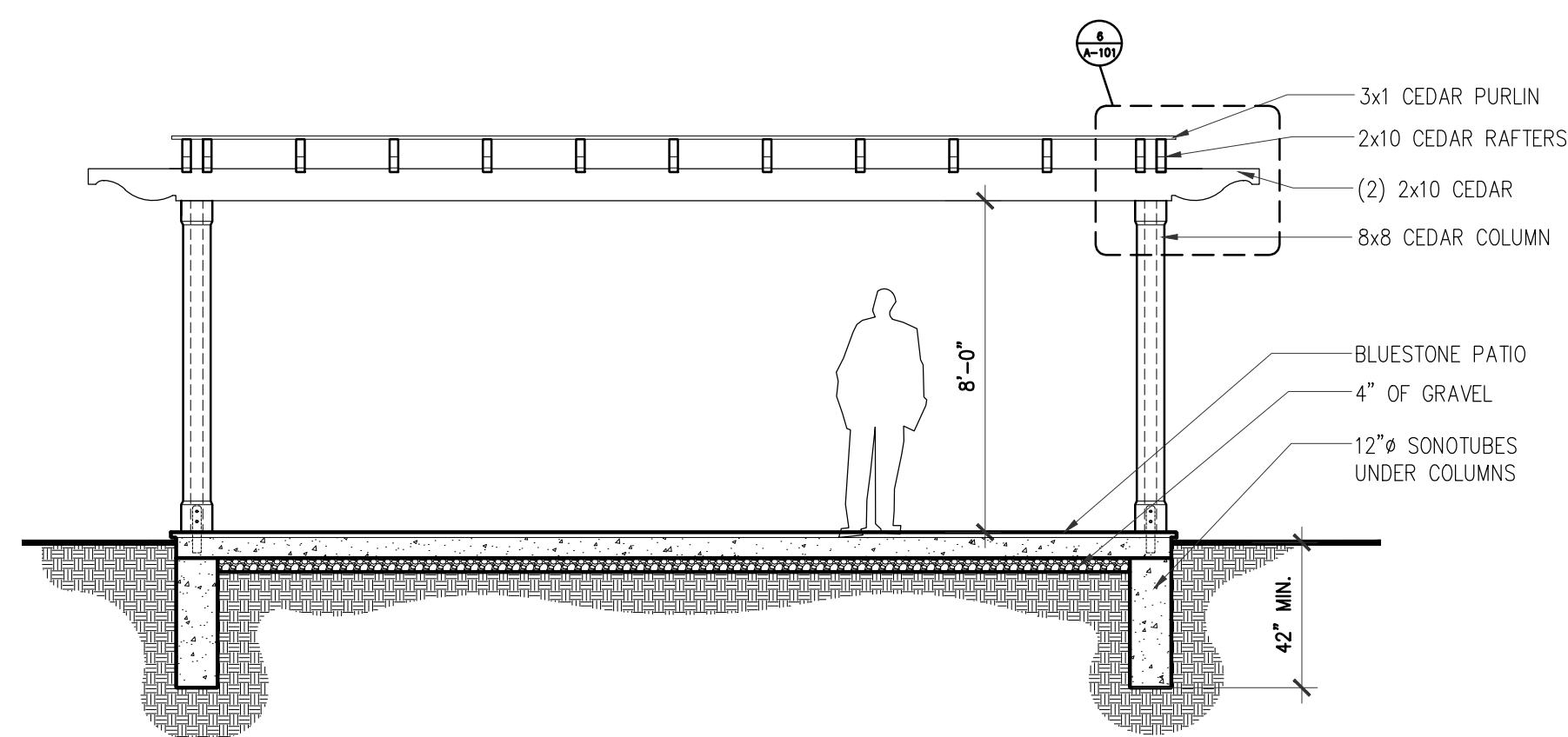
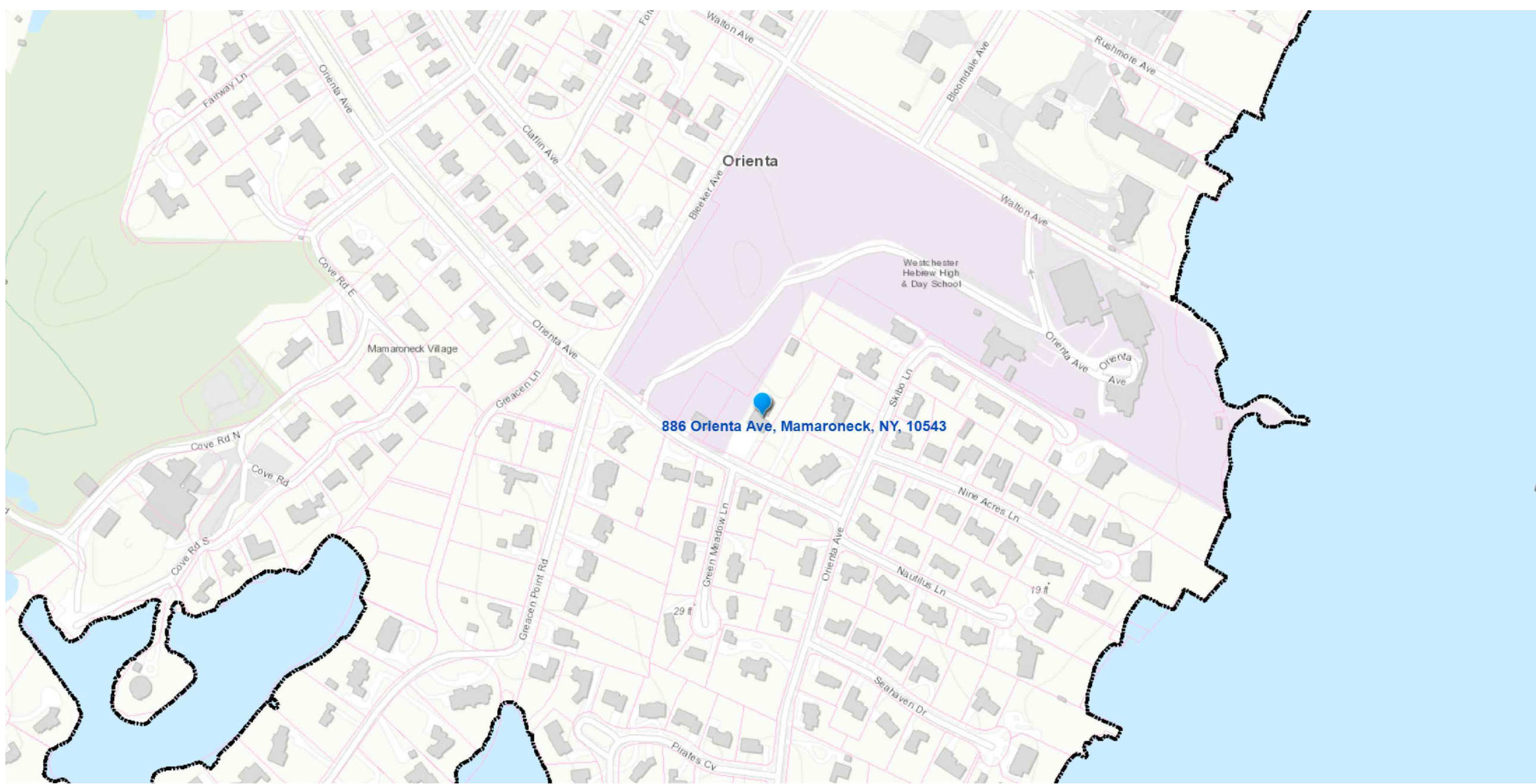
SHEET 9	BLOCK 48	LOT 57
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PROJECT PHASE
Building Department Issue

DRAWING TITLE
Existing Site Photos and
Adjacent Neighbor Photos

SCALE as noted	DRAWN BY FM/DF
CAD FILENAME Sig-POOL-CD1-A001	DATE 05/20/21

DRAWING NUMBER
A-003



M | A

MARSELLA
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SEAL AND SIGNATURE



NO.	SUBMISSION	DATE
A	Building Department Issue	05/20/21

NO.	REVISION	DATE
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PROJECT NAME

Sigalow Residence

In-Ground Pool, Patios & Landscaping

BUILDING NAME & ADDRESS

886 Orienta Ave
Mamaroneck, N.Y. 10543

SHEET 9	BLOCK 48	LOT 57
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PROJECT PHASE

Building Department Issue

DRAWING TITLE

Trellis Plans and Details, Ret. Wall Details & Maps

SCALE

as noted

DRAWN BY

FM/DF

CAD FILENAME

Sig-POOL-CD|-A00|

DATE _____

05/20/21

DRAWING NUMBER

A-101

PRINTS NOT VALID WITHOUT ORIGINAL SIGNATURE & SEAL.

LEGEND: -

A/C AIR CONDITIONER
APPROX. APPROXIMATE
B.G. BOTTOM OF CURB
BOT. BOTTOM
F.L. FLOW LINE
EL. ELEVATION
EX. EXISTING
LOC. LOCATION
T.B.R. TO BE REMOVED
PR. PROPOSED
S.M.H. SEWER MAN HOLE
TYP. TYPICAL
DMH DRAIN MANHOLE
V.I.F. VERIFY IN FIELD

RL ROOF LEADER
FD FOOTING DRAIN
STONE WALL
EX. CONTOUR LINE
PR. CONTOUR LINE
EX. SPOT ELEVATION
PR. SPOT ELEVATION
TREE
TREE T.B.R.
SEDIMENT BARRIER
CONSTRUCTION FENCE
INFILTRATION TEST
DEEP TEST
PERCOLATION TEST

DEEP TEST #3 PERFORMED BY OTHERS & LOCATION IS APPROXIMATE BASED ON HISTORIC SITE PLAN INFORMATION. FRANGIONE ENGINEERING, LLC DID NOT WITNESS THIS TEST HOLE.
EX. UNDERGROUND UTILITY LOCATIONS BASED ON GROUND MARKINGS OBSERVED IN FIELD.

THE PURPOSE OF THIS PLAN IS TO DEPICT A PROPOSED DRAINAGE SYSTEM FOR THE POOL IN ORDER TO OBTAIN A BUILDING PERMIT FROM THE VILLAGE OF MAMARONECK. IT IS NOT A SURVEY, NOR IS IT INTENDED TO BE USED FOR ANY OTHER PURPOSE. FRANGIONE ENGINEERING, LLC TAKES NO RESPONSIBILITY IF THIS DRAWING IS USED FOR ANY PURPOSE OTHER THAN THAT WHICH WAS INTENDED.

