

Title

COTTER RESIDENCE

409 DELANCEY AVENUE

MAMARONECK, NEW YORK 10543

FOR BUILDING PERMIT

MARCH 15, 2021

Drawing Index

DRAWING INDEX SUMMARY					
ARCHITECTURAL					
Dwg. #	Title	Scale	Dwg. #	Title	Scale
C-101	Title Sheet & Site Plans	1" = 15'-0"	A-102	Structural Plan & Details	As Noted
C-102	Erosion Control Details And General Notes	As Noted	A-103	Second Floor Construction Plan	1/4" = 1'-0"
EX-101	Demolition Plans	1/4" = 1'-0"	A-104	Elevations	1/4" = 1'-0"
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			E-101	Electrical Plans	1/4" = 1'-0"

Zoning Tabulation

ZONE: R-5
TOWN SECTION: 9 VILLAGE SECTION: 9
TOWN BLOCK: 3 VILLAGE BLOCK: 7
TOWN LOT: 434 VILLAGE LOT: 2

	REQUIRED	EXISTING	PROPOSED
MAXIMUM FLOOR AREA RATIO	.405	.25	.26
MINIMUM LOT AREA	5,000 SF	8,250 SF	8,250 SF
MINIMUM WIDTH AND FRONTAGE DELANCEY AVENUE	50 FT	55 FT	55 FT
MINIMUM LOT DEPTH	100 FT	150 FT	150 FT
MINIMUM HABITABLE FLOOR AREA	1,400 SF	2056 SF	2111 SF (+) 55 SF
MAX. BUILDING HT. FEET STORIES	35 FT 2½	28.5 FT 2	28.5 FT 2
MIN. REQUIRED YARD: FRONT	20 FT	20.48 FT	20.48 FT
MIN. REQUIRED YARD: SIDE	6 FT	5.01 FT	5.01 FT
MIN. REQUIRED YARD: SIDES COMBINED	14 FT	13.88 FT	13.88 FT
MIN. REQUIRED YARD: REAR	25 FT	97.95 FT+/-	81.0 FT+/-
MAX. COVERAGE ALL BUILDINGS (AS PERCENTAGE OF LOT AREA)	35%	13.3%	20%
OFF STREET PARKING	2	2	2

N.Y.S. ENERGY CONSERVATION
CONSTRUCTION CODE

BUILDING TYPE:	SINGLE FAMILY RESIDENTIAL	
ZONE:	4A	
DESIGN DEGREE DAYS:	5500 – 5999	
DESIGN TEMPERATURE:	6 DEGREES F. / 83 DEGREES F.	
ENVELOPE COMPONENT	R VALUE REQUIRED	R VALUE PROVIDED
FENESTRATION	U0.35	U0.28
SKYLIGHT	U0.55	N/A
CEILING	38	R-38
WOOD FRAME WALL	20	R-21
FLOOR	19	R-21
BASEMENT WALL	10/13	N/A
SLAB R-VALUE & DEPTH	10.2 FT	N/A
CRAWL SPACE WALL R-VALUE	10/13	N/A

BELLO ARCHITECTURE (N.Y.S. LIC. NO. 027735) CERTIFIES THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PLANS AND SPECIFICATIONS CONFORM WITH THE APPLICABLE SECTIONS OF THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.

Climatic and Geographic Design Criteria

GROUND SNOW LOAD	WIND SPEED MPH FOR 3 SEC. WIND GUST	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX
			WEATHERING	FROST DEPTH LINE	TERMITE	DECAY				
30	120	C	SEVERE	42"	MOD/HVY	SL/MOD	7	YES	FIRM 9-28-07	618

SITE PLAN NOTES

1. INFORMATION ON SITE PLANS TAKEN FROM A SURVEY PREPARED BY:

THOMAS C. MERRITTS LAND SURVEYORS, P.C.
394 BEDFORD ROAD
PLEASANTVILLE, NEW YORK 10570

SCOTT B. GRAY
NEW YORK STATE LICENSE NO.: 050672

TEL.: (914) 769-8003
(203) 622-8899

THE SURVEY IS DATED OCTOBER 2, 2020.

2. PLANS ARE NOT TO BE SCALED.

Drawing Issue

No.	Date		By
1	3-15-21	For Building Permit	RB

Drawing Revisions

No.	Date		By

Bello
Architecture, PLLC

36 New Street
Rye, New York 10580
Tel: 914-690-0870
Fax: 914-937-1968

Project:

Cotter Residence

409 Delancey Avenue
Mamaroneck, New York 10543

Sheet Title:

Title Sheet & Site
Plans

Scale

1" = 15'-0"

Project No.

20125

Date

3/15/21

Sheet No.

C-101

Drawn By

RB

GENERAL NOTES:

1. The contractors shall check and verify all dimensions and conditions prior to starting work and notify the architect of any discrepancies.
2. Contractor (s) shall obtain any and all permits as required by the local authorities.
3. All work shall be designed and must be performed in compliance with the 2020 Residential Code of New York State, and all applicable local Codes and Zoning regulations.
4. The general contractor shall coordinate the work of all trades and sub-contractor (s) unless otherwise noted.
5. All contractors to cooperate in coordinating construction.
6. All cutting and patching shall be done by the general contractor and shall be the responsibility of the G.C. to see that the final patch is not visible after finish (es).
7. The contractor shall protect and not damage trees, planting or shrubs where work or operation for work is required at exterior of building.
8. The storage of materials and equipment shall be located where directed by the architect or owner.
9. Where partition(s) are removed, flooring(s) at old partition(s) shall be filled-in level with existing to receive final finish(es). At walls and ceilings patch and align finish surfaces to match existing or as required to receive new finishes.
10. Install R-21 insulation in new perimeter walls and R-38 in between new roof framing.
11. New windows to be Andersen double hung with insulating glass white – sizes as noted on drawings. Provide insect screens for all operating sashes.
12. All glass within 18" of the floor shall be tempered safety glass.
13. Provide 4" x 4" post or 2 – 2" x 4" spiked at bearing points of all double framing members and LVL's unless otherwise noted.
14. All operable windows and exterior doors to be weatherstripped and all windows shall be caulked.
15. The contractor, by submitting his bid, represents that he has visited the project location and agrees with plans and details as representing the full extent of construction. If contractor has found that plans and details are at variance with what is physically in the field, he shall notify the architect or owner before submitting his bid.
16. Contractor to carry appropriate insurance, workmens compensation and liability in the sums prescribed by authorities having jurisdiction over the project.

STRUCTURAL SPECIFICATIONS:

GENERAL NOTES:

1. The contractor shall be responsible for visiting the site and familiarizing himself with existing conditions.
2. The contractor shall be solely responsible for all safe working conditions and shall observe all safety requirements established by jurisdictional agencies and owner. Where conflicts exist, the more stringent requirements shall apply. Care shall be exercised to avoid endangering personnel or the structure.
3. All structural work shall conform to the requirements of the Uniform Building Code of New York State, latest edition.
4. All structural drawings shall be used in conjunction with specifications, architectural and mechanical drawings.
5. All dimensions shall be verified by the contractor. The general contractor shall coordinate and be responsible for the approved size and location of all openings through roof, floors and walls.
6. All sections and details shall be considered typical and apply for the same and similar conditions, unless otherwise specifically noted.
7. Contractor shall furnish and be solely responsible for all temporary bracing required to maintain stability of the structure during onstruction.

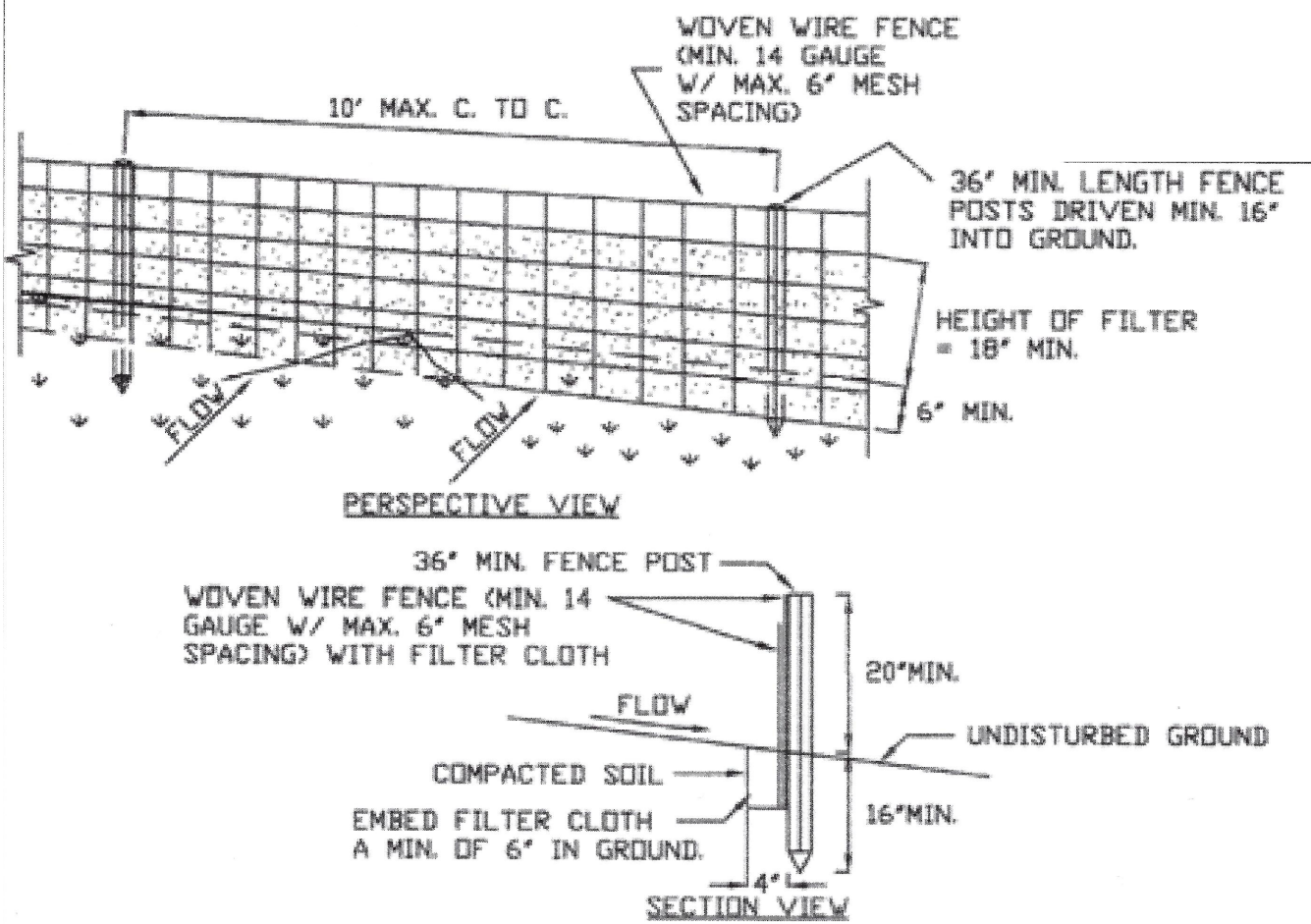
FOUNDATION:

1. All footings shall rest on undisturbed soil of minimum bearing capacity of 2.0 tons per square foot.
2. Backfill with approved material. Backfilling under the slab, around piers and on each side of foundation walls shall be done in layers, not to exceed 10"; compaction shall be 95 percent of maximum density at optimum moisture content, when tested in accordance with ASTM D 1557.
3. Excavation shall be protected from frost in cold weather. All frozen soil shall be removed before footings are poured. Footings shall be protected from freezing of underlying soil before final backfill.

CONCRETE:

1. All concrete construction shall conform to building code requirements for reinforced concrete, ACI 318 (latest edition), and shall be in accordance with the manual of standard practice for detailing of reinforced concrete.
2. All cast-in-place concrete shall be controlled stone concrete having a minimum compressive design strength, Fc of 3,000 lbs. per square inch at 28 days, with minimum cement factor 5.75 bags per cubic yard of concrete. Contractor shall supply concrete having a 28 day strength 25 percent greater than the design strength specified.
3. Aceलगuard-80, non-chloride accelerating admixtures as manufactured by the Euclid Chemical Company, or approved equal, shall be used in all concrete slabs placed at temperatures below 50 degrees F. Admixture shall conform with ASTM C-494 requirements, and contain no more chloride ions than are present in municipal drinking water.
4. Air entraining admixture conforming to ASTM C260, such as liquid air-mix as manufactured by the Euclid Chemical Co., or approved equal, shall be used in all concrete.
5. Horizontal placement stops interrupting the vertical thickness of concrete being placed are not permitted.
6. All slabs on earth shall be reinforced with welded wire mesh as called for on drawings, placed 2" from top and over any pipes or conduits in slab.
7. All reinforcing bars shall be new billet steel, deformed type, (ASTM A-615 GRADE 40) and shall comply with ACI code requirements.
8. All welded wire mesh (WWM) shall conform to the requirements of ASTM A-185.