ORIGINAL TOP INFORMATION OBTAINED FROM SURVEY PREPARED BY T.C. MERRITTS LAND SURVEYORS, 394 BEDFORD ROAD, PLEASANTVILLE, NY 10570 PREPARED FOR THE SUBJECT PARCEL ENTITLED "TOPOGRAPHY PREPARED FOR IAN SIGALOW & JESSICA SIGALOW SITUATE IN THE VILLAGE AND TOWN OF MAMARONECK, WESTCHESTER COUNTY, NEW YORK" LAST REVISED DECEMBER 24, 2020. REFER TO SURVEYOR'S NOTES ON SAID SURVEY. FRANGIONE ENGINEERING, LLC TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE ORIGINAL TOPOGRAPHIC SURVEY.

UTILITY NOTE:

Underground utilities, facilities and structures have been plotted from surface indications and record sources. The locations of all underground utilities are approximate only. Additionally, there may be other underground utilities the existence of which is presently unknown. Any party utilizing the utility information and data depicted on this survey shall call "DIG SAFELY NEW YORK" at 800-962-7962 a minimum of forty eight (48) hours prior to any construction activities to verify the location of underground utilities.

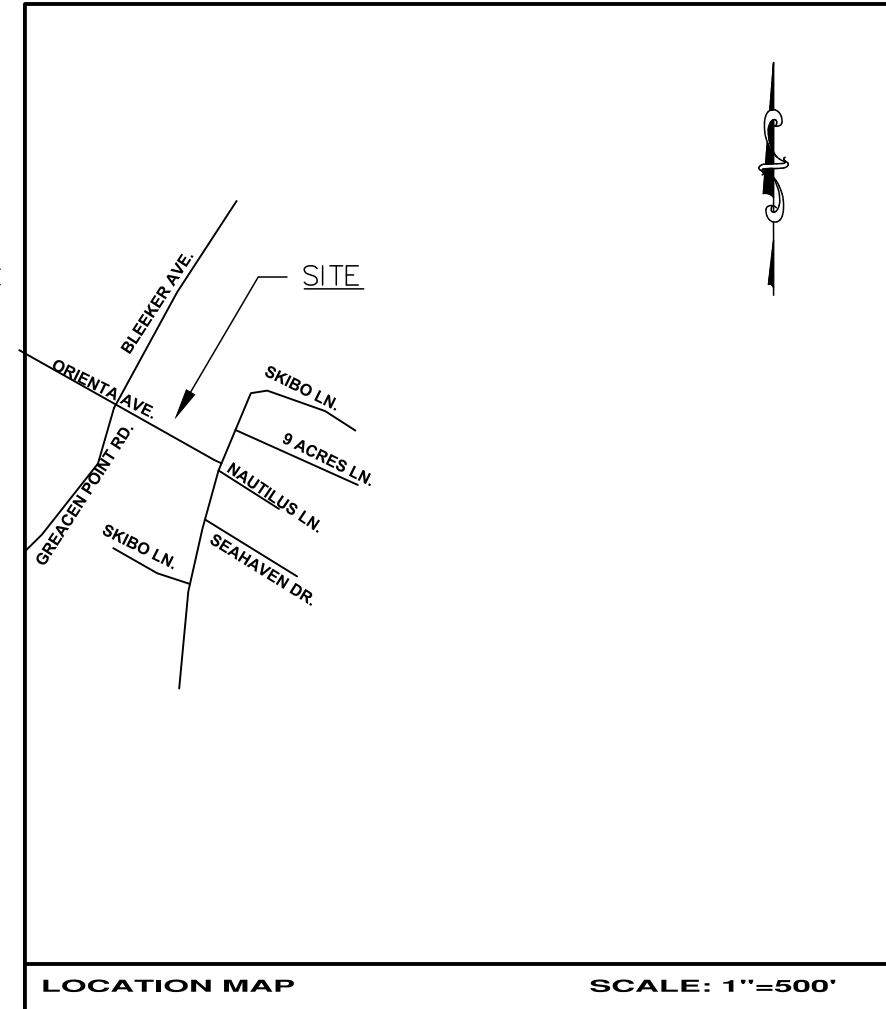
ZONE IS R-20
TOTAL AREA=73,018 SQ. FT.

GENERAL PROJECT NOTES:

1. THE TOWN ENGINEER AND BUILDING INSPECTOR MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
2. AS-BUILT DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE TOWN ENGINEER AND BUILDING INSPECTOR FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.
3. PROPOSED SOIL SLOPES EXCEEDING 1 ON 2 SHALL REQUIRE APPROVAL OF THE BUILDING INSPECTOR.
4. ALL TREE STUMPS SHALL BE HAULED OFF-SITE AND LEGALLY DISPOSED OF AS SOON AS POSSIBLE. THERE SHALL BE NO BURYING OF REFUSE OR DEBRIS ON-SITE.
5. PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES, THE CONTRACTOR(S) AND SUBCONTRACTOR(S) THAT WILL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING THE STORMWATER PRACTICES MUST BE IDENTIFIED. EACH OF THE CONTRACTOR(S) AND SUBCONTRACTOR(S) IDENTIFIED MUST INCLUDE AT LEAST ONE "TRAINED INDIVIDUAL" THAT WILL BE ONSITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.
6. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES CONTRACTOR(S) AND SUBCONTRACTOR(S) IDENTIFIED SHALL SIGN NOTE "X".
7. ANY EXISTING IMPERVIOUS AREAS (DRIVEWAY, HOUSE, ETC.) THAT WILL BE RE-VEGETATED, OR AREAS USED BY CONSTRUCTION EQUIPMENT AND/OR FOR CONTRACTOR PARKING MUST HAVE SOIL TILLED 12 TO 16 INCHES, AMENDED WITH SMALL AMOUNTS OF ORGANIC MATERIAL, AND TOP-DRESSED WITH GRASS SEED.
8. SURFACE GRADING MUST BE RESTORED TO MATCH EXISTING CONDITIONS AT THE COMPLETION OF CONSTRUCTION.
9. ALL CONSTRUCTION FUELS AND CHEMICALS SHALL BE TRANSPORTED IN APPROVED SEALED CONTAINERS AND SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR DAILY.
10. ALL IMPORTED FILL MATERIALS (IF REQUIRED) SHALL BE FREE OF CONSTRUCTION AND DEMOLITION DEBRIS AND MEET THE NYSDEC DER-10 SOIL CONSTITUENT CONCENTRATIONS IDENTIFIED FOR "UNRESTRICTED USE".

DRAINAGE NOTES:

1. ALL PR. DRAIN PIPES SHALL BE 4" SDR-35 PVC ASTM D3034 WITH MINIMUM 1% PITCH UNLESS OTHERWISE NOTED.
2. POSITIVE PITCH SHALL BE MAINTAINED AWAY FROM THE HOUSE AND POOL AT ALL TIMES.
3. EX. DRAINAGE PATTERNS SHALL BE MAINTAINED AT ALL TIMES.
4. EXISTING HOUSE TO REMAIN.
5. SOIL STOCKPILE AREAS SHOULD NOT BE PLACED OVER EX. CULTEC SYSTEM.
6. EXCAVATOR SHALL BE TRACK-MOUNTED TO AVOID CRUSHING EX. UTILITIES.
7. LIMIT OF DISTURBANCE = 30,000± SF (0.689 ACRES±). PROPOSED INCREASE IN IMPERVIOUS AREA = 3,435± SF.
8. PRIOR TO CONSTRUCTION, SURVEYOR SHALL SET A STABLE BENCHMARK NEAR THE PROPOSED POOL.
9. SUBSURFACE STORMWATER DETENTION FACILITY AND DRAINS TO BE SET 10' MINIMUM FROM ALL PROPERTY LINES.
10. ENGINEER TO BE GIVEN MIN. 48 HOURS NOTICE PRIOR TO INSTALLATION OF PROPOSED STORM WATER DETENTION SYSTEM.
11. A STREET OPENING/DRIVEWAY PERMIT FROM THE DEPT. OF PUBLIC WORKS IS REQUIRED FOR WATER & SEWER CONNECTIONS PER TOWN ENGINEER.
12. FOR WINTER DRAWDOWN OF POOL WATER LEVEL, A PUMP TRUCK SHALL BE USED TO REMOVE THE NECESSARY AMOUNT OF WATER TO WINTERIZE THE POOL AND THE WATER SHALL BE TRANSPORTED OFF-SITE. NO WATER SHALL BE DISCHARGED OVER THE GROUND.



ZONING ANALYSIS

SECTION: 9 BLOCK: 48 LOT: 57			
886 ORIENTA AVENUE	REQUIRED	EXISTING	PROPOSED
ZONE: R-20			
LOT SIZE: 73,018 SQ. FT.			
FRONT YARD:	25'	108.07'	NO CHANGE
ONE SIDE:	20'	23.26'	NO CHANGE
SIDE ON CORNER:	45'	50.14	NO CHANGE
BOTH SIDE:	30'	210.33'	NO CHANGE
REAR:	6'	9.53'	NO CHANGE
ACCESSORY REAR:	20' & 25'	2.83' & 155.3'	2.83' & 47+
ACCESSORY SIDE:			
LOT COVERAGE BUILDING:			
TOTAL BUILDING COVERAGE:	25,556 SF	5,944 SF	7,599 SF

TABLE OF IMPERVIOUS AREAS

SURFACE	EXISTING (SF)	PROPOSED (SF)	DIFFERENCE (SF)
HOUSE	4,574.0	4,574.0	0.0
BARN	1,245.0	1,245.0	0.0
DRIVEWAY	3,759.0	3,759.0	0.0
WALKS	347.0	587.0	240.0
PADS	125.0	185.0	60.0
POOL	0.0	1,655.0	1,655.0
PATIOS	574.0	2,054.0	1,480.0
TOTALS	10,624.0	14,059.0	3,435.0

NOTE "X" (CONTRACTOR COMPLIANCE):

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND AND AGREE TO COMPLY WITH THE TERMS AND CONDITIONS OF THE STORMWATER POLLUTION PREVENTION PLAN. I ALSO UNDERSTAND THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS."