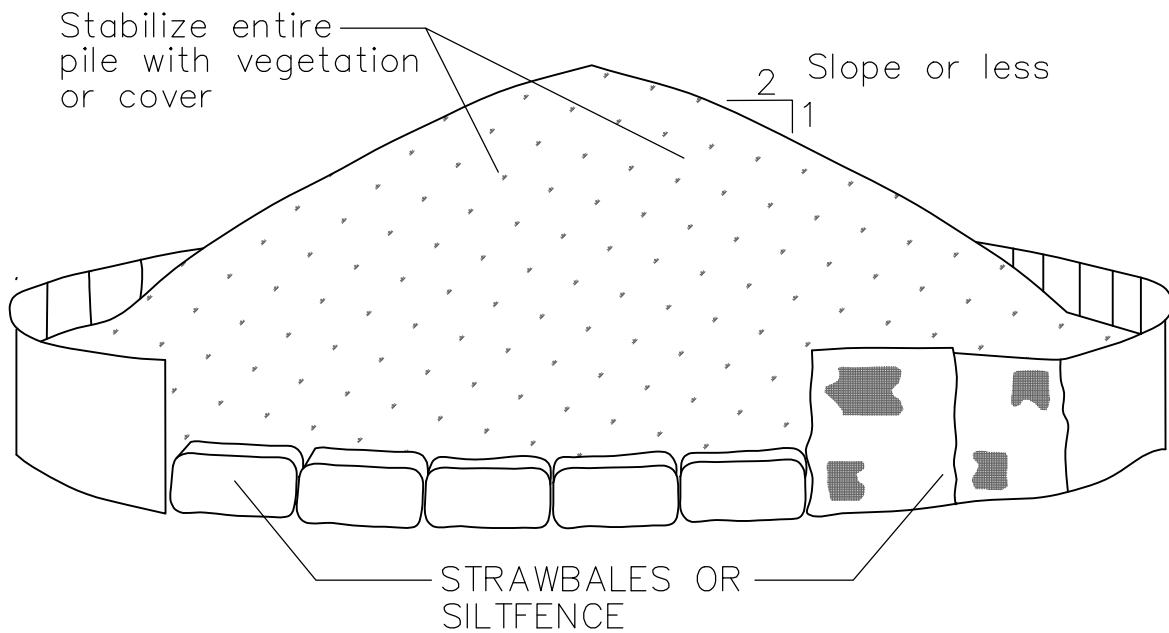
SILT FENCE DETAIL – N.T.S.



CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL MEET THE MINIMUM REQUIREMENTS SHOWN.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

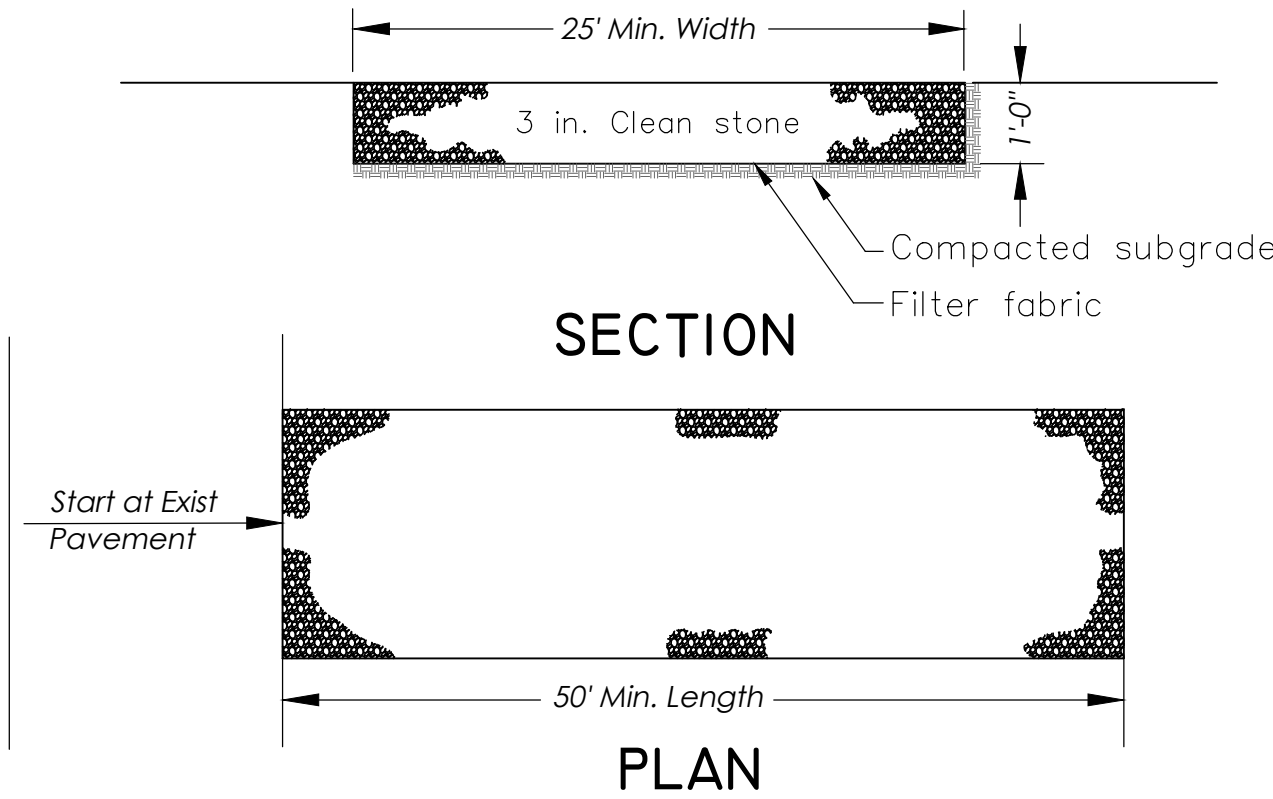
SOIL STOCKPILING DETAIL – N.T.S.



INSTALLATION NOTES:

1. TOPSOIL AND OTHER APPROVED NON-SURPLUS MATERIAL STOCKPILES SHALL BE LOCATED ON UNPAVED, LEVEL, DRY GROUND.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2
3. STOCKPILES SHALL BE COVERED WITH TARPS OR TEMPORARY SEEDING AND BE SURROUNDED BY PROPERLY INSTALLED HAYBALE/STRAWBALE SEDIMENT BARRIERS AND/OR SILT FENCING.
4. WHEN UNABLE TO PLACE STOCKPILE ON UNPAVED SURFACES, CONTRACTOR SHALL, AT THE SOLE DISCRETION OF THE ENGINEER, PLACE STOCKPILE OVER TARP AND COVER AND/OR CONTAIN AS DESCRIBED ABOVE.
5. SEE SPECIFICATIONS FOR INSTALLATION OF SILTFENCE.
6. NO STOCKPILE OF SURPLUS MATERIAL WILL BE PERMITTED.

STABILIZED CONSTRUCTION ENTRANCE – N.T.S.



INSTALATION NOTES:

1. STONE SIZE - USE 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - 25 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

Drawing Issue

No.	Date		By
1	3-15-21	For Building Permit	RB

Drawing Revisions

No.	Date		By

Bello
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Project:

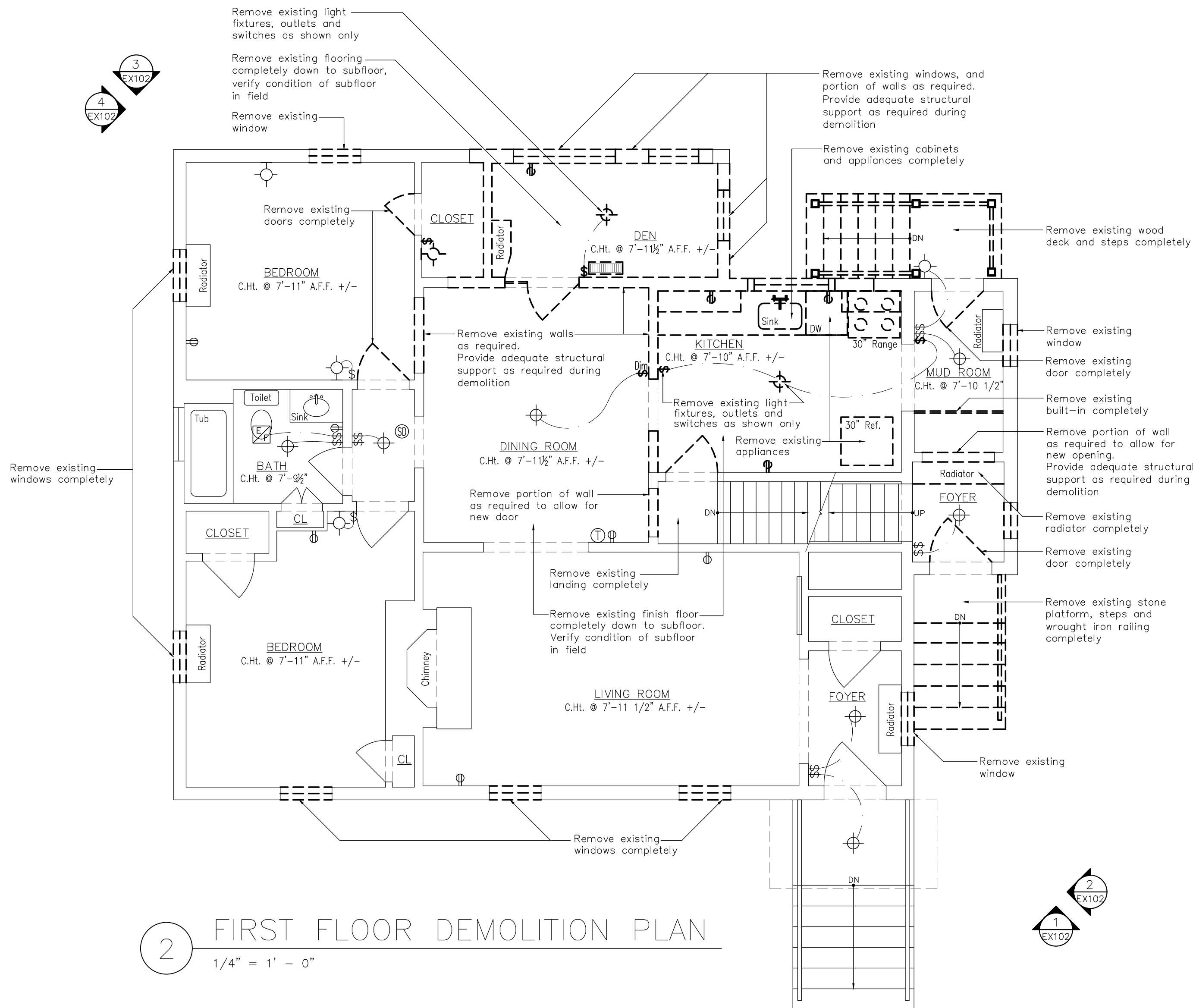
Cotter Residence

409 Delancey Avenue
Mamaroneck, New York 10543

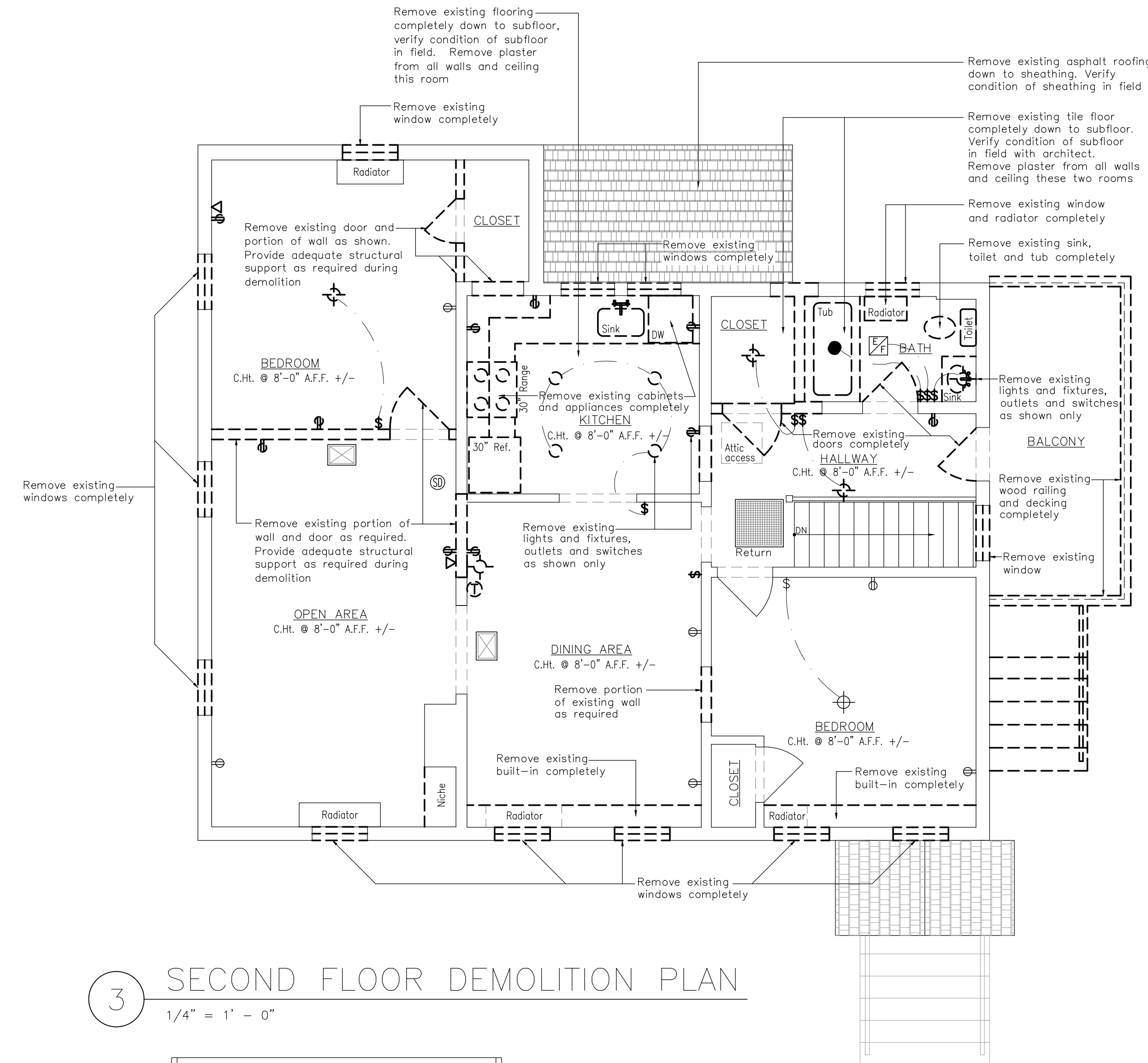
Sheet Title:

Erosion Control Details
and General Notes

Scale	Project No.
As Noted	20125
Date	Sheet No.
3/15/21	C-102
Drawn By	RB

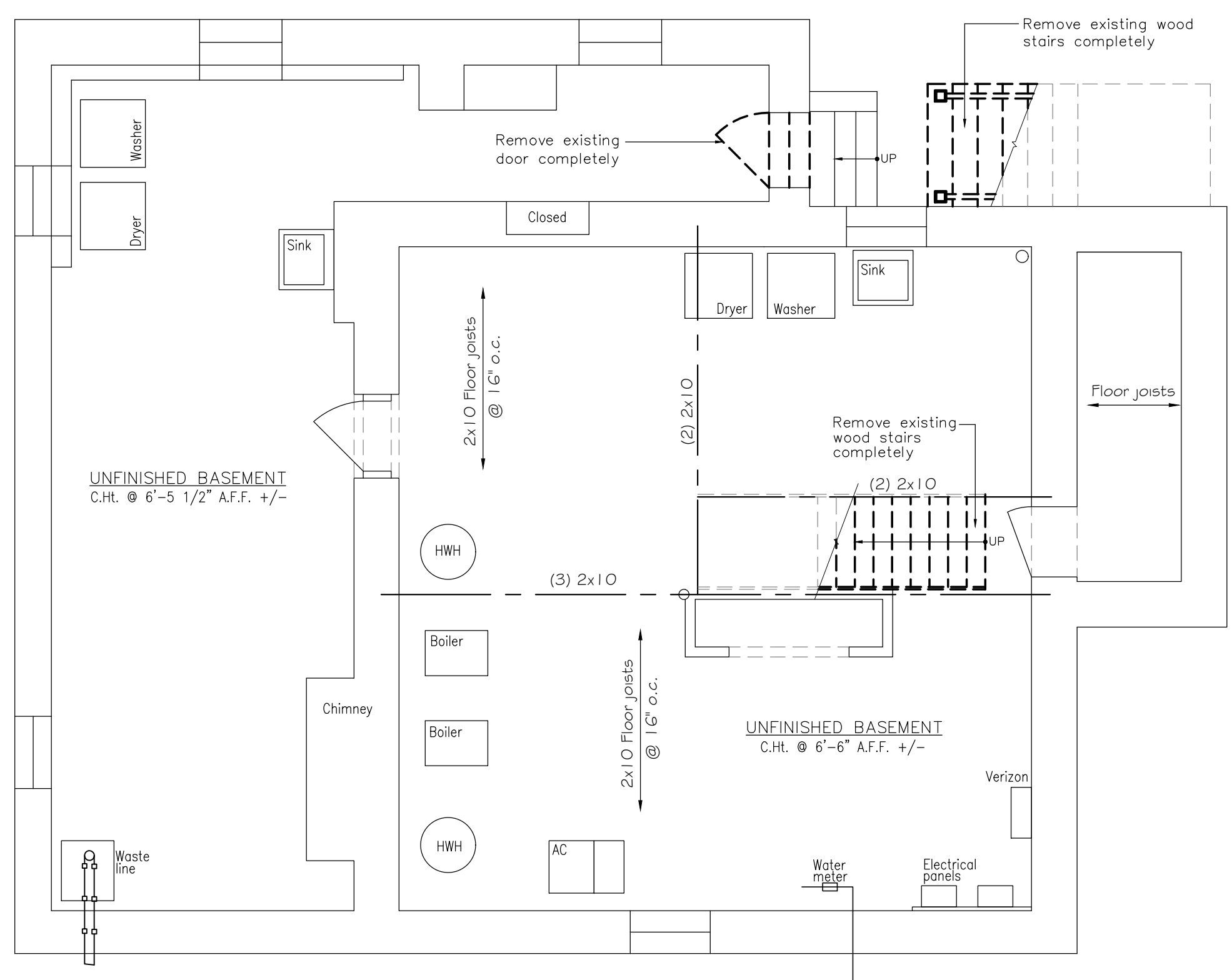


2 FIRST FLOOR DEMOLITION PLAN
1/4" = 1' - 0"



3 SECOND FLOOR DEMOLITION PLAN
1/4" = 1' - 0"

NOTE:
ALL INTERIOR AND EXTERIOR WALLS AND ALL
CEILINGS ON THE SECOND FLOOR SHALL BE
GUTTED DOWN TO EXISTING WALL STUDS OR
CEILING JOISTS, THROUGHOUT ON THIS LEVEL
ONLY. EXTERIOR SHEATHING AND SIDING TO
REMAIN



1 BASEMENT DEMOLITION PLAN
1/4" = 1' - 0"

WALL TYPES

----- EXIST WALLS / ITEMS TO BE DEMOLISHED

===== EXISTING WALLS / ITEMS TO REMAIN

DEMOLITION NOTES

- ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, LAWS, AND STATUTES AS REQUIRED.
- REVIEW DEMO PLANS WITH ARCHITECT IN FIELD PRIOR TO INITIATING CONSTRUCTION.
- IN AREAS TO BE DEMOLISHED, PROVIDE ADEQUATE STRUCTURAL SUPPORT FOR ADJACENT AREAS TO PREVENT SETTLEMENT OR SHIFTING OF EXISTING WALLS.
- PROTECT AREAS ADJACENT TO DEMOLITION FROM DAMAGE AND FROM NATURAL ELEMENTS.
- IN ADDITION TO INFORMATION SHOWN ON THIS DRAWING, CONTRACTOR TO PROVIDE ALL DEMOLITION AS REQUIRED BY NEW PLANS AND ELEVATIONS.
- CONTRACTOR SHALL PROVIDE FOR REMOVAL AND DISPOSAL OF ALL DEMOLITION AND CONSTRUCTION DEBRIS ASSOCIATED WITH THIS PROJECT.

Drawing Issue

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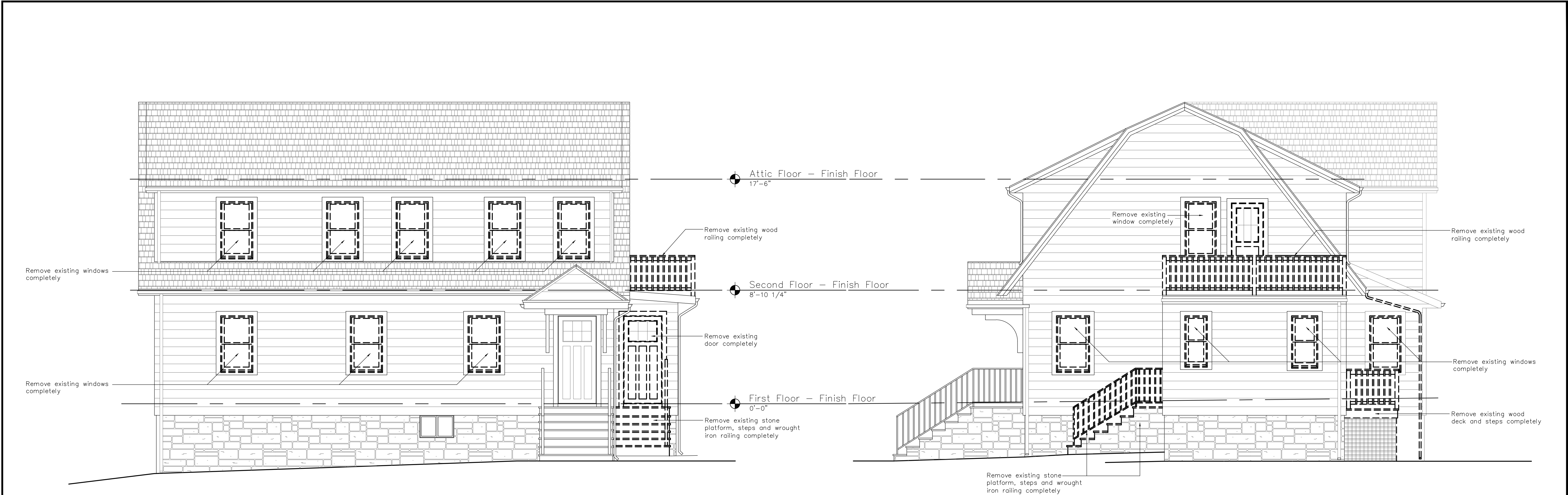
Cotter Residence

409 Delancey Avenue
Mamaroneck, New York 10543

Sheet Title:

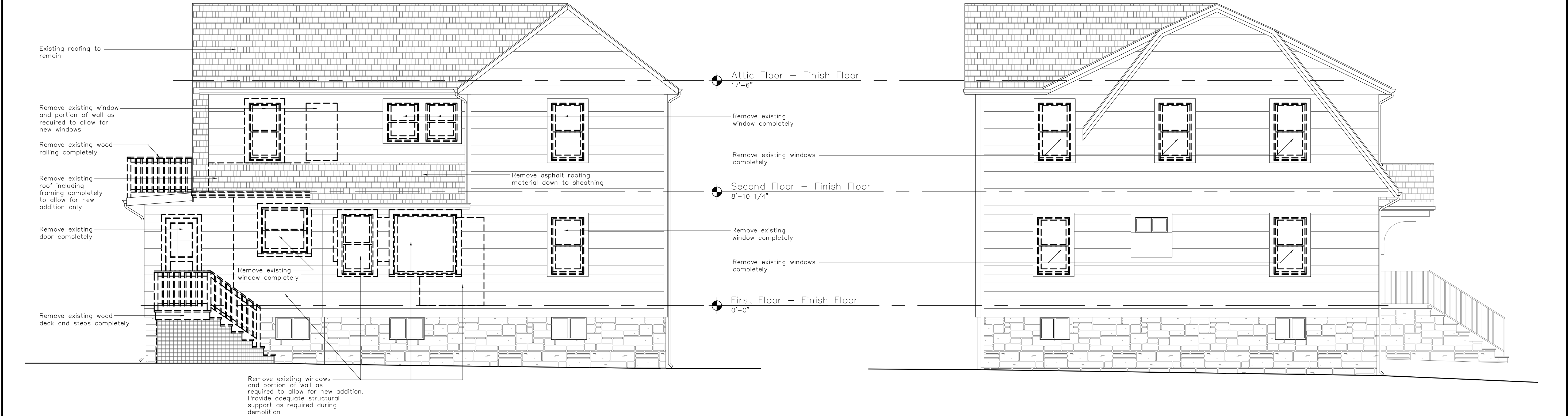
Demolition Plans

Scale 1/4" = 1'-0"	Project No. 20125
Date 3/15/21	Sheet No. EX-101
Drawn By RB	



1 EXISTING FRONT ELEVATION
1/4" = 1' - 0"

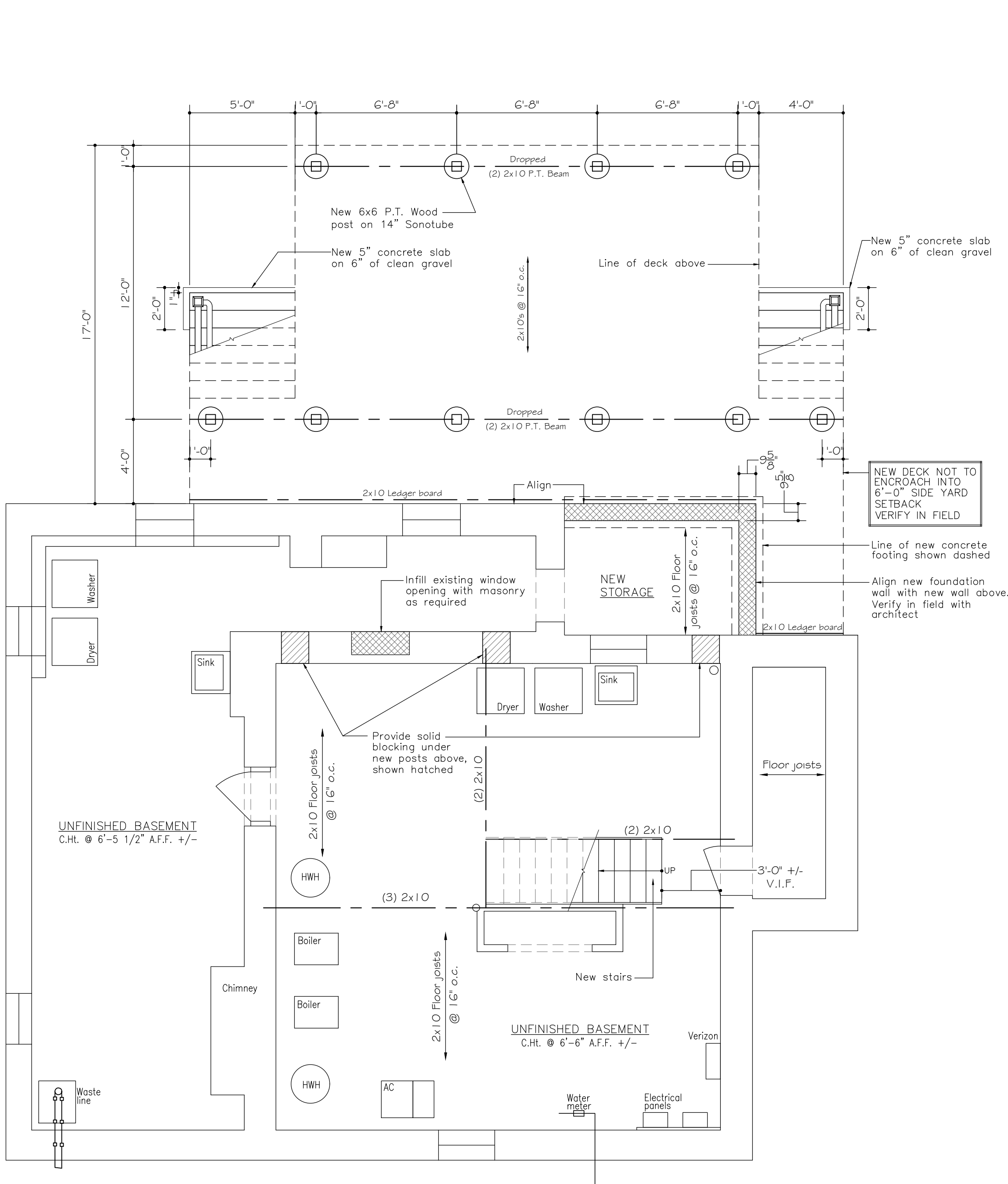
2 EXISTING SIDE ELEVATION
1/4" = 1' - 0"