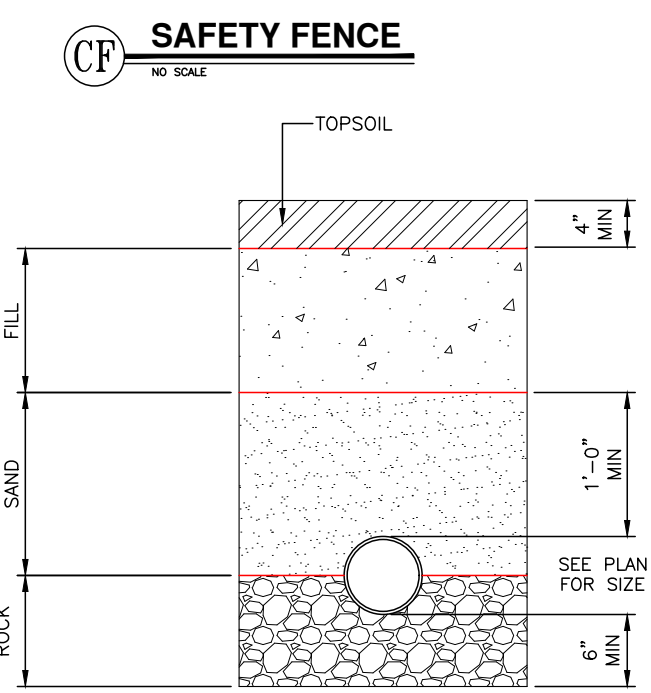
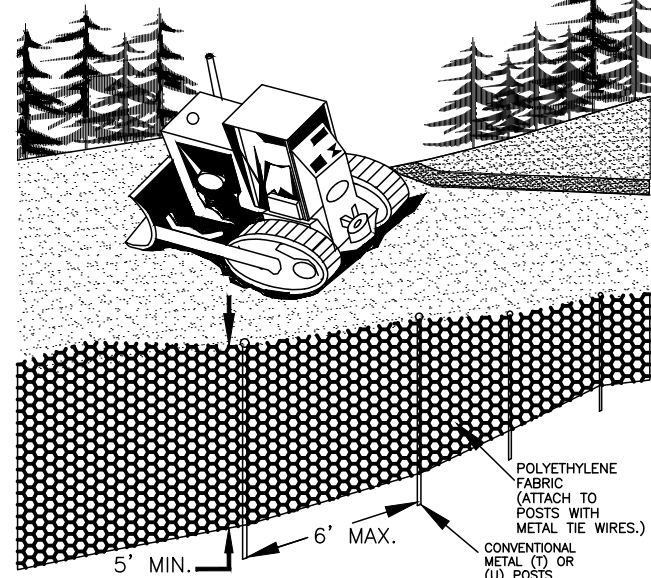
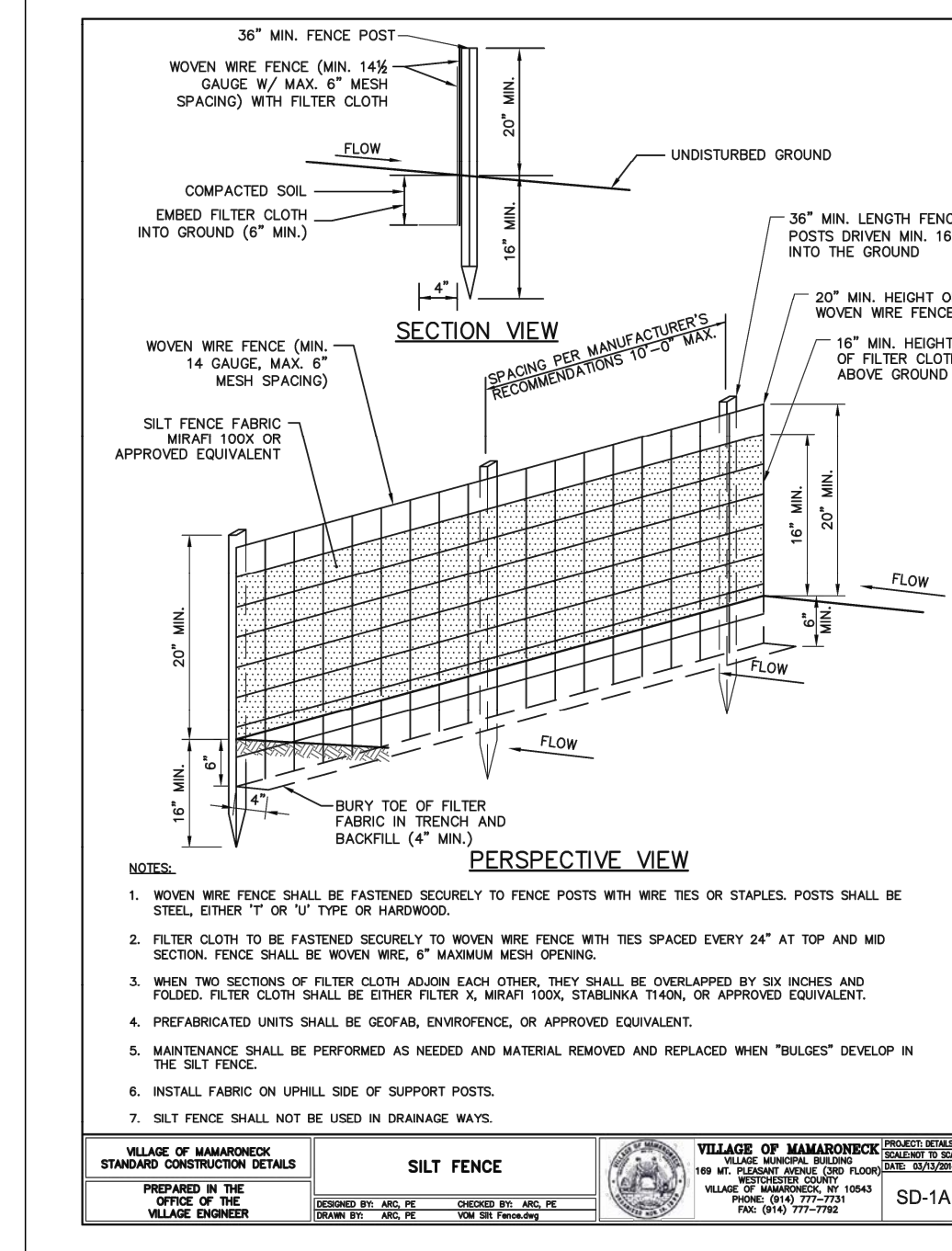
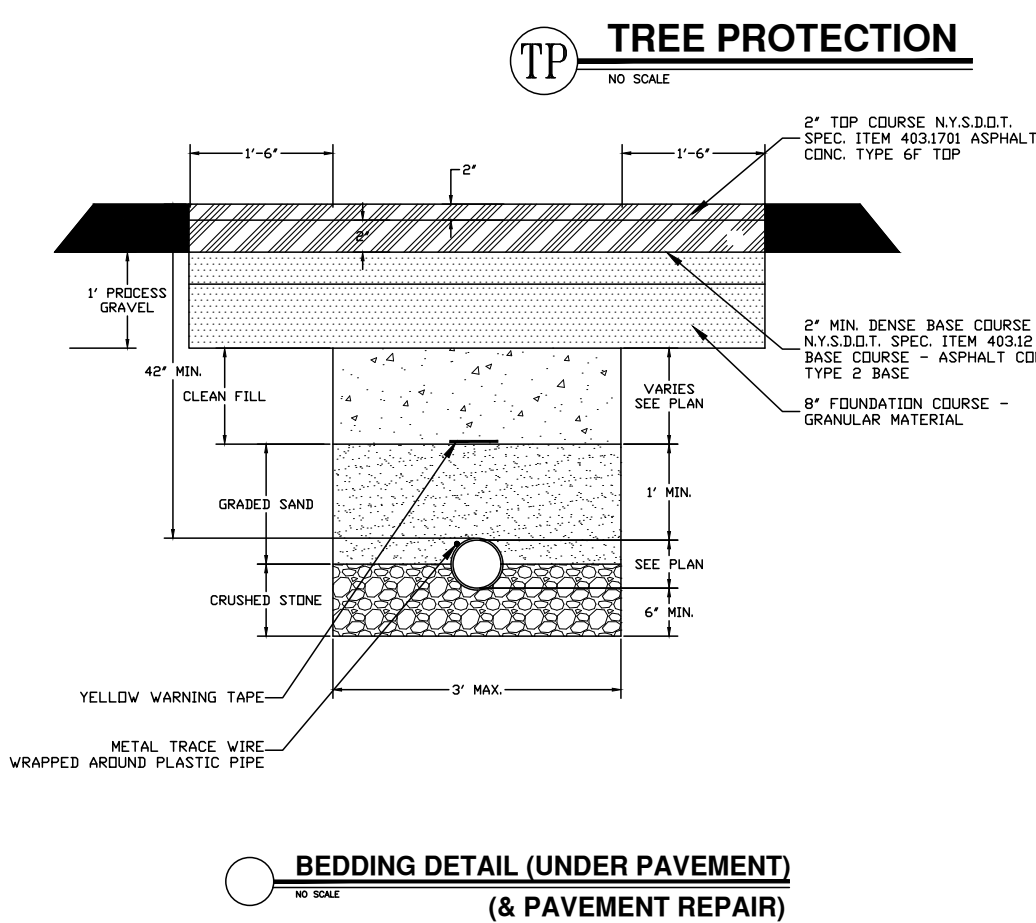
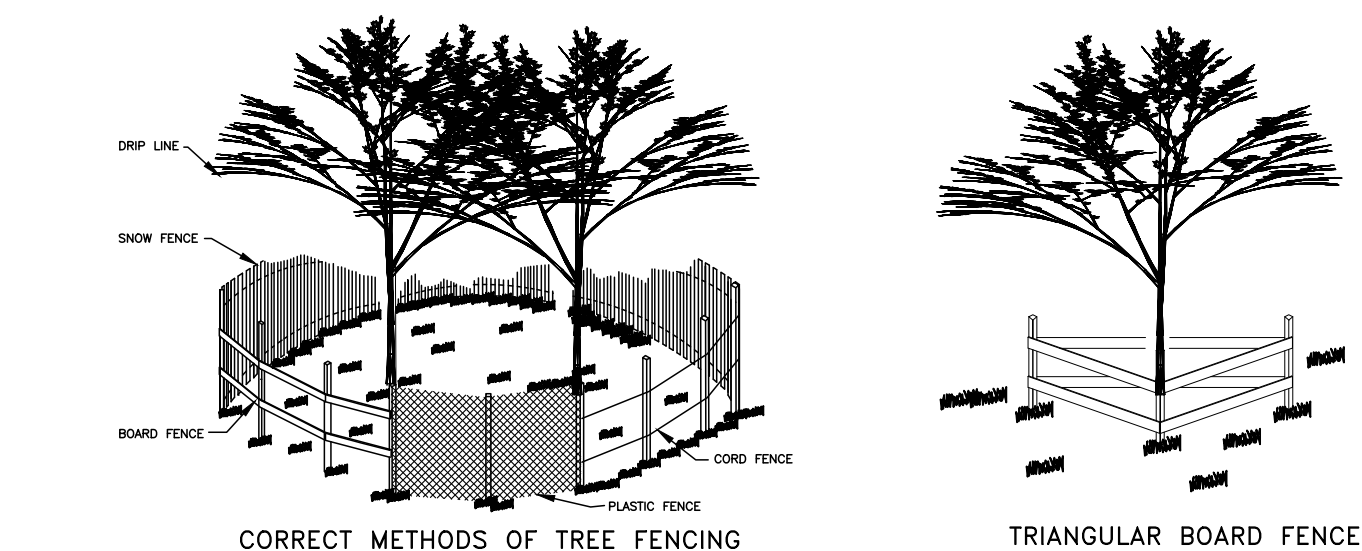
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NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS MAP IS A VIOLATION OF SECTION 7209, SUBSECTION 2, OF THE NEW YORK EDUCATION LAW.

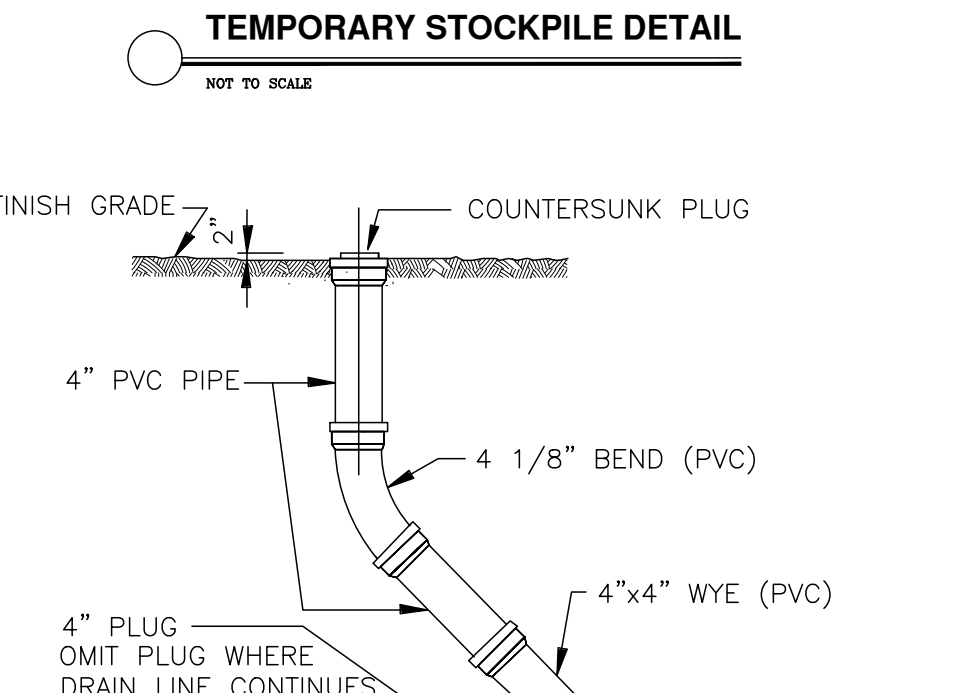
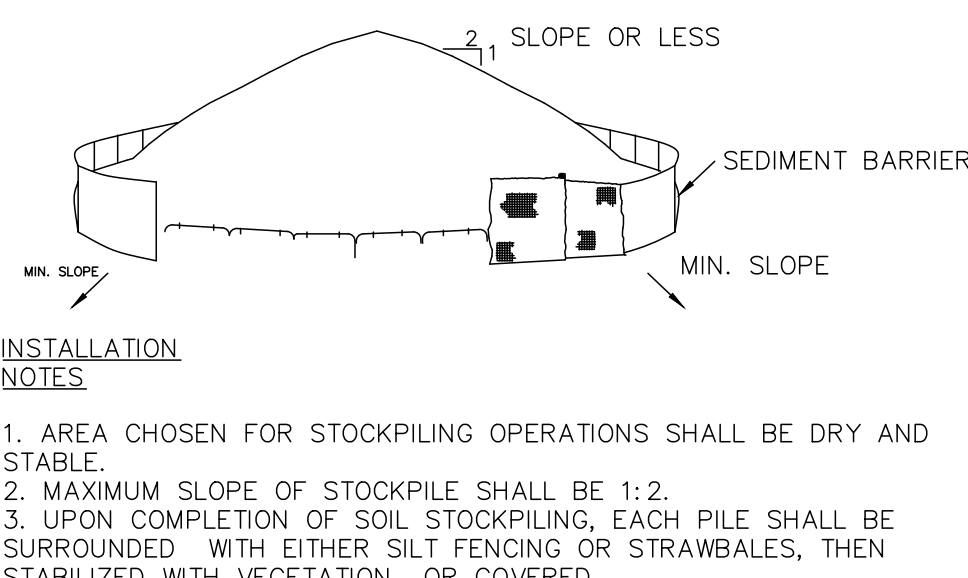
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REVISIONS			
PROJECT: PROPOSED STORMWATER MANAGEMENT PLAN PREPARED FOR IAN & JESSICA SIGALOW			
886 ORIENTA AVENUE NEW YORK			
DRAWING NAME: OVERALL SITE PLAN			
SCALE: 1" = 20'		MUNICIPALITY: MAMARONECK SHEET No: S1	
DATE: APRIL 20, 2021		SHEET 1 OF 2	
DRAWN: R.M.F.		SEC. 9, BLOCK 48 LOT 57	
FILE NAME: C:\MAMARONECK, NY\SIGALOW 886 ORIENTA AVE\SIGALOW 886 ORIENTA AVE SITE PLANS			
OWNER/APPLICANT: IAN & JESSICA SIGALOW 886 ORIENTA AVENUE MAMARONECK, NY 10543			
FRANGIONE ENGINEERING, LLC CIVIL ENGINEERING STRUCTURAL ENGINEERING LAND DEVELOPMENT 15 SNOWBERRY LANE NEW CANAAN, CT 06840 (203) 554-9551 (PHONE) (203) 966-6957 (FAX)			

Soil Data	DEEP TEST INFILTRATION TEST	Hole #	2/24/2021	BY OTHERS
Soil Type		1	2	3
TOPSOIL		0-12"	0-10"	0-13"
ORANGE BROWN VERY FINE SANDY LOAM		12" - 42"	10" - 38"	
GRAY BROWN MOTTLED SANDY SILT		42" - 52"	38" - 54"	
BROWN SILTY SAND		52" - 86"		
GRAVEL LAYER			13" - 24"	
BROWN SANDY CLAY			24" - 98"	
MOTTLES		42"	38"	-
AGW		56"	38"	48"
LHDE		-	-	-
ROOTS		-	-	-
INFILTRATION RATE		1.46 in./hr.		
886 ORIENTA AVENUE				



CLEANOUTS MUST BE PLACED AT ALL 90 DEGREE ELBOW FITTINGS IN ACCORDANCE WITH IPC2015 REQUIREMENTS.