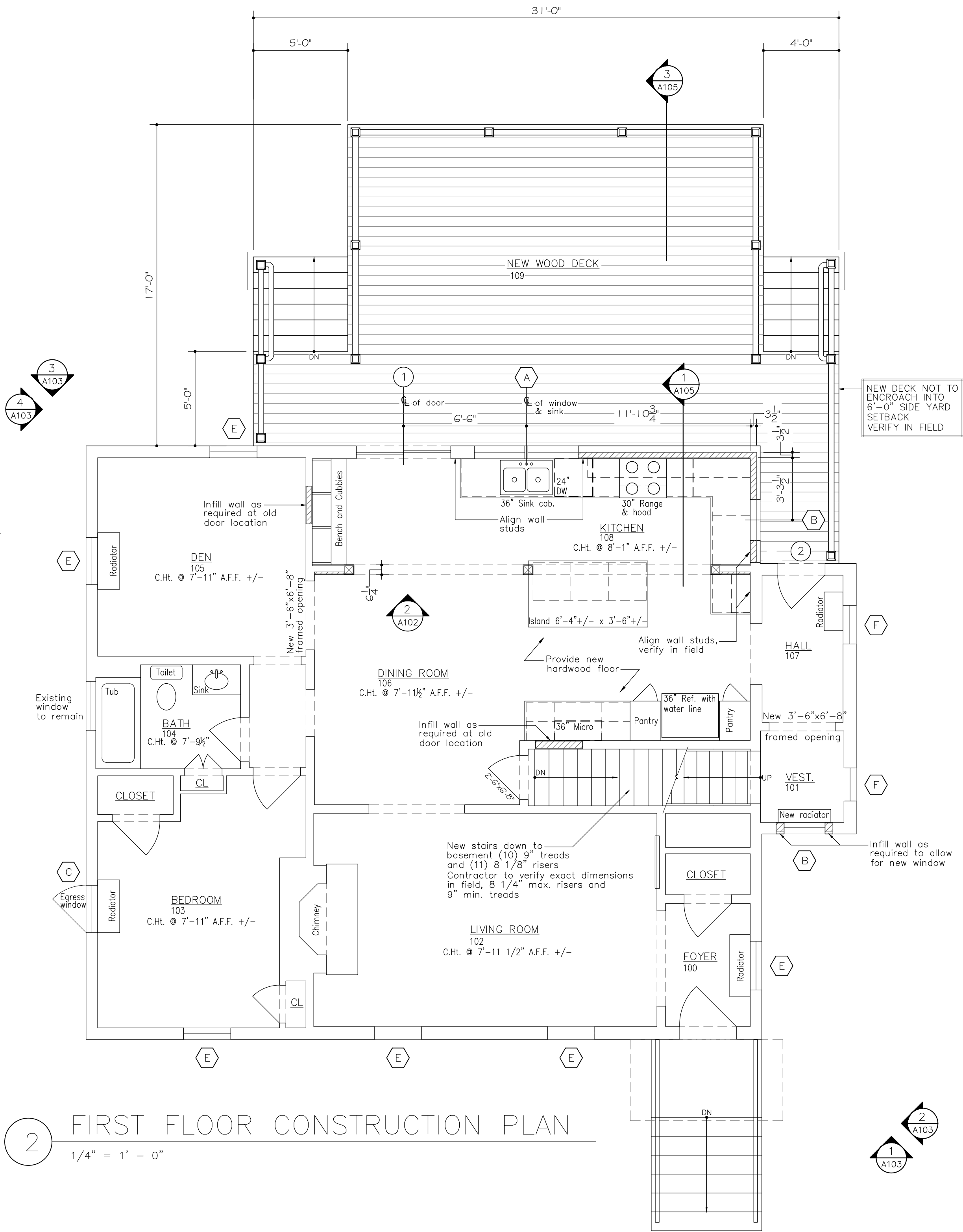
3 EXISTING REAR ELEVATION
1/4" = 1' - 0"

4 EXISTING SIDE ELEVATION
1/4" = 1' - 0"

WALL TYPES		
-----	EXIST WALLS / ITEMS TO BE DEMOLISHED	
=====	EXISTING WALLS / ITEMS TO REMAIN	
DEMOLITION NOTES		
1. ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, LAWS, AND STATUTES AS REQUIRED.		
2. REVIEW DEMO PLANS WITH ARCHITECT IN FIELD PRIOR TO INITIATING CONSTRUCTION.		
3. IN AREAS TO BE DEMOLISHED, PROVIDE ADEQUATE STRUCTURAL SUPPORT FOR ADJACENT AREAS TO PREVENT SETTLEMENT OR SHIFTING OF EXISTING WALLS.		
4. PROTECT AREAS ADJACENT TO DEMOLITION FROM DAMAGE AND FROM NATURAL ELEMENTS.		
5. IN ADDITION TO INFORMATION SHOWN ON THIS DRAWING CONTRACTOR TO PROVIDE ALL DEMOLITION AS REQUIRED BY NEW PLANS AND ELEVATIONS.		
6. CONTRACTOR SHALL PROVIDE FOR REMOVAL AND DISPOSAL OF ALL DEMOLITION AND CONSTRUCTION DEBRIS ASSOCIATED WITH THIS PROJECT.		
Drawing Issue		
No.	Date	By
1	3-15-21	For Building Permit
Drawing Revisions		
No.	Date	By
<div><div></div><div>Bello Architecture, PLLC</div><div>36 New Street Rye, New York 10580 Tel: 914-690-0870 Fax: 914-937-1968</div></div>		
Project: <div>Cotter Residence</div> <div>409 Delancey Avenue Mamaroneck, New York 10543</div>		
Sheet Title: <div>Existing Elevations</div>		
Scale 1/4" = 1'-0"	Project No. 20125	
Date 3/15/21	Sheet No. EX-102	
Drawn By RB		



1 BASEMENT CONSTRUCTION PLAN
1/4" = 1' - 0"



2 FIRST FLOOR CONSTRUCTION PLAN
1/4" = 1' - 0"

FINISH NOTES - FIRST FLOOR

- VESTIBULE 101—
1. All walls and ceilings shall be painted throughout as required. Verify color selection with owner.
2. Provide new window casings and base board molding as required, to match existing.
- LIVING ROOM 102—
1. Existing hardwood flooring to remain. Floor shall be sanded, stained and finished.
- BEDROOM 103—
1. No work in this room.
- BATHROOM 104—
1. No work in this room.
- DEN 105—
1. All walls and ceilings shall be painted throughout as required. Verify color selection with owner.
2. Provide new opening casings and base board molding as required, match existing.
- DINING ROOM 106—
1. Existing hardwood flooring to remain. Floor shall be sanded, stained and finished.
2. Paint color to be selected by Owner. Paint to be supplied by paint contractor and all walls and ceilings to be painted by painting contractor.
3. Contractor to provide and install new door trim and base molding as required to match existing.
- HALL 107—
1. All walls and ceilings shall be painted throughout as required. Verify color selection with owner.
2. Provide new opening casings as required, match existing.
3. New 3/4" hardwood flooring to be sanded, stained and finished. Match flooring in Kitchen.
- KITCHEN 108—
1. New 3/4" hardwood flooring to be sanded, stained and finished. Match wood floor in Dining Room. Verify condition of subfloor in field.
2. All walls and ceiling to be painted. Paint selection by Owner.
3. Contractor to provide and install new window and door trim and base molding as required to match existing.
4. All kitchen cabinets shall be selected and supplied by Owner. Installation of kitchen cabinets by Contractor.
5. Kitchen sinks and faucets shall be selected and supplied by Owner. Installation of sinks and faucets by Contractor.
6. All kitchen appliances shall be selected and supplied by Owner. Installation of all kitchen appliances by Contractor. Kitchen appliances include but are not limited to: dish washer, refrigerator, range, hood and microwave.
7. Countertops shall be selected and supplied by Owner. Installation of countertops shall be by others.

WINDOW TYPES

'ANDERSEN' UNITS 400 SERIES		
WINDOW #	MODEL #	SIZE- WIDTH x HEIGHT (TYP.)
A	WDH2632-2	5'-3 ⁷ / ₈ " x 3'-4 ⁷ / ₈ " R.O.
B	WDH2032	2'-2 ⁵ / ₈ " x 3'-4 ⁷ / ₈ " R.O.
C	CW145 EGRESS WINDOW	2'-4 ⁷ / ₈ " x 4'-5 ⁷ / ₈ " R.O.
D	WDH2432	2'-6 ¹ / ₂ " x 3'-4 ⁷ / ₈ " R.O.
E	WDH2442	2'-6 ¹ / ₂ " x 4'-4 ⁷ / ₈ " R.O.
F	WDH18310	1'-10 ¹ / ₈ " x 4'-0 ⁷ / ₈ " R.O.
G	WDH24210	2'-6 ¹ / ₂ " x 3'-0 ⁷ / ₈ " R.O.

- A. 3/4" DOUBLE GLAZED, NO GRILLES, UNLESS NOTED
B. ALL OPERABLE WINDOWS SHALL HAVE WHITE HARDWARE AND SCREEN FRAMES.
C. PROVIDE EXTENSION JAMBS AS REQUIRED.
D. ALL WINDOWS TO BE FACTORY PRIMED WHITE ON THE INTERIOR. CONTRACTOR TO VERIFY COLOR SELECTION.
E. CONTRACTOR TO VERIFY ALL ROUGH OPENINGS AND FEATURES PRIOR TO ORDERING.

EXTERIOR DOOR SCHEDULE

'ANDERSEN' UNITS 400 SERIES		
DOOR #	MODEL #	SIZE- WIDTH x HEIGHT (TYP.)
1	FWG5068L	5'-0" x 6'-8" R.O.
2	FWH2768AL	2'-7" x 6'-8" R.O.

NOTES

- A. 3/4" DOUBLE GLAZED, NO GRILLES, VERIFY WITH OWNER
B. ALL DOOR HARDWARE, SCREENS, COLOR AND OPTIONS TO BE VERIFIED WITH OWNER.
C. PROVIDE EXTENSION JAMBS AS REQUIRED.
D. CONTRACTOR TO VERIFY ALL DOOR SIZES, ROUGH OPENINGS AND ALL FEATURES PRIOR TO ORDERING.

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Project:

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Sheet Title:

Basement & First
Floor Construction
Plans

Scale

1/4" = 1'-0"

Project No.

20125

Date

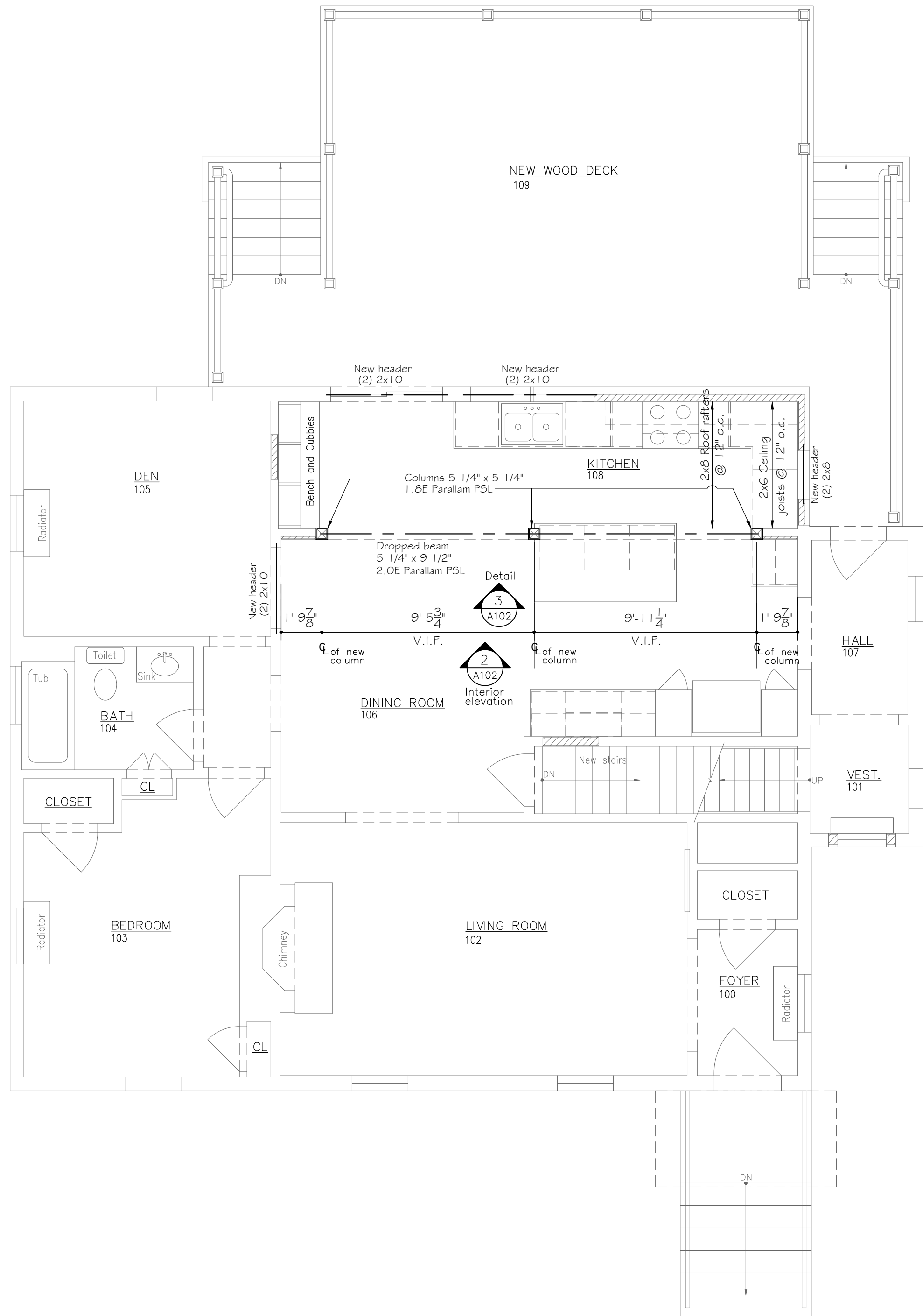
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Sheet No.