12" DRAIN BASIN WITH OUTLET TRAP



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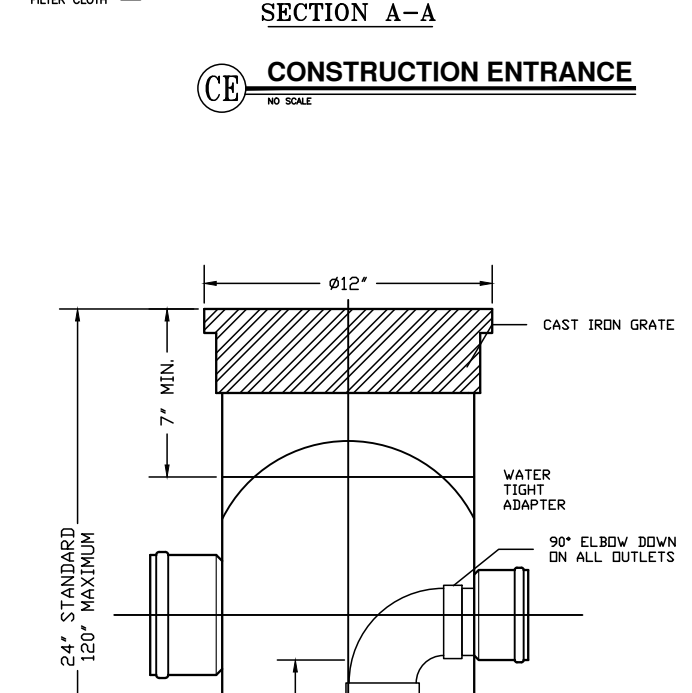
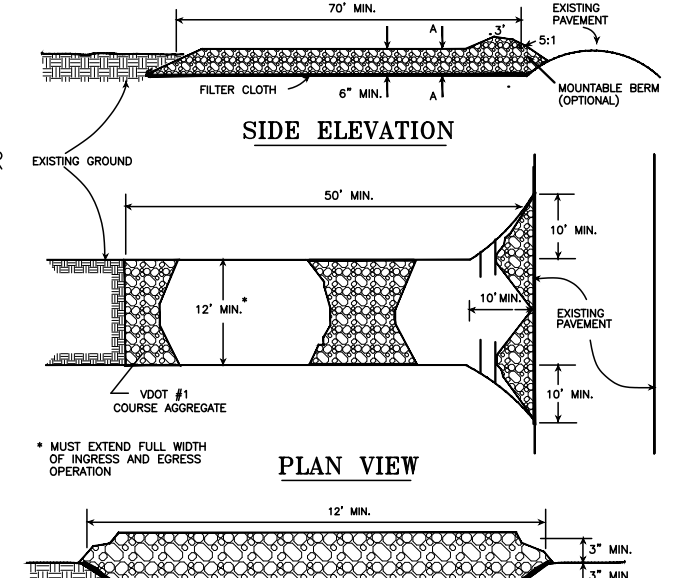
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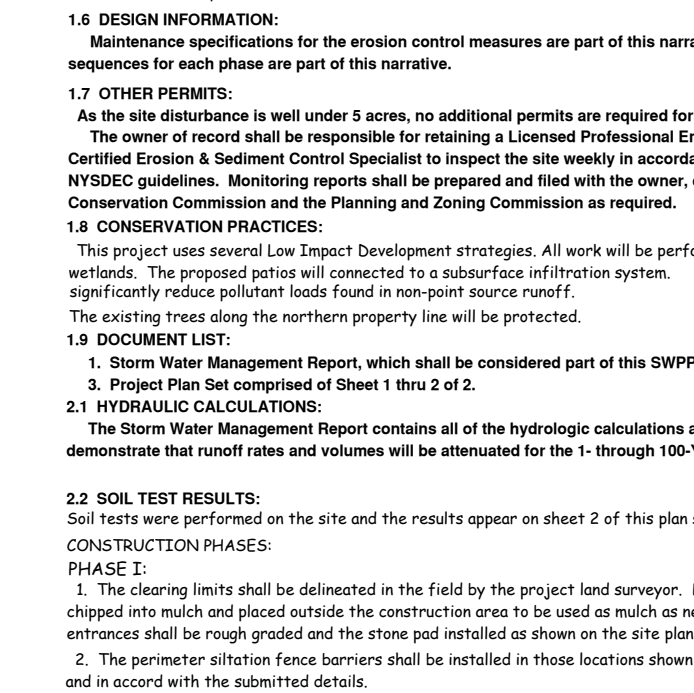
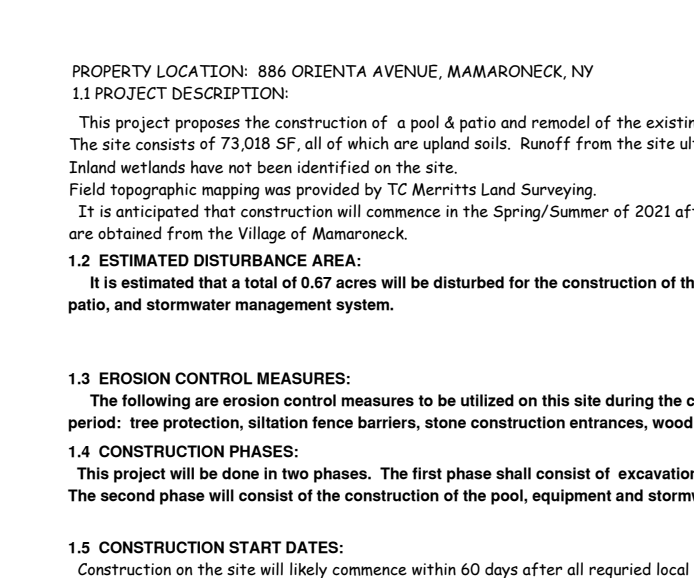
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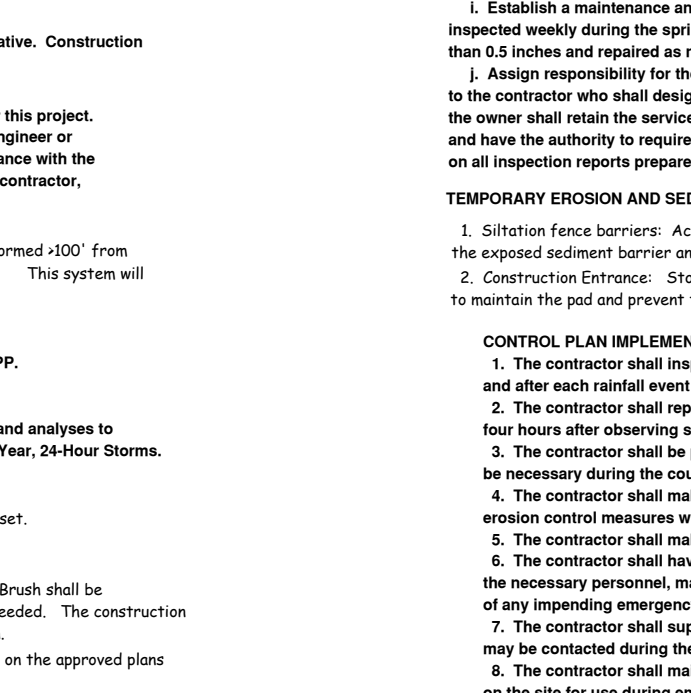
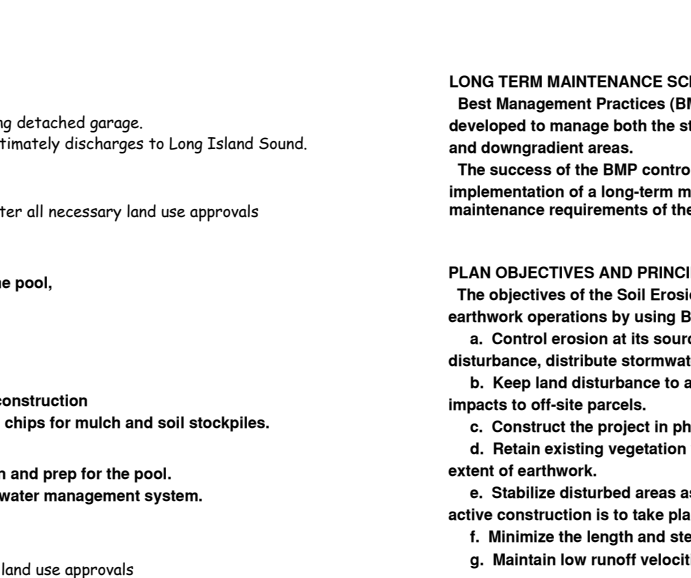
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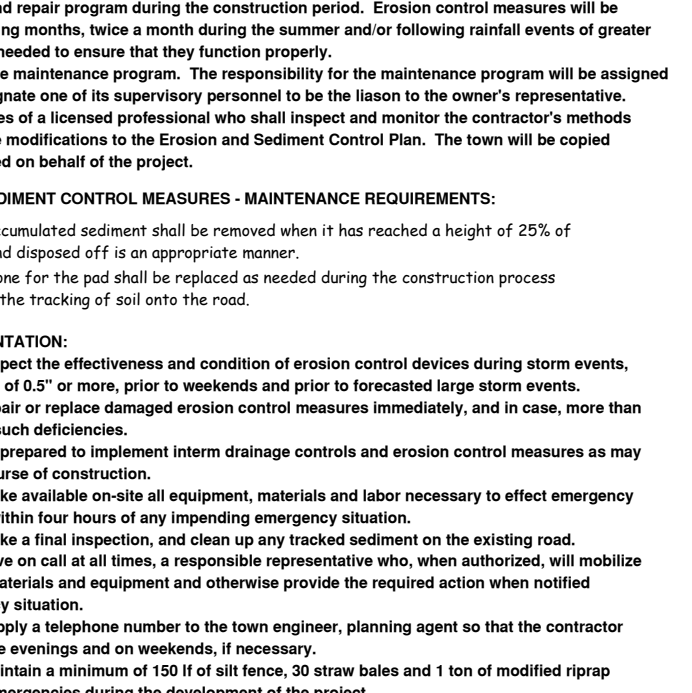
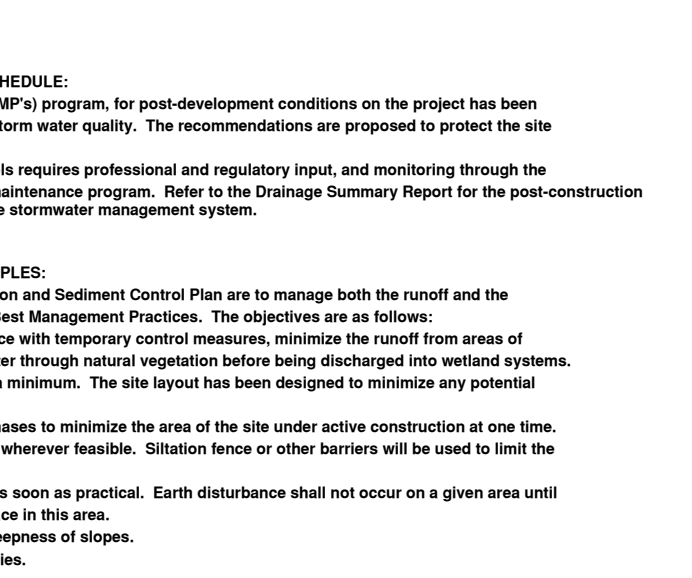
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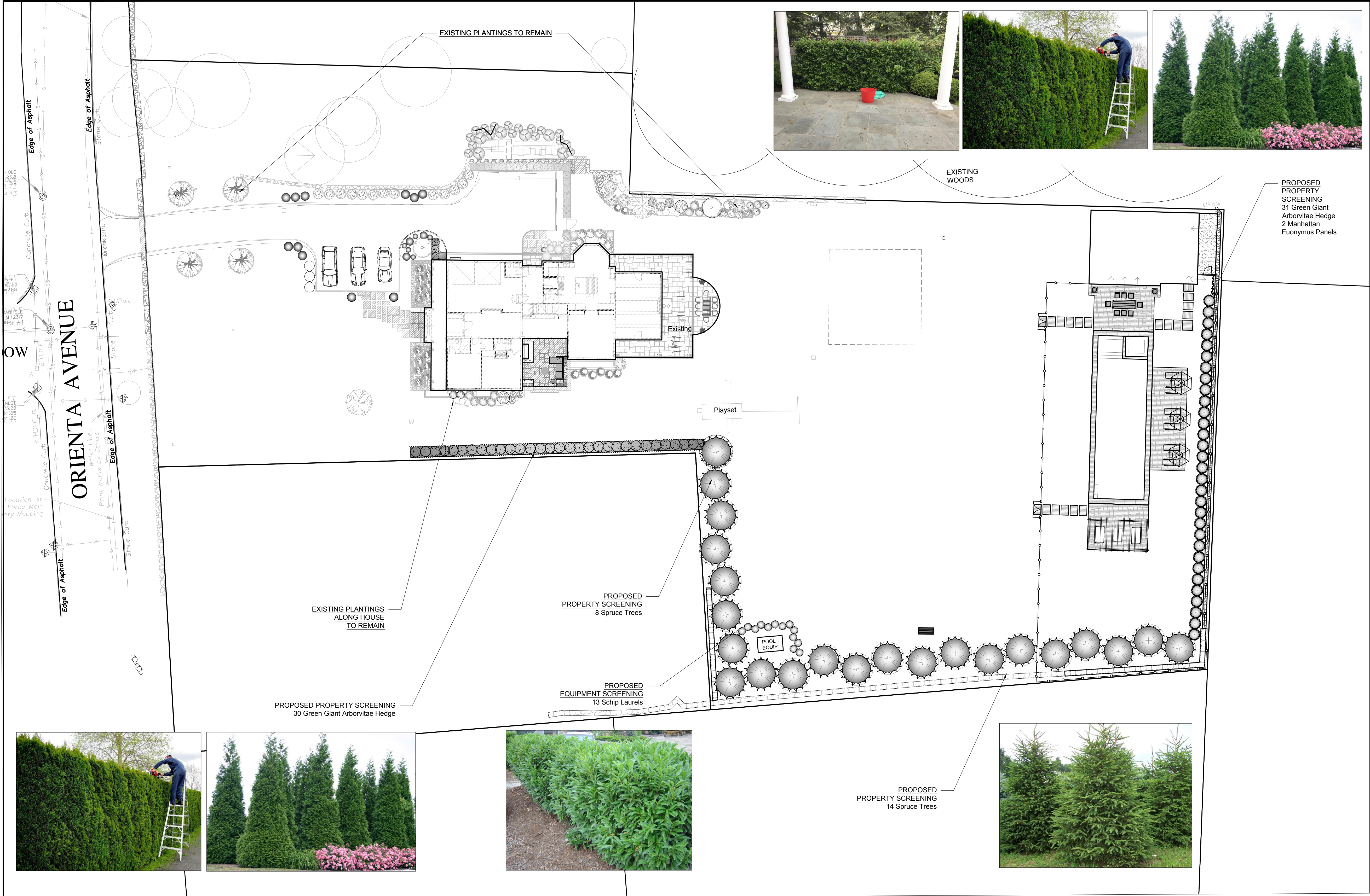
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NOTES:

1. Surveys provided by Thomas C. Merritts Land Surveyors 12/24/2020 & Summit Land Surveying 12/23/17
2. Rosalia Sanni Design LLC takes no responsibility for the accuracy of the information provided by the survey. If the Contractor determines inaccuracies on site, the Contractor shall alert the Landscape Designer prior to construction of any part of the design affected by the perceived inaccuracy.
3. The Contractor shall verify the location of all utilities prior to commencement of any construction activities by contacting "Call Before You Dig". The Contractor takes full responsibility for any utilities damaged due to not verifying utility locations, and will repair any damage at the Contractor's own expense.
4. The Contractor shall obtain all permits for construction activities as required by the local municipality, state and federal regulations. All permits shall be obtained prior to commencement of the work associated with the permit. The Contractor shall abide by all rules and regulations set forth by the permits required for construction activities.
5. The Contractor shall at all times keep the construction site in an orderly condition, store materials in a pre-determined location, minimize site disturbance, and remove all debris and excess material from the site.
6. The Contractor shall maintain any erosion control measures utilized on site.

No.	Date & Revision
1	5/6/2021 Issued for Land Use Approval
2	
3	--
4	--
5	--
6	--
7	--
8	--

Rosalia Sanni Design LLC
Landscape & Garden Design

Greenwich, Connecticut
www.rosaliasanni.com

Phone: 203-918-4619
Email: rs@rosaliasanni.com


PROJECT:

SIGALOW RESIDENCE
886 ORIENTA AVENUE
VILLAGE OF MAMARONECK
NY, 10543

DWG. TITLE:

PROPOSED PLANTING PLAN

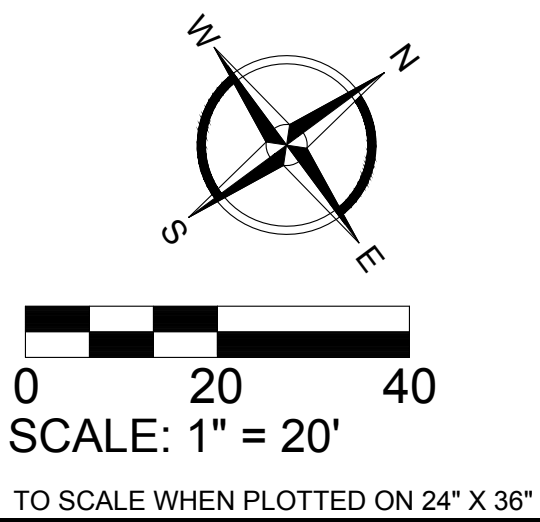
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SAVE DATE: May 12, 2021
ORIGINAL ISSUE DATE: 05/06/2021
REVISION DATE:

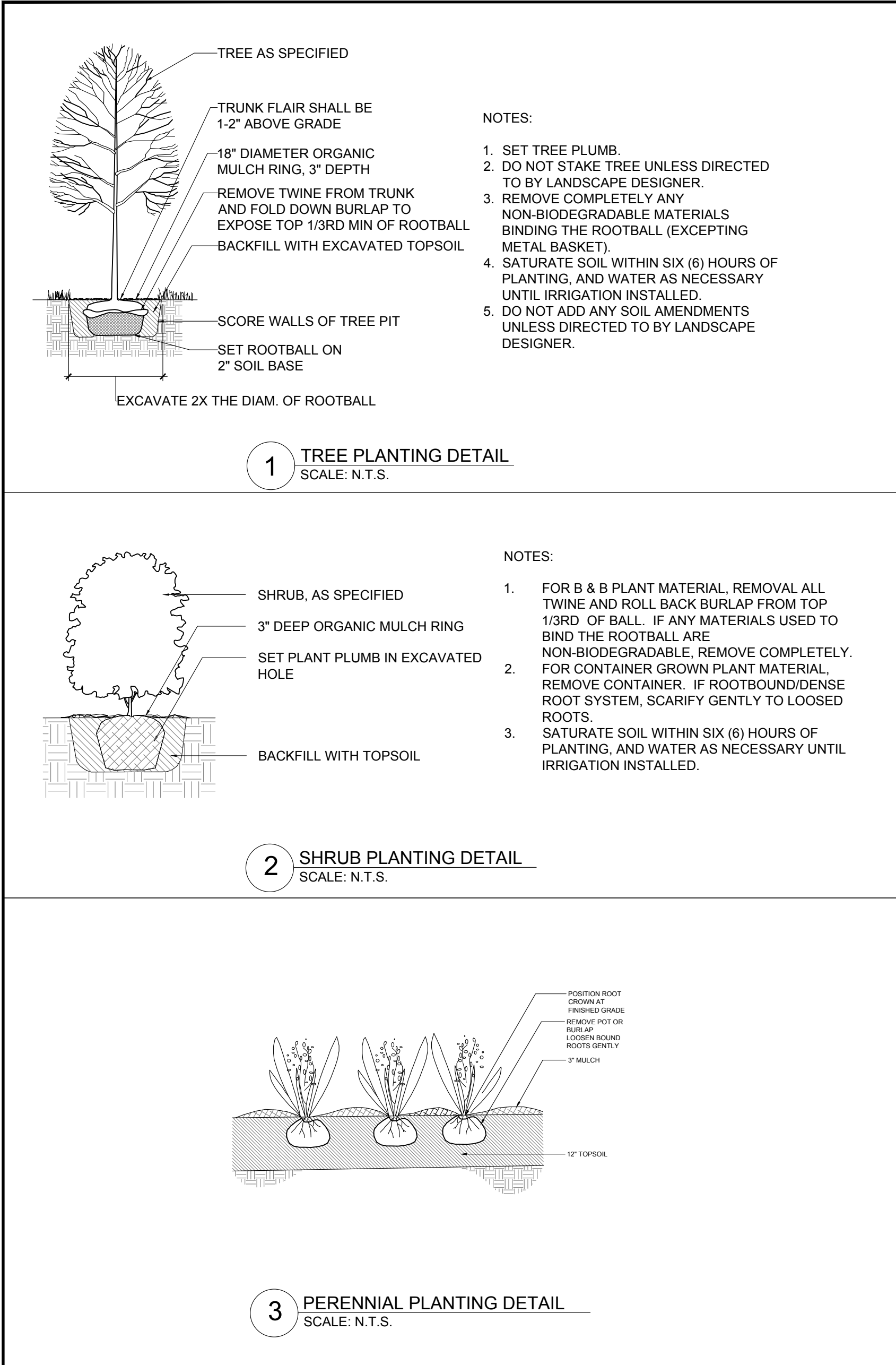


SHEET NO.

L-6.0

QTY	Botanical Name	Common Name	Size	Spacing
22	<i>Picea abies</i>	Norway Spruce	14/16'	12'-14' o/c
61	<i>Thuja plicata</i> 'Green Giant'	Green Giant Arborvitae	12/14'	4-5' o/c
13	<i>Prunus laurocerasus</i> 'Schipkaensis'	Schip Cherry Laurel	4-5'	3' o/c
2	<i>Euonymus kiautschovicus</i> 'Manhattan'	Manhattan Euonymus Trellis Panel	5' tall x 4' wide	48" o/c





PLANTING & IRRIGATION NOTES:

- ALL NEW PLANTINGS TO GET DRIP IRRIGATION WITH SEPARATE ZONES
- LAWN AREAS TO GET ROTARY & SPRAY AS NEEDED
- ALL IRRIGATION TO BE REVIEWED WITH DESIGNER & LANDSCAPE CONTRACTOR ON SITE

TO SCALE WHEN PLOTTED ON 24" X 36"

A. GENERAL NOTES

- SURVEY:** Existing spot elevations and existing contours are based upon topographical survey completed by surveyor as noted, unless otherwise indicated. Rosalia Sanni Design LLC takes no responsibility for the accuracy of the survey.
- SITE EXAMINATION:** The Contractor, before submitting a bid, is assumed to have visited the site for the purpose of observing first hand any conditions relevant to the completion of the work. No consideration will be given based on lack of knowledge of existing conditions.
- DISCREPANCIES & CONFLICTS:** All discrepancies and conflicts between drawings, specifications, field conditions, & construction layout shall be brought to the attention of the Landscape Designer. Before ordering material, Contractor shall verify all dimensions by taking measurements at the building site and shall be responsible for their correctness. Any discrepancies from the drawings/specifications shall be referred to the Landscape Designer for adjustment before any work affected has begun.
- WORKMANSHIP:** Compliance with the drawings and the specifications with regard to the materials and methods of assembly will not itself assure acceptance of the construction. Of equal importance is good workmanship, the lack of which is sufficient cause to deny acceptance of the construction.
- MATERIAL:** Contractor shall furnish and install all material and equipment shown & described on the plan with exceptions only as noted. Contractors also shall furnish labor and tools necessary to complete the work.
- WARRANTEE:** All Contractors must include warrantee information in the bid and contracts.
- FOREMAN:** Contractor shall have at the building site, from start to finish of the construction, a responsible foreman. In addition, Contractor shall give his personal supervision to the work. Any instructions given to the foreman shall have the same importance as if given to the Contractor in person.
- INSURANCE:** The Contractor shall maintain insurance that will protect him from claims under Workman's Compensation Acts and other employee benefits from claims for damages for bodily injury, or death, and for claims for damages to property which may arise out of and during operations under this contract, whether such operations be by himself or by any subcontractors or anyone directly or indirectly employed by either one of them. The Contractor shall file with the Owner a certificate for property damage insurance in the limits of \$1,000,000.00 for each accident and \$1,000,000.00 for the aggregate of operations. The Contractor shall also obtain any additional insurance required by the state or town.
- DUMPSTER:** The Contractor shall discuss the necessity of a trash dumpster on site with the Landscape Designer. This shall be discussed prior to bid submittal.
- TEMPORARY RESTROOM FACILITY:** The Contractor shall discuss the necessity and responsibility for a temporary restroom for the site workers with the Landscape Designer. This shall be discussed prior to bid submittal.
- PERMITS & CODES:** Contractor shall obtain permits for the work as required and comply with all laws, ordinances, rules and regulations of the local jurisdiction, the state, and all other authorities having jurisdiction.
- UTILITIES, SERVICES, DRAINAGE SYSTEM & SEPTIC:** Contractor is responsible for locating & protecting all utilities & services prior to and during construction. Call *CALL-BEFORE-YOU-DIG*. Utilities damaged during construction shall be repaired at the Contractor's expense.
- ENGINEERING DRAWINGS:** Contractor will be furnished with the engineer's plans for drainage, recharge systems, retaining walls and all footers requiring engineering per local codes.
- ADVANCE NOTIFICATION:** Notify the Landscape Designer at least 3 days prior to commencement of work. Develop a proposed schedule with the Landscape Designer prior to the beginning of work. Keep the Landscape Designer informed of the progress of work and report immediately any difficulties, discrepancies or problems with installing the job.
- ALTERATIONS & CHANGE ORDERS:** Any changes proposed to these drawing shall be approved by Landscape Designer prior to construction and issued in writing. If necessary, the Client must sign a change-order prior to implementation, and costs may be adjusted accordingly at that time.

JOB CONDITIONS

- Site shall be kept organized and free of trash, and equipment stored on site shall be kept orderly and off of traveled access areas. Any machinery and supplies stored on site are at the Contractors own risk, and the Owner shall not be held liable for any theft or damage.
 - Site shall be kept clean, and walkways and driveway shall be kept neat and clean and washed upon completion of Contractors scope of work.
 - All debris, excess excavated material and trash shall be disposed of in a legal manner offsite.
- Each Contractor shall provide for his scope of the work against weather, rain, wind, storms frost or heat as to maintain all work and materials, apparatus and free from injury or damage. At the end of the day's work, all new work likely to be damaged shall be covered and protected. Any work damaged by failure to provide protection as required shall be removed and replaced, or repaired, at contractor's expense. The Owner shall not be liable for any damage due to Contractor not securing and protecting materials on site.

- EXISTING TREES:** Protect existing trees from damage for the duration of construction by installation of fencing. Do not store any materials or otherwise disturb the ground under the canopy of these trees. Where fill must be placed within the drip line of trees, use porous material approved by the Landscape Designer prior to construction. See tree protection detail, L-2.0.

LAYOUT

- STAKE OUT:** Stake or otherwise flag all design elements in field and review all staked work with Landscape Designer before starting installation. Layout must be approved by the Landscape Designer prior to construction.

- SCALE:** Do not scale drawings unless authorized by the Landscape Designer.

B. SPECIFICATIONS

LANDSCAPE SPECIFICATIONS

I. GENERAL

A. Summary

- The work under this section shall include providing all work pertaining to landscape improvements, including
 - Plant material
 - Topsoil
 - Seed
 - Sod
- Related sections include
 - General Notes
 - Job Conditions
 - Layout
 - Masonry
 - Lighting
 - Pool

B. Standards and Nomenclature

- All operations shall meet industry standards for plant material standards of name, size and care, conforming to the following:
American Standard for Nursery Stock, ANSI Z60.1 American Nursery and Landscape Association, Washington, D.C., latest edition.

2. MATERIALS

A. Plant Material

- Plant schedule
 - A complete plant schedule is included in the drawings, with names, quantities, sizes and other requirements. In the event of a discrepancy in the quantity on the schedule and the quantity shown in the drawings, the drawing quantity shall prevail. The Landscape Contractor is responsible for verifying the quantity count accuracy between the schedule and drawings and in the event of a discrepancy found during the bidding process, it is the Landscape Contractor's responsibility to bring the discrepancy to the attention of the Landscape Designer. If the discrepancy is discovered after a bid is accepted, the Landscape Contractor assumes the obligation to provide plant material and labor as shown on the drawings, and will not be entitled to additional compensation.
 - No substitutions will be accepted without the written permission of the Landscape Designer.
- Plant Quality and Sizing
 - All plants shall be true to species and cultivar specified. Plants shall meet the standards for size and quality set forth in the American Standard for Nursery Stock.
 - All plant material shall be healthy, vigorous, well branched and densely foliated when in leaf. Plants shall be free of disease and pests. Plants shall have healthy root systems and be free of physical damage. If any of these qualifications are not met, the Landscape Designer reserves the right to refuse the plant material and require replacement with new material meeting these quality standards. The Landscape Contractor shall not be entitled to any additional compensation in the event that plant material is found not to meet the above standards.
 - Plant material rejected shall be removed from the site within 48 hours.
- Plant Delivery, Storage and Handling
 - Plants shall be protected from physical damage to plant structure, root ball and desiccation during transportation, delivery, and while held on site.
 - During transportation, plant material shall be protected from wind.
 - During delivery and handling, plant material shall not be dragged, thrown, or bounced off of truck, moving machinery, or when handled by hand. Trees and shrubs shall not be lifted, dragged or pulled by the trunk or branches in any manner that will damage root ball or structure.
 - Plant material stockpiled on site shall be irrigated if not planted within one day of delivery. Plants shall be maintained in healthy condition if Landscape Contractor stockpiles plants on site, and cared for in a manner that prevents damage by lack of water, wind and pests. Plants shall be located out of direct sunlight.
 - Existing plant stockpile and relocations
 - Dig and move plant material as noted in the drawings and/or tagged on site by the Landscape Designer and stockpile in location noted on drawings. If there is a construction

- conflict with location designated for plant storage, Landscape Contractor shall contact Landscape Designer to determine alternate location
- Landscape Contractor shall heel in plant material that can not be immediately relocated, and provide irrigation to maintain adequate moisture for plant health.

iv. Inspection

- The Landscape Designer shall make periodic inspections of the site and plant material. The Landscape Contractor shall contact the Landscape Designer a minimum of three (3) days prior to the delivery of any plant material. If any of the conditions described for quantity, quality or handling of the plant material are not met, the Landscape Designer will instruct the Landscape Contractor to repair the deficiencies or replace the material, at no additional cost. All rejected plant material shall be removed from the site within two (2) days of rejection.

v. Installation

a. General notes

- Planting shall occur when soil is frost free and workable. Planting shall not occur when soil is saturated, or damage to soil structure and significant compaction may occur.
- Landscape Contractor is responsible for locating all sub-surface utilities and irrigation systems prior to any digging. Landscape Contractor shall contact *Call Before You Dig*, and schedule for sub-surface utilities to be flagged a minimum of three (3) days prior to any excavation. Landscape Contractor is responsible for any damage to utilities resulting from negligence or failure to comply with this requirement.
- The Landscape Designer shall be notified a minimum of three (3) days in advance of when the Landscape Contractor is scheduling to have plant material laid out according to the design.
- All plants shall be placed according to quantity and locations noted on drawings.
- Landscape Designer must approve all plant placement and layouts on site prior to the Landscape Contractor planting. If plant material is planted without Landscape Designer approval, Landscape Contractor may be required to remove plant material and replant, at no additional cost to the Owner.
- All plant material shall be installed straight and plumb to ground when planted. Trees and shrubs shall be installed so that the root flare is 1"-2" above final grade. Ensure that no plant material is planted lower than final grade.
- Staking is not recommended as a routine practice. Exceptions include planting in windy sites, when root system is shallow, or soil is light. Staking must be approved by Landscape Designer prior to installation.
- Backfill with specified soil (see soil specifications) and water thoroughly immediately after planting. In no case shall plant be installed and not thoroughly watered the same day. Landscape Contractor is responsible for watering plant material until irrigation system is installed. If plant material fails due to insufficient watering during this time, Landscape Contractor is responsible for all replacement costs, at no cost to the Owner.
- Labels shall be removed from all plant material immediately after installation.
- Landscape Designer shall inspect all plants after installation, and once approved, Landscape Contractor shall install mulch (see all plant specifications).
- Irrigation shall be provided for all newly installed plant material. If an Irrigation Contractor has been contracted for the project, Landscape Contractor is responsible for coordinating to have irrigation installed. In the event that either the irrigation system cannot be installed immediately following plant installation, Landscape Contractor shall provide temporary irrigation for plant material and assume responsibility for maintaining appropriate irrigation for plants.