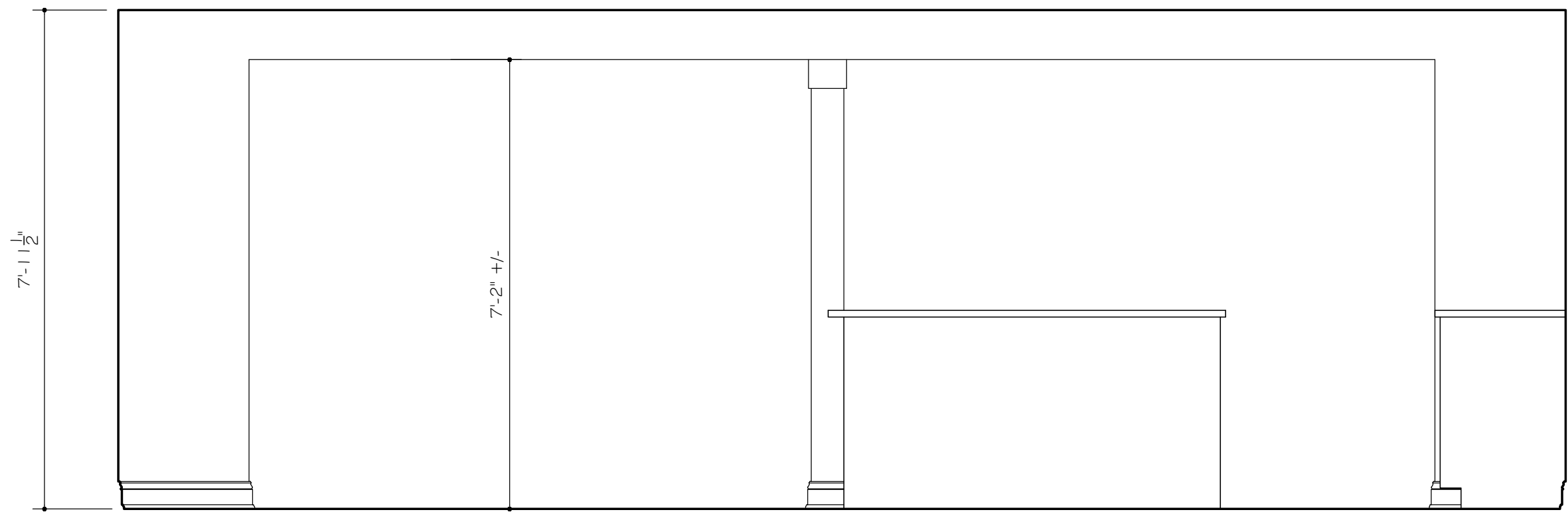
A-101

Drawn By

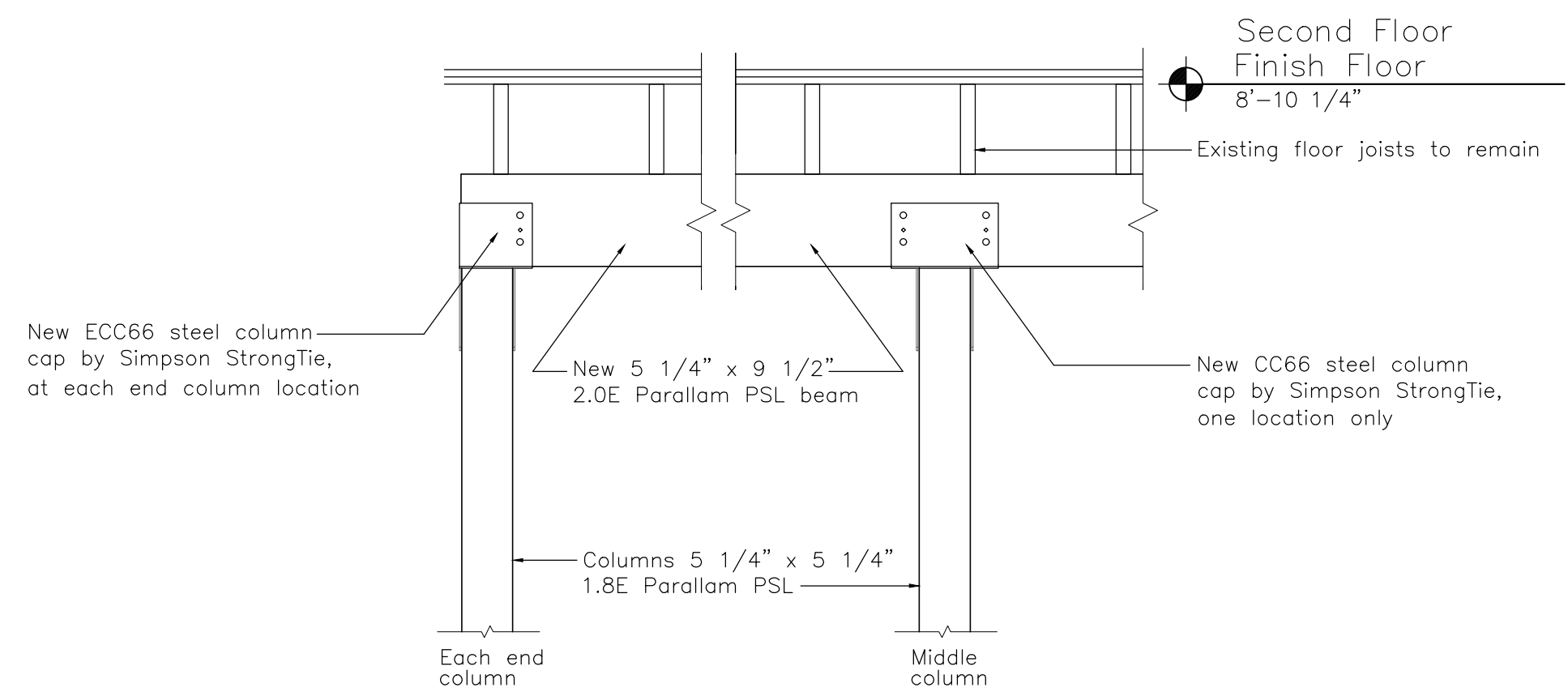
RB



1 FIRST FLOOR STRUCTURAL PLAN
1/4" = 1' - 0"



2 INTERIOR KITCHEN ELEVATION
1/2" = 1' - 0"



3 NEW BEAM & COL DETAIL
3/4" = 1' - 0"

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1	3-15-21	RB

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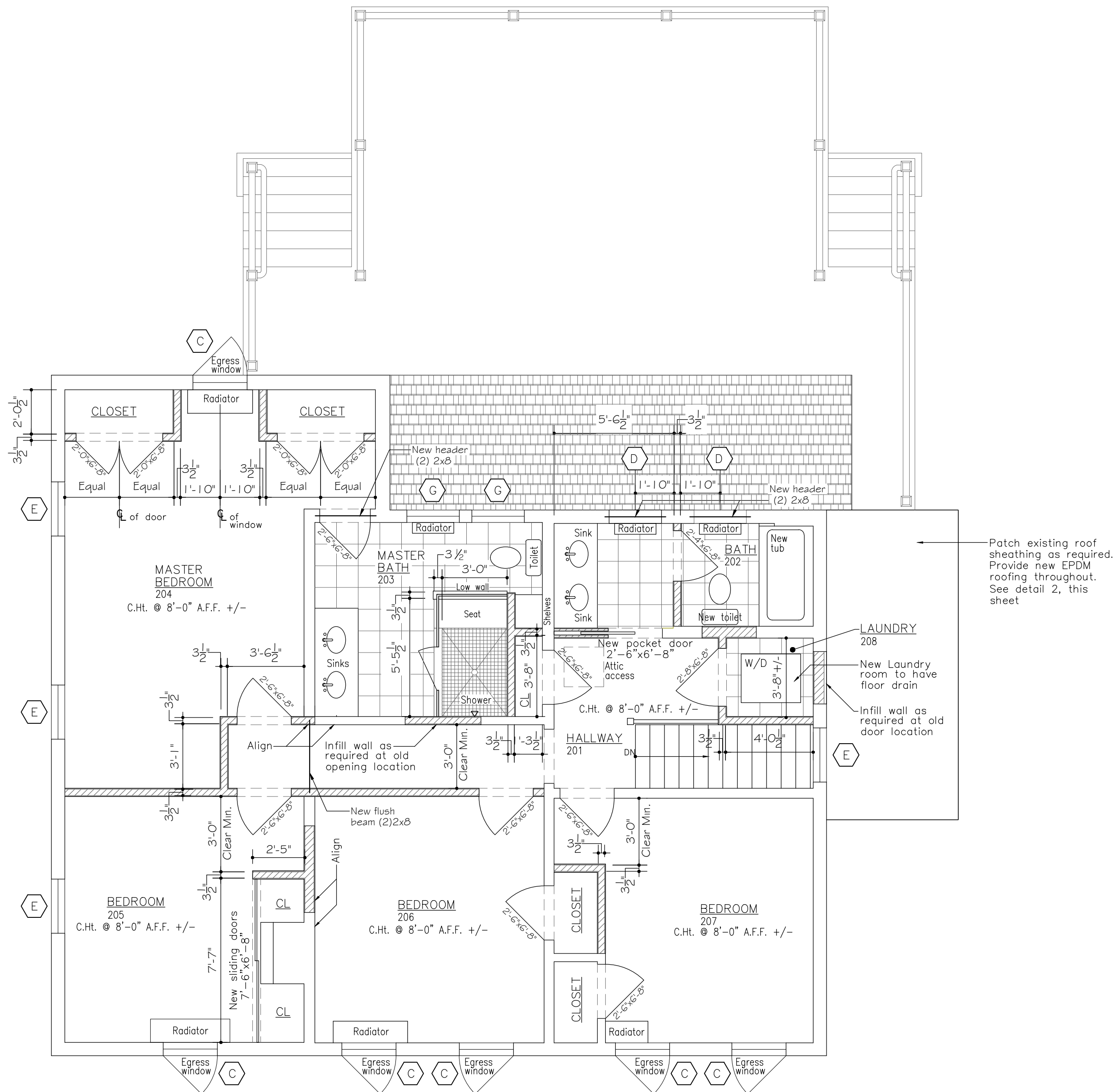
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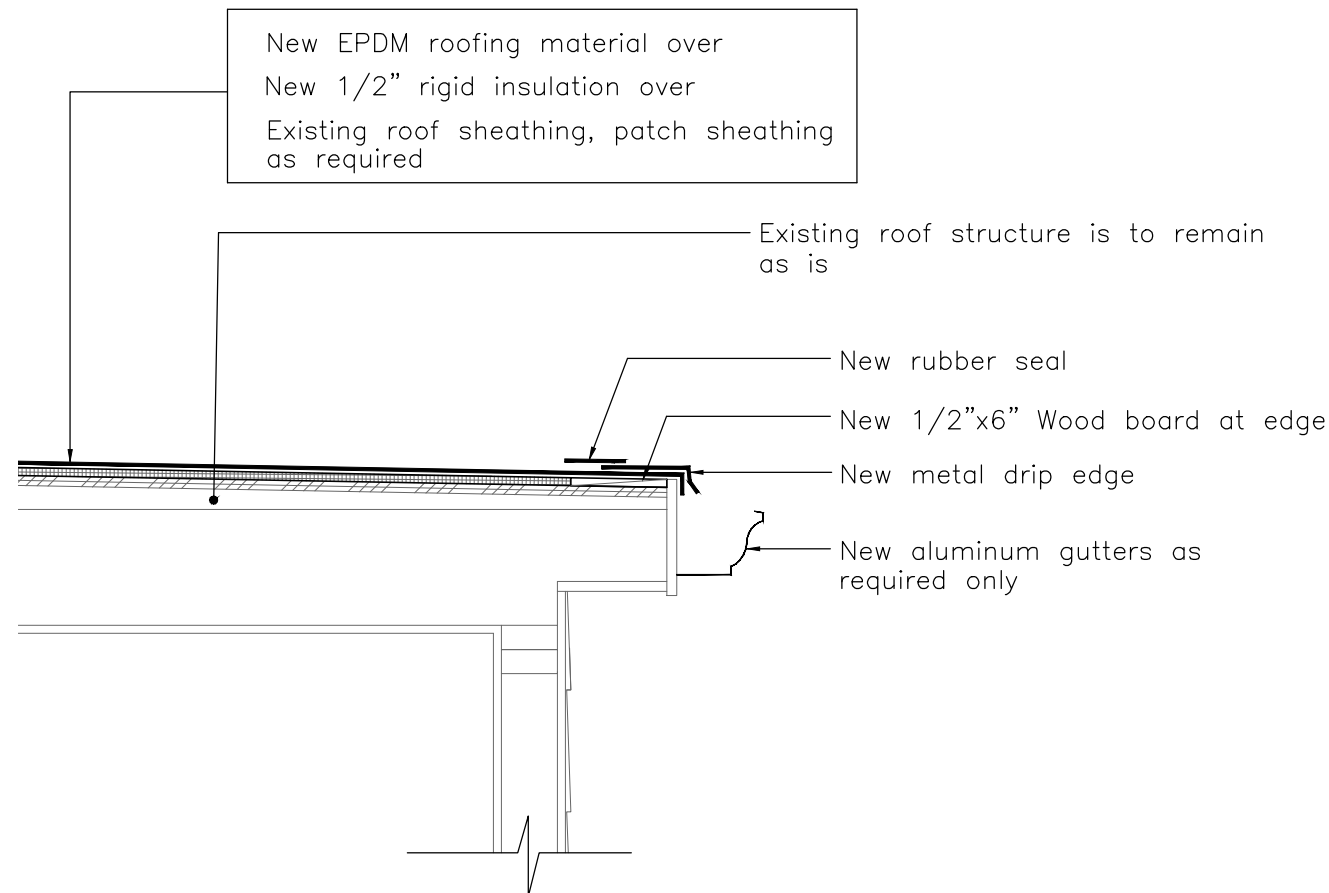
Sheet Title:

Structural Plan &
Details

Scale As Noted	Project No. 20125
Date 3/15/21	Sheet No. A-102
Drawn By RB	



1 SECOND FLOOR CONSTRUCTION PLAN
1/4" = 1' - 0"



2 DETAIL AT FLAT ROOF
1" = 1' - 0"

FINISH NOTES – SECOND FLOOR

–HALLWAY 201–
1. Existing hardwood flooring to remain. Floor shall be sanded, stained and finished.
2. All walls and ceilings shall be painted throughout as required. Verify color selection with owner.
3. Provide new door casings, baseboard, and shoe molding as required.

–BATHROOM 202–
1. All cabinets at sink area shall be supplied by owner. Installation of cabinets shall be by GC.
2. New toilet by Owner, installed by GC.
3. New tub and related plumbing fixtures for tub shall be by Owner and installed by GC.
4. New ceramic wall tiles by Owner, installed by GC around tub area.
5. All granite for sink areas shall be supplied and installed by others.
6. New ceramic floor tiles by Owner, installed by GC.
7. New sinks and related plumbing fixtures by Owner, installed by GC.
8. New sconces by Owner, installed by GC.
9. New mirrors by Owner, installed by GC.
10. All bathroom accessories shall be selected and supplied by Owner. All accessories shall be installed by GC.
11. Paint color to be selected by Owner. Paint to be supplied by paint contractor and all walls and ceilings to be painted by painting contractor.
12. All new doors and windows shall receive new casings. Match existing.
13. Provide new base board molding throughout this room. Match existing.

–MASTER BATHROOM 203–
1. All cabinets at sink area shall be supplied by owner. Installation of cabinets shall be by GC.
2. New toilet by Owner, installed by GC.
3. New plumbing fixtures for shower by Owner, installed by GC. Verify location in field with Owner.
4. New ceramic wall tiles by Owner, installed by GC in shower.
5. All granite for sink and shower areas shall be supplied and installed by others.
6. New ceramic floor tiles by Owner, installed by GC.
7. New sinks and related plumbing fixtures by Owner, installed by GC.
8. New sconces by Owner, installed by GC.
9. New mirrors by Owner, installed by GC.
10. All bathroom accessories shall be selected and supplied by Owner. All accessories shall be installed by GC.
11. Glass shower enclosure and door shall be by others.
12. Built-in shelves shall be built by GC.
13. Paint color to be selected by Owner. Paint to be supplied by paint contractor and all walls and ceilings to be painted by painting contractor.
14. All new doors and windows shall receive new casings. Match existing.
15. Provide new base board molding throughout this room. Match existing.

–MASTER BEDROOM 204–
1. Existing hardwood flooring to remain. Floor shall be sanded, stained and finished.
2. All walls and ceilings shall be painted throughout as required. Verify color selection with owner.
3. Provide new door and window casings, baseboard and shoe molding as required.

–BEDROOM 205–
1. Existing hardwood flooring to remain. Floor shall be sanded, stained and finished.
2. All walls and ceilings shall be painted throughout as required. Verify color selection with owner.
3. Provide new door and window casings, baseboard and shoe molding as required.

–BEDROOM 206–
1. Existing hardwood flooring to remain. Floor shall be sanded, stained and finished.
2. All walls and ceilings shall be painted throughout as required. Verify color selection with owner.
3. Provide new door and window casings, baseboard and shoe molding as required.

–BEDROOM 207–
1. Existing hardwood flooring to remain. Floor shall be sanded, stained and finished.
2. All walls and ceilings shall be painted throughout as required. Verify color selection with owner.
3. Provide new door and window casings, baseboard and shoe molding as required.

GENERAL NOTES

1. ALL DIMENSIONS ARE TO ROUGH UNLESS NOTED OTHERWISE.
2. CONTRACTOR TO PROVIDE NEW RADIATORS AS REQUIRED ONLY TO PROVIDE ADEQUATE HEATING. REVIEW LOCATIONS IN FIELD WITH OWNER.
- CONTRACTOR TO RELOCATE EXISTING AC REGISTERS AS REQUIRED. REVIEW LOCATIONS IN FIELD WITH OWNER.

PARTITION TYPES

- EXISTING WALLS TO REMAIN
- NEW WOOD FRAME CONSTRUCTION, ALIGN FINISHES WITH EXISTING WALLS WHERE NOTED.

PARTITION TYPES

UNLESS NOTED OTHERWISE ALL NEW INTERIOR PARTITIONS SHALL BE 3 1/2" OR 5 1/2" WOOD STUDS AT 16" O.C. WITH ONE LAYER OF 1/2" GYPSUM BOARD BOTH SIDES. PROVIDE 1/2" MOISTURE RESISTANT GYPSUM BOARD AT ALL BATHROOM WALLS AND CEILINGS. PROVIDE 1/2" CEMENT BOARD IN ALL TUB AND SHOWER LOCATIONS.

UNLESS NOTED OTHERWISE ALL EXISTING EXTERIOR WALLS WHERE PLASTER HAS BEEN REMOVED SHALL RECEIVE NEW R-19 SPRAY FOAM INSULATION BETWEEN EXISTING WOOD STUDS AND ONE LAYER OF 1/2" GYPSUM BOARD. PROVIDE 1/2" MOISTURE RESISTANT GYPSUM BOARD AT ALL BATHROOM WALLS AND CEILINGS. PROVIDE 1/2" CEMENT BOARD IN ALL TUB AND SHOWER LOCATIONS.

UNLESS NOTED OTHERWISE, ALL NEW EXTERIOR PARTITIONS AT INFILL LOCATIONS SHALL BE 3 1/2" WOOD STUDS AS REQUIRED TO MATCH EXISTING AT 16" O.C. WITH ONE LAYER OF 1/2" GYPSUM BOARD FINISHED SIDE. 1/2" PLYWOOD ON EXTERIOR WITH TYVEK WALL PAPER AND NEW SIDING, TO MATCH EXISTING. PROVIDE R-19 SPRAY FOAM INSULATION BETWEEN ALL NEW STUDS. PROVIDE 1/2" MOISTURE RESISTANT GYPSUM BOARD AT ALL BATHROOM WALLS AND CEILINGS. PROVIDE 1/2" CEMENT BOARD IN ALL TUB AND SHOWER LOCATIONS.

Drawing Issue

No.	Date	By
1	3-15-21	For Building Permit

Drawing Revisions

No.	Date	By

Bello Architecture, PLLC

36 New Street
Rye, New York 10580
Tel: 914-690-0870
Fax: 914-937-1968

Project:

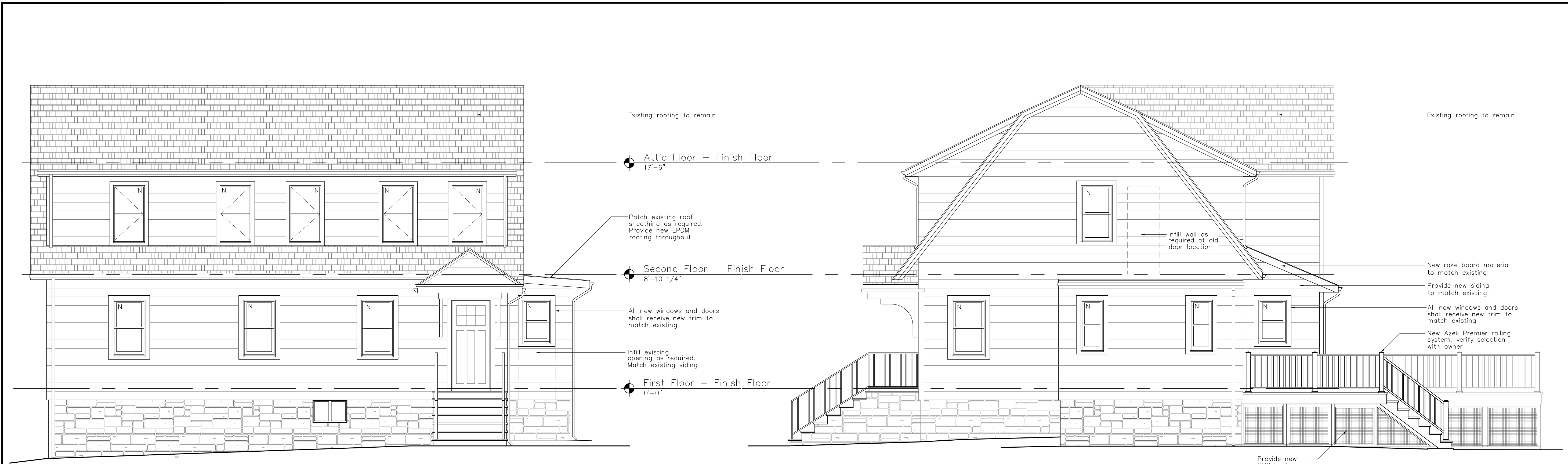
Cotter Residence

409 Delancey Avenue
Mamaroneck, New York 10543

Sheet Title:

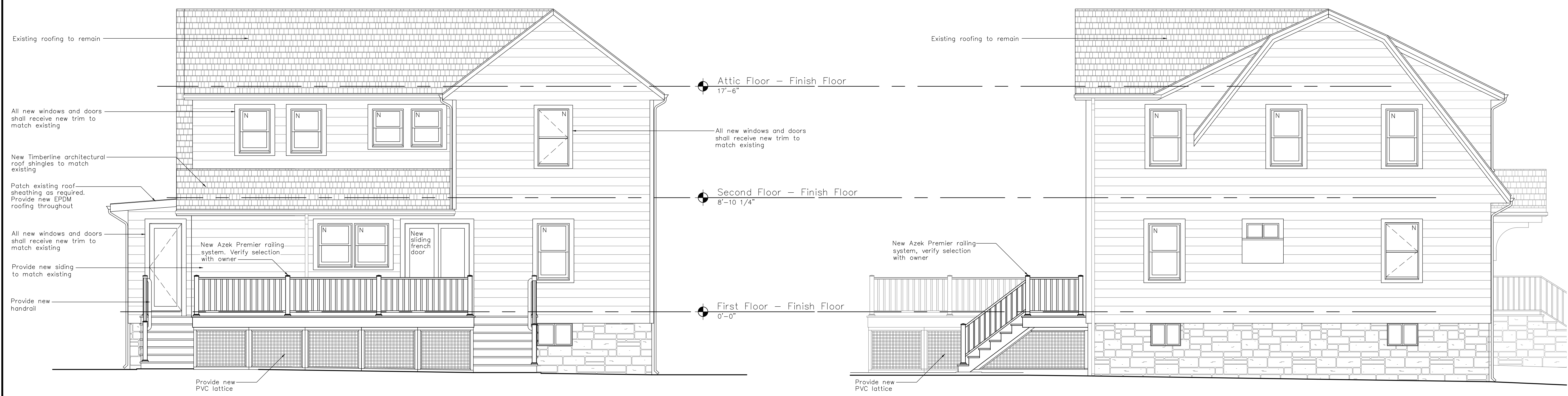
Second Floor
Construction Plan
& Detail

Scale	As Noted	Project No.	20125
Date	3/15/21	Sheet No.	A-103
Drawn By	RB		



1 FRONT ELEVATION
1/4" = 1' - 0"

2 SIDE ELEVATION
1/4" = 1' - 0"



3 REAR ELEVATION
1/4" = 1' - 0"

4 SIDE ELEVATION
1/4" = 1' - 0"

Drawing Issue			
No.	Date	For	By
1	3-15-21	For Building Permit	RB

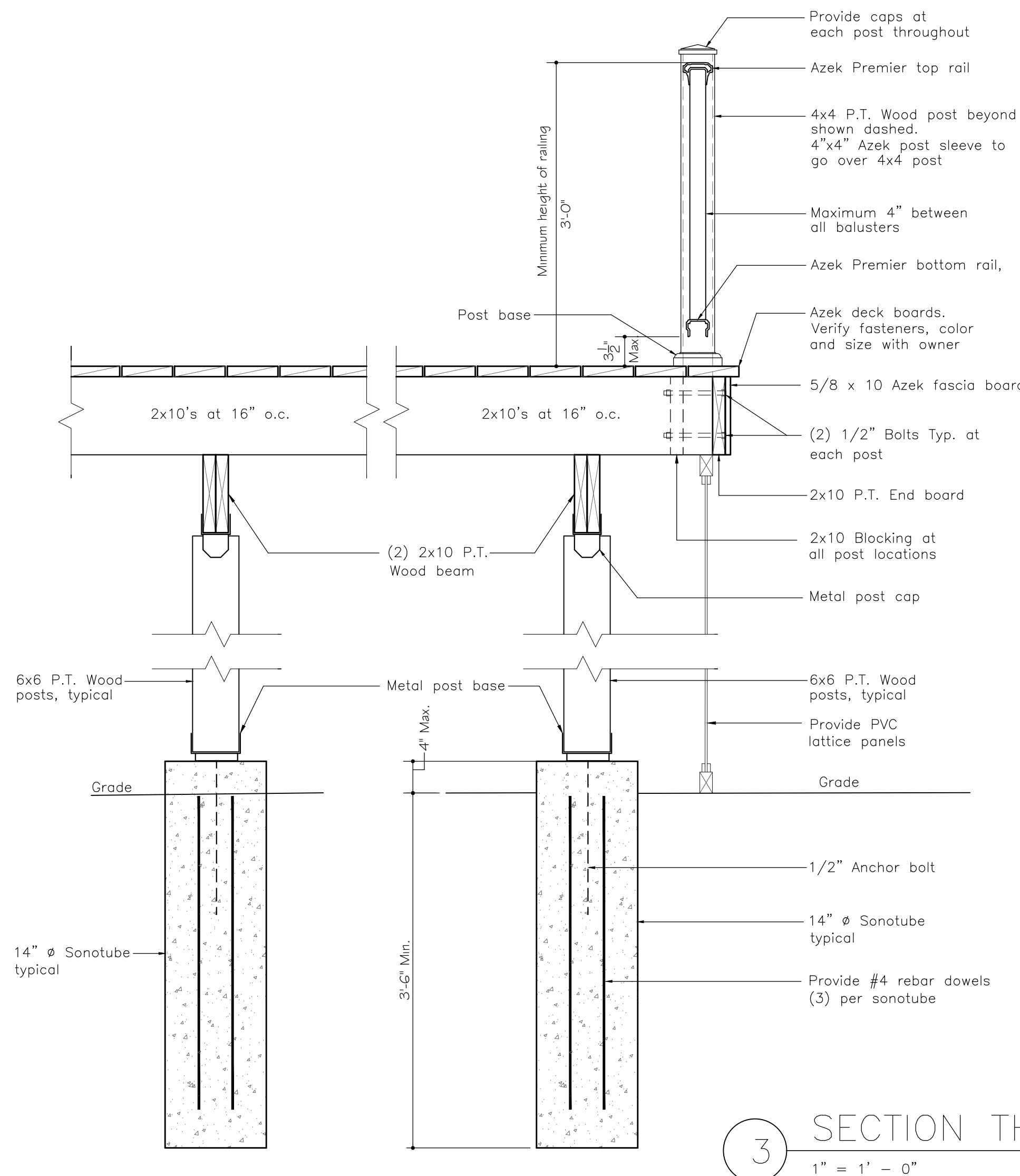
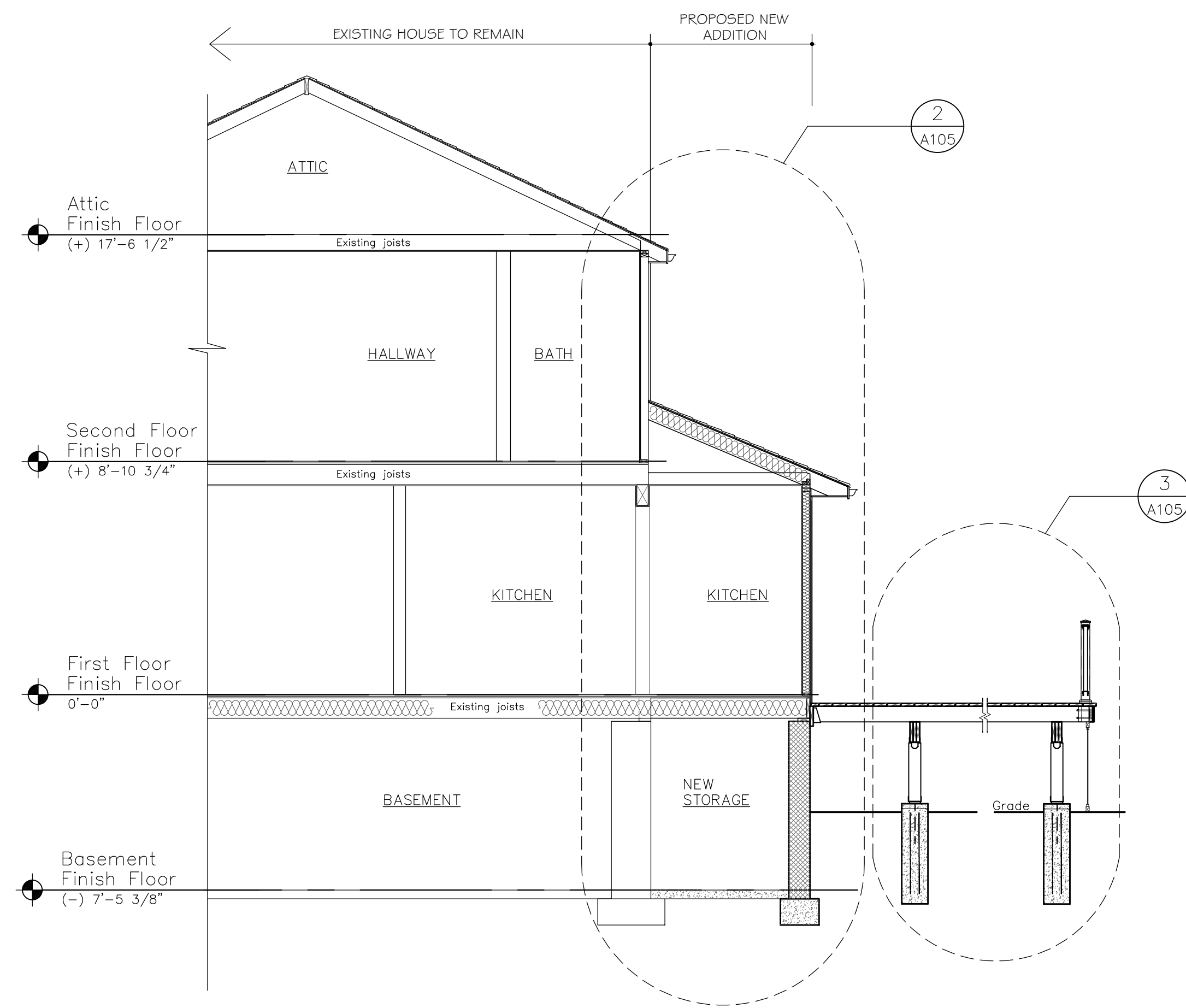
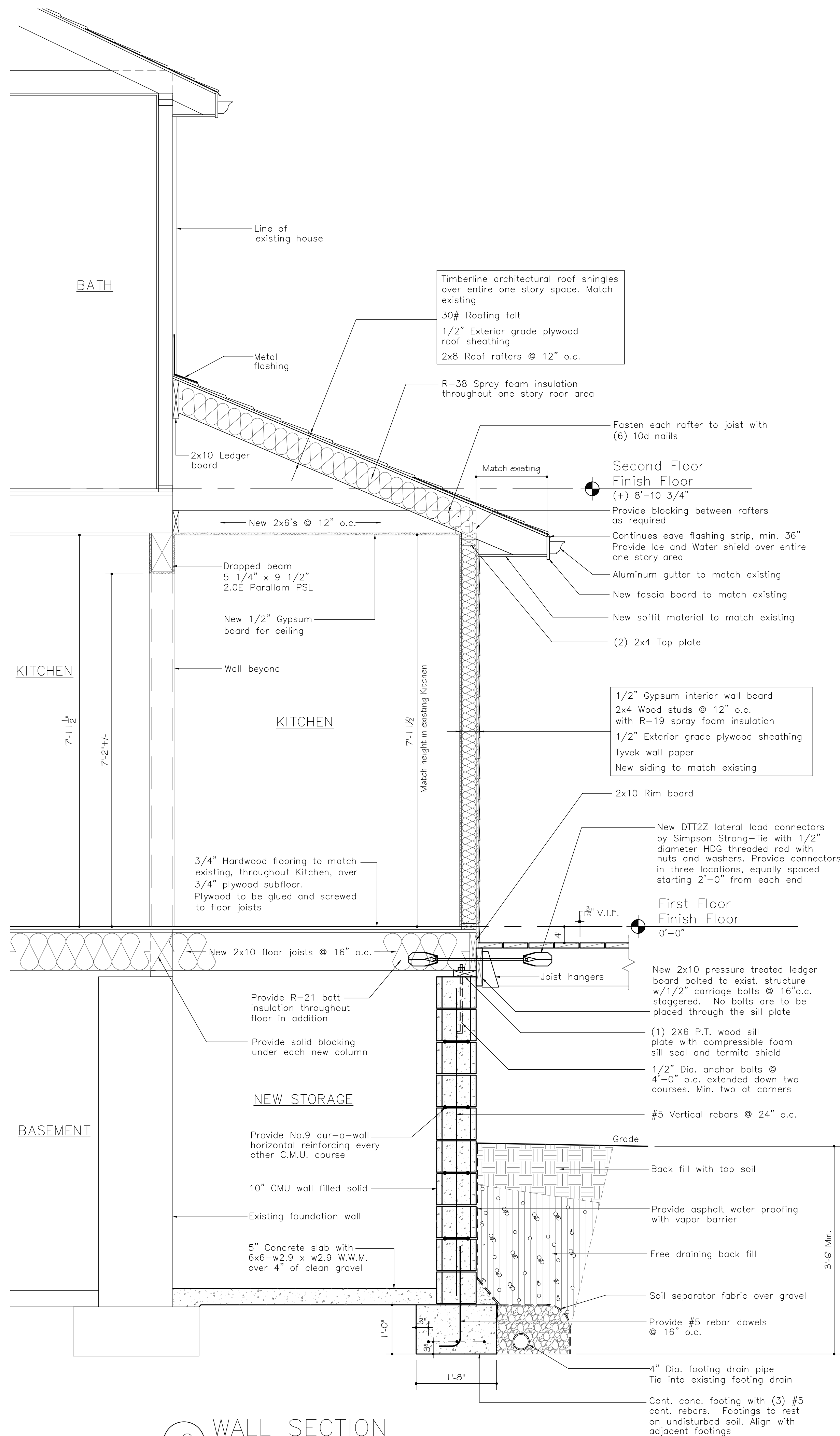
Drawing Revisions			
No.	Date	For	By

Bello Architecture, PLLC
36 New Street
Rye, New York 10580
Tel: 914-690-0870
Fax: 914-937-1968

Project:
Cotter Residence
409 Delancey Avenue
Mamaroneck, New York 10543

Sheet Title:
Elevations

Scale 1/4" = 1'-0"	Project No. 20125
Date 3/15/21	Sheet No. A-104
Drawn By RB	



Drawing Issue

No.	Date	For Building Permit	By
1	3-15-21	For Building Permit	RB

Drawing Revisions

No.	Date	By

Bello Architecture, PLLC

36 New Street
Rye, New York 10580
Tel: 914-690-0870
Fax: 914-937-1968

Project:

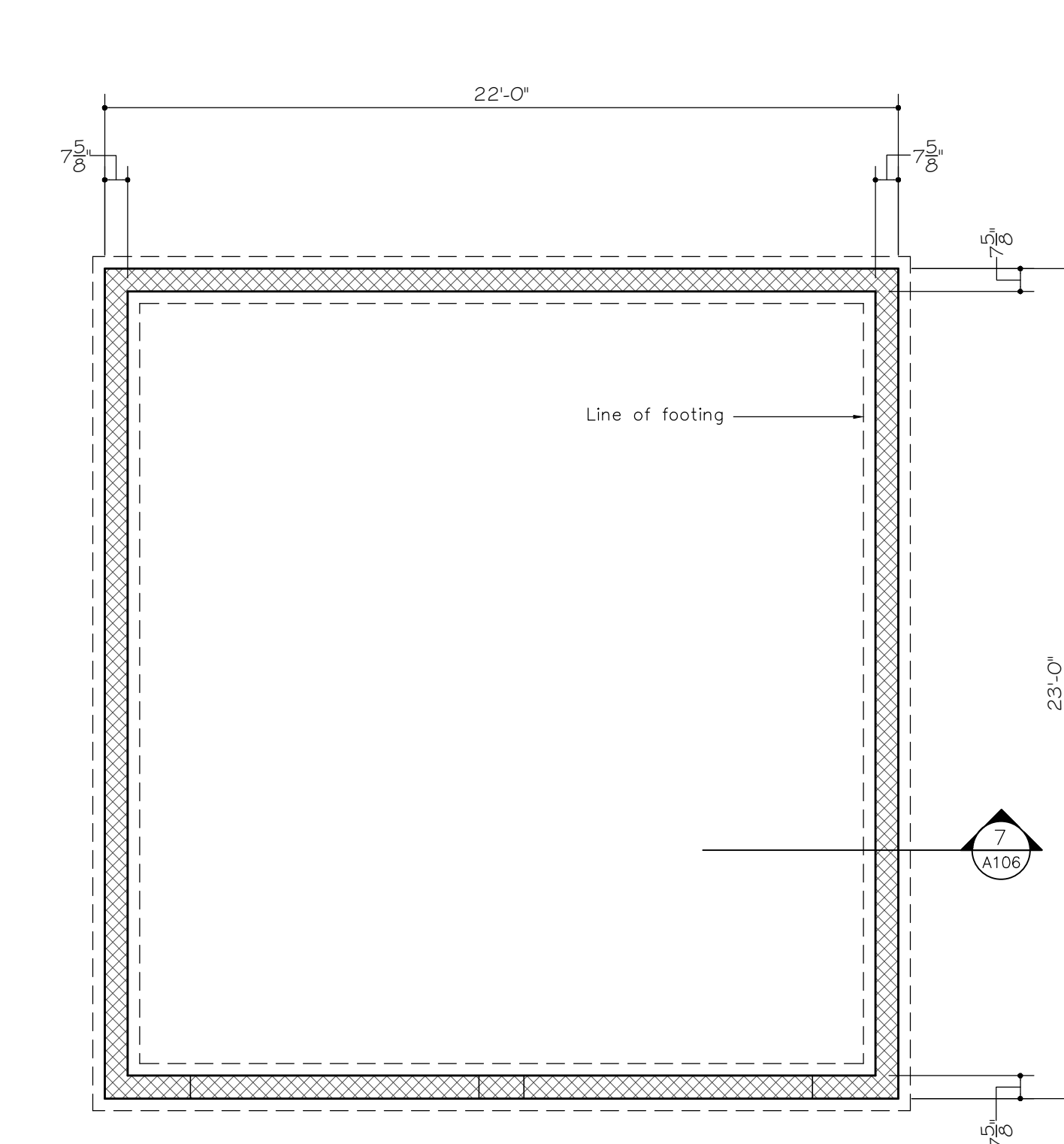
Cotter Residence

409 Delancey Avenue
Mamaroneck, New York 10543

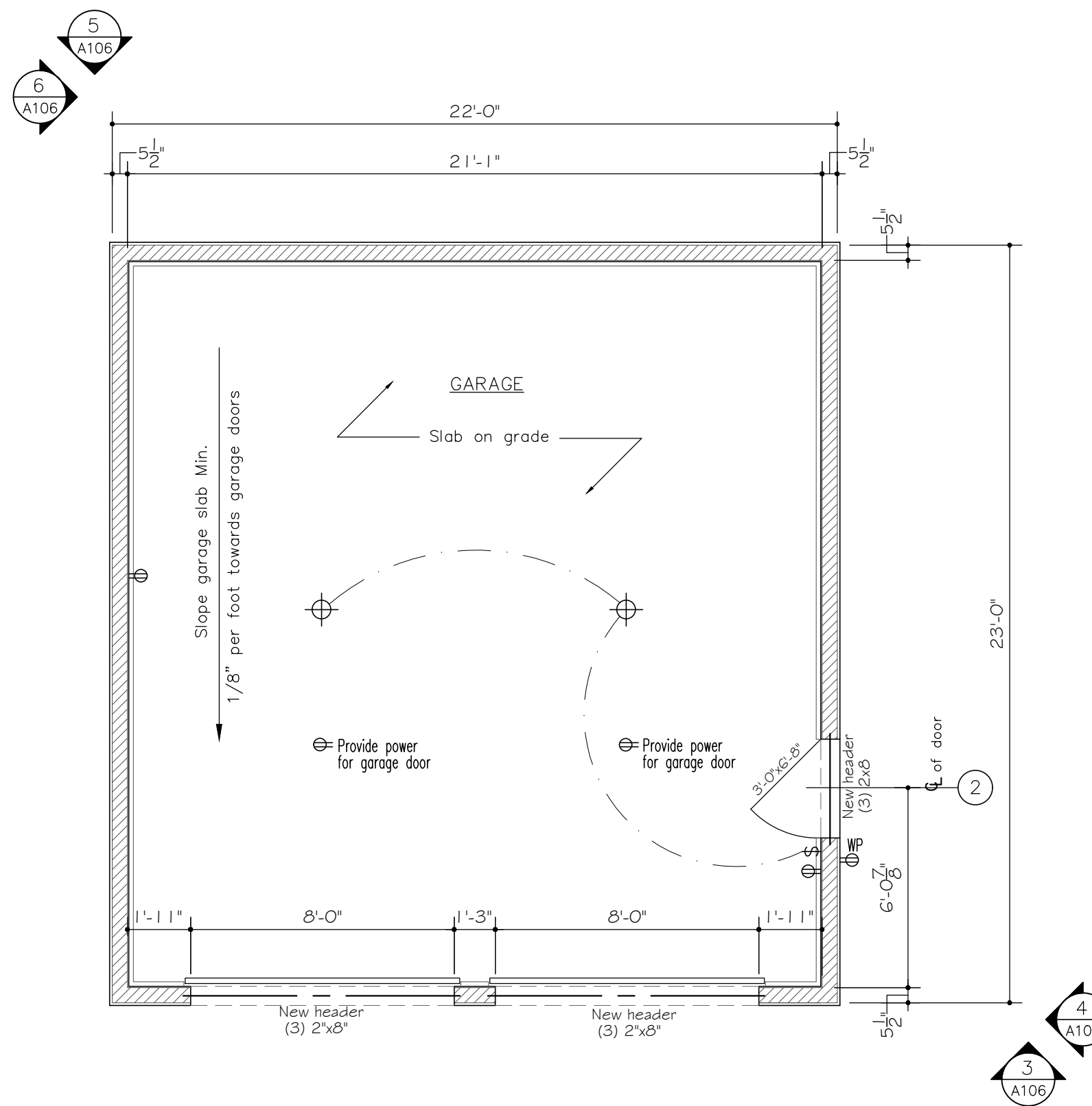
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Sections

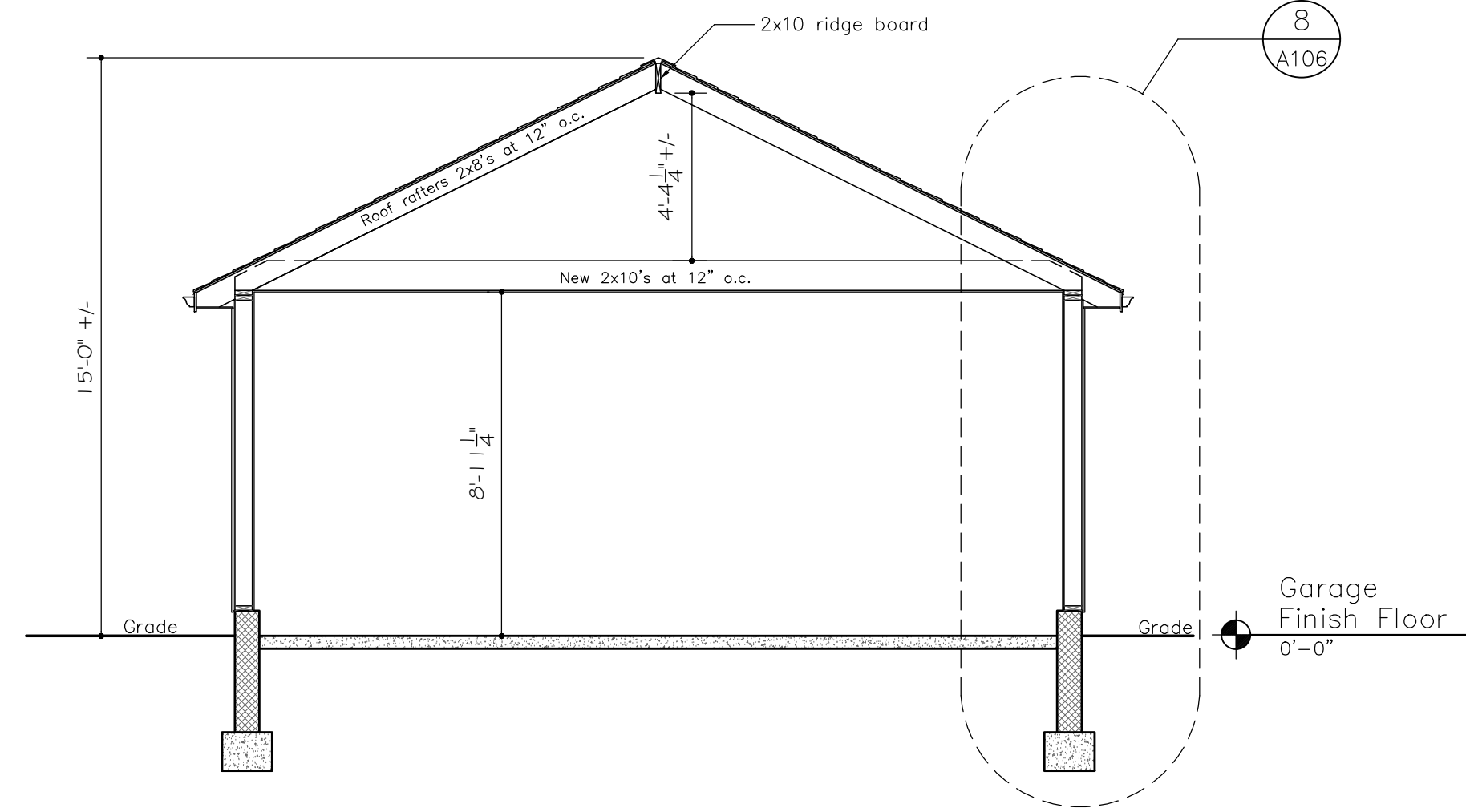
Scale	As Noted	Project No.	20125
Date	3/15/21	Sheet No.	A-105
Drawn By	RB		



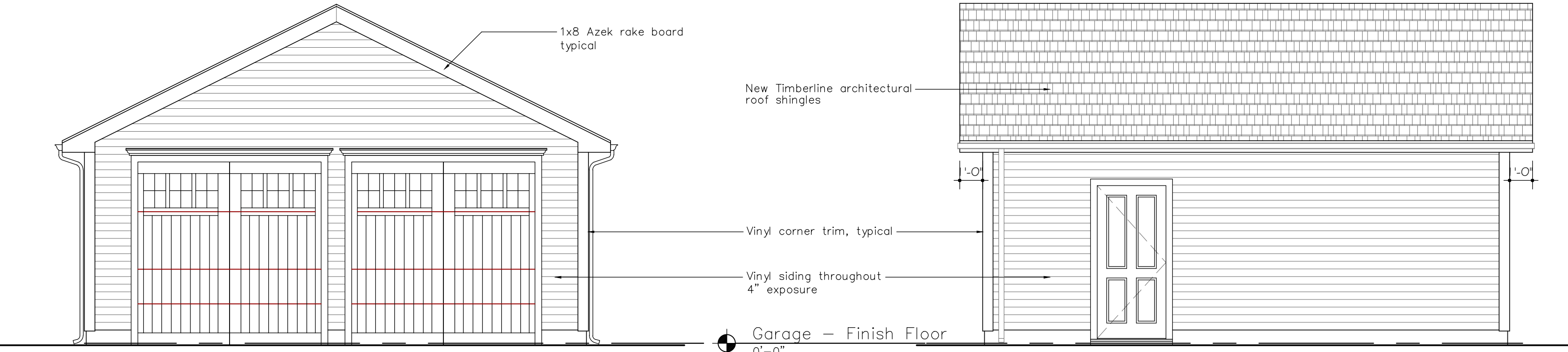
1 GARAGE FOUNDATION PLAN
1/4" = 1' - 0"



2 GARAGE CONSTRUCTION PLAN
1/4" = 1' - 0"



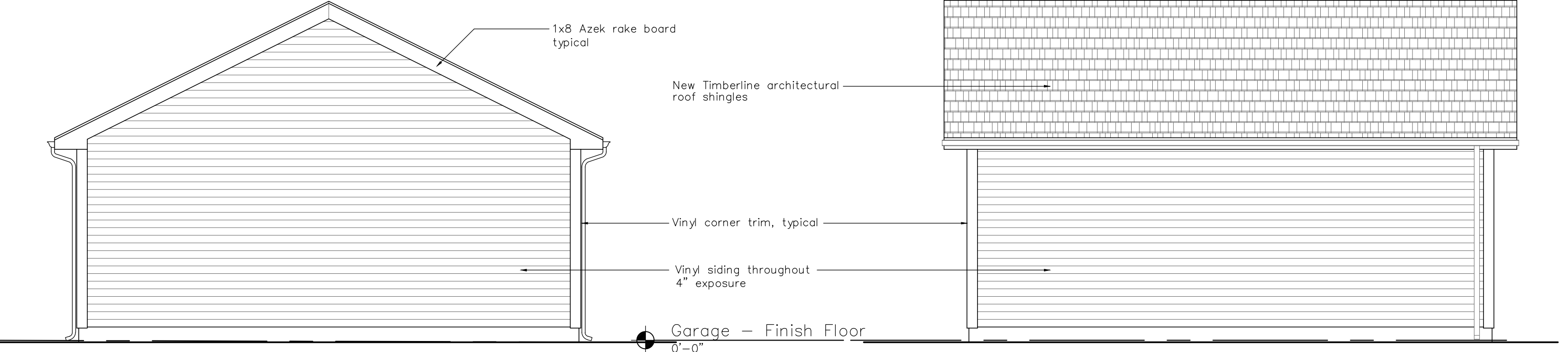
7 BUILDING SECTION
1/4" = 1' - 0"



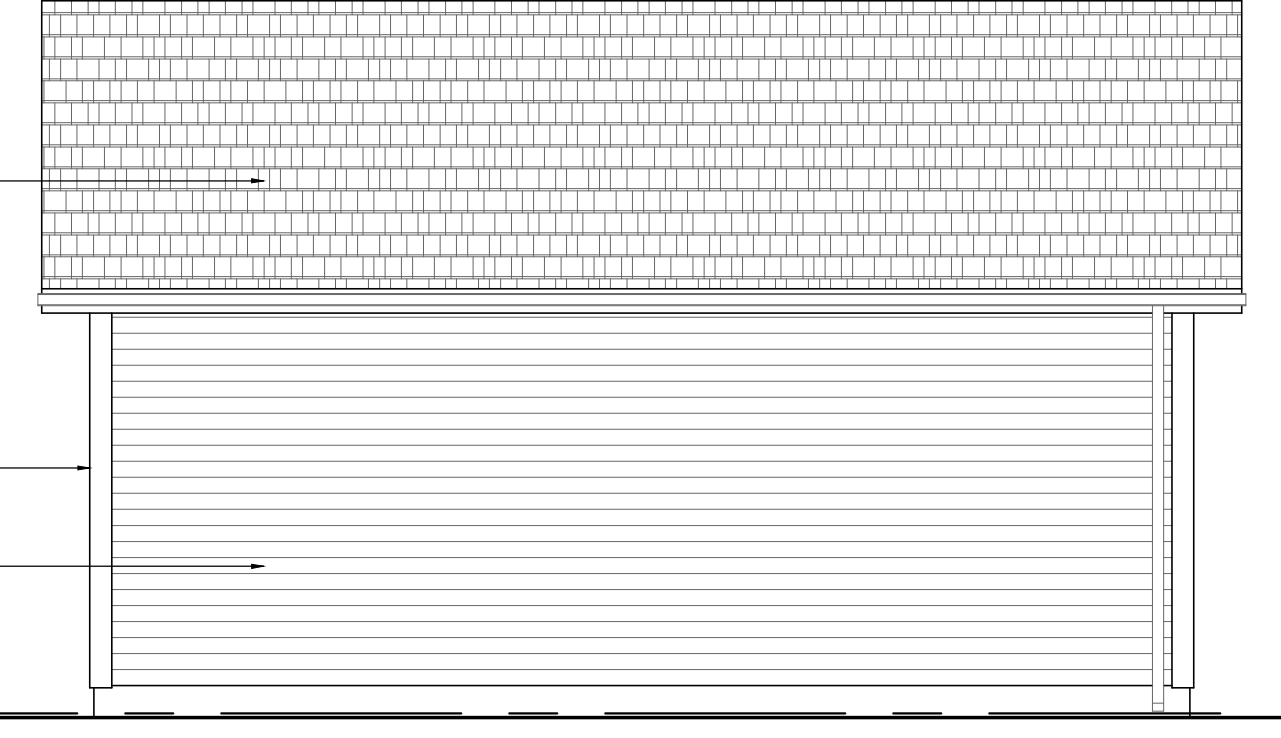
3 GARAGE FRONT ELEVATION
1/4" = 1' - 0"