b. Balled and Burlaped Plant Material

- When installing in planting pit, leave burlap in place when placing in planting pit. If ball is supported by a steel frame, remove frame. If not feasible to remove whole frame, remove a minimum of 50% from the top of root ball down. Peel back and remove burlap from minimum top 50% of rootball. If burlap is non-biodegradable material, entire wrapping must be removed. Remove all twine and string.

c. Containerized Plants

- Remove pot from plant and gently massage root and soil to loose roots at edges prior to planting.
- Dispose of container offsite.

vi. Initial Acceptance

- Upon completion of planting phase, the Landscape Contractor shall request a final inspection by the Landscape Designer. The inspection can be requested once the following has been completed:
 - All plants are installed, mulched and watered.
 - Site clean-up is complete, including removal of all trash, waste, landscape debris resulting from installation and excess excavated material is removed.
- Upon acceptance of all work, the one year plant establishment period shall begin, and all associated warranties.

vii. Warrantee of Plant Material

- When a plant material and labor warrantee is included in the contract, Landscape Contractor shall replace plant material when 25% or more of the visible portion of the plant has died. This shall be assessed by the Landscape Designer through a visual inspection of the leaf coverage, color of leaves, branch health, trunk and bark.
- The warrantee provided by the Landscape Contractor shall cover all labor associated with the removal and replacement of the plant material, the cost of disposal off-site and the cost of the replacement plant material.

viii. Maintenance

- Landscape Contractor shall maintain plants installed in a healthy condition for the period of time the Landscape Contractor is continuing work on site, or through the length of the warrantee period, whichever the contract requires.
 - Maintenance shall include watering, fertilization and control of disease and insect pests. All chemicals used on site must be reviewed and approved by Landscape Designer prior to application. If these requirements are not met, any plant death resulting shall be replaced under warrantee.
- ix. Final Acceptance
- At the end of the maintenance period, Landscape Contractor shall contact Landscape Designer to schedule a final acceptance walk through.
 - The Landscape Designer will review all plant material installed and conditions of site as specified here and determine if final acceptance criteria have been met.
 - The Landscape Designer will instruct the Landscape Contractor of any deficiencies, and which plants are not meeting the level of acceptance. If plant material is to be replaced, the Landscape Contractor has thirty (30) days in which to comply.

B. Mulch

- All wood/organic mulch shall be Sweet Peet TM unless otherwise noted on drawings.
- All stone/rock mulch shall be type and size noted in drawings. It shall be free of organic and inorganic debris and trash.

C. Top Soil

- Top soil shall be furnished by the Landscape Contractor in sufficient quantity to provide 6" of topsoil over all areas to be seeded or sodded, 6" of top soil over areas to be planted with trees, shrubs, groundcover, and 12" in all perennial planting beds. Top soil shall not be spread on frozen ground or saturated ground. If the top soil is to be spread and there is an expected delay before it can be stabilized by plantings, mulch, sod, seed or other method, the Landscape Contractor is responsible for confirming significant rain is not in the forecast. If this is not verified, Landscape Contractor is responsible for replacing any top soil lost via run-off at no cost to the Owner.
- Top soil shall consist of natural friable surface soil without admixtures of undesirable subsoil, refuse, or foreign materials. It shall be shredded and free from roots, hard clay or stones larger than 1" in diameter. The top soil shall be suitable for the growth of trees, shrubs, perennials, grass or any other plant material specified in the drawings and shall not be sourced from agricultural fields that use any type of herbicide to control weed growth, such as corn fields.
- Soil shall consist of the following content (dry weight):
 - Organic Material 15-25%
 - Silt 25-45%
 - Sand 35-55%
- Landscape Contractor shall obtain soil specification sheet when purchasing, and be able to provide it upon request to Landscape Designer.

D. Seed

- Seed mixture shall be as specified in the drawings, consistent with the sun/shade aspect of the area to be seeded.
- Seed shall be applied at a rate of 8 lbs per 1,000 sq ft (350 lbs/acre)
- Seed shall be applied between April 1st-June 1st or September 15th-October 15th, unless otherwise directed by Landscape Designer.
- On seeded slopes greater than 4:1, Landscape Contractor is responsible for including erosion control over seeded areas. Landscape Contractor is responsible for calculating cost and including in proposal. Owner shall not be responsible for additional costs if this is not included.
- Landscape Contractor is responsible for coordinating with Irrigation Landscape Contractor to ensure site is prepared sufficiently for irrigation to commence upon installation of seed.
- Installation
 - Cultivate soil to a depth of 2" and rake to clear of any debris 1" in diameter or larger and remove any sticks, stumps or irregularities.
 - Apply a 15-15-15 fertilizer at 10 lbs per 1,000 sq ft and till into soil. Use a roller to smooth surface.
 - Apply seed using a method that ensures uniform distribution of seed. If using machinery, machinery shall be free of any weeds, seeds, or plant propagules. Rake seed gently into soil, and use a roller to lightly compact soil.
 - Apply weed-free, unrotted straw mulch (wheat, oat, rye or salt hay) immediately after seed is rolled on soil. Straw mulch shall be applied at a rate of 1-2 bales per 1,000 sq. ft., and ensure that approximately 25% of soil is visible through the straw.
 - Irrigate thoroughly with a fine spray and keep soil moist until germination begins. Continue frequent irrigation until lawn established.
- Maintenance (when included in contract)
 - Begin immediately after seed is sown.
 - Apply a secondary fertilization 14 days after seeding occurs.
 - Mow lawn when grass reaches 2" to 2-1/2" high. At no time should more than 1/3 of the height of the grass be removed when mowing.
 - Maintain seeded lawn for 60 days or through 5 mowings, whichever is longer.
 - Herbicide shall not be used, unless directed to by Landscape Designer. All herbicide products to be approved by Landscape Designer, and shall be labeled for newly seeded lawns only. Herbicide to be applied following labeling directions.
- Acceptance
 - Landscape Contractor shall contact Landscape Designer after the maintenance period has expired for inspection of lawn.

E. Sod

- Sod shall be 90/10 Blue Grass/Fescue mixture. Variations from this require written approval of Landscape Designer.
- Sod shall be deep green and free of weeds and pests. Sod shall be harvested within a maximum of 24 hours prior to installation.
- Sod shall be kept moist.
- Landscape Contractor is responsible for coordinating and scheduling with the Irrigation Contractor a minimum of 48 hours prior to the installation of the sod.
- Installation
 - Rough grade to designed elevations all areas where sod to be applied. Scarify earth and rake to remove all stones and debris 1" or greater in size/diameter.
 - Fine grade with uniform 4" depth of topsoil (1/2" maximum allowed variance) and lightly roll surface. Fine grading shall not be performed in wet or frozen conditions.
 - Moisten soil to a depth of 6".
 - Lay sod perpendicular to the slope.
 - Sod shall form a solid mass with tightly fitted joints and stagger end joints. Do not overlap sod.
 - Adhere sod to topsoil by lightly tamping or rolling surface.
 - On slopes exceeding 4:1, sod shall be secured with sod staples.
 - All edges shall be cut with straight edges using clean, sharp tools.
 - If installing sod when the temperature is above 85 degrees, ensure that newly laid sod maintains moisture.
 - Water sod by hand immediately upon completion of installation. Landscape Contractor is responsible for coordinating with the irrigation company to ensure new sod is irrigated automatically.
- Maintenance (when included in contract)
 - The maintenance period required of the Landscape Contractor shall begin immediately after installation is complete, and will continue for either a minimum of 45 days or after three (3) mowings, whichever is greater.
 - Fertilizer shall be applied 21 days after sod is installed.
 - Maintain lawn to a height of between 2"-2 1/2". At no time shall the mowing of the grass leaves be greater than 1/3rd the height of the leaf.
- Acceptance
 - The Landscape Contractor shall contact the Landscape Designer at the end of the maintenance period to schedule an inspection. Final acceptance will occur if 95% or greater of the sod is healthy, green and weed free. Landscape Contractor will remove and replace dead sod as directed by the Landscape Designer if the minimum success rate of the sod is not met.

NOTES:

- Surveys provided by Thomas C. Merritts Land Surveyors 11/8/16 (parcel 1) & Summit Land Surveying 12/23/17 (parcel 2). Site Engineering plan provided by Hudson Engineering 8/8/17. Architecture plans provided by Austin Patterson Disston 11/3/17.
- Rosalia Sanni Design LLC takes no responsibility for the accuracy of the information provided by the survey. If the Contractor determines inaccuracies on site, the Contractor shall alert the Landscape Designer prior to construction of any part of the design affected by the perceived inaccuracy.
- The Contractor shall verify the location of all utilities prior to commencement of any construction activities by contacting "Call Before You Dig". The Contractor takes full responsibility for any utilities damaged due to not verifying utility locations, and will repair any damage at the Contractor's own expense.
- The Contractor shall obtain all permits for construction as required by the local municipality, state and federal regulations. All permits shall be obtained prior to commencement of the work associated with the permit. The Contractor shall abide by all rules and regulations set forth by the permits required for construction activities.
- The Contractor shall at all times keep the construction site in an orderly condition, store materials in a pre-determined location, minimize site disturbance, and remove all debris and excess material from the site.
- The Contractor shall maintain any erosion control measures utilized on site.

No.	Date & Revision
1	5/6/2021 Issued for Land Use Approval
2	--
3	--
4	--
5	--
6	--
7	--
8	--

Rosalia Sanni Design LLC
Landscape & Garden Design

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Phone: 203-918-4619
Email: rs@rosaliasanni.com

PROJECT:

SIGALOW RESIDENCE
886 ORIENTA AVENUE
VILLAGE OF MAMARONECK
NY, 10543

DWG. TITLE:

**PLANTING DETAILS &
SPECIFICATIONS**

DRAWING FILE: 2021-05-05 CD RSD rs.dwg

DRAWN BY: RS

SAVE DATE: May 6, 2021

ORIGINAL ISSUE DATE: 5/6/2021

REVISION DATE:

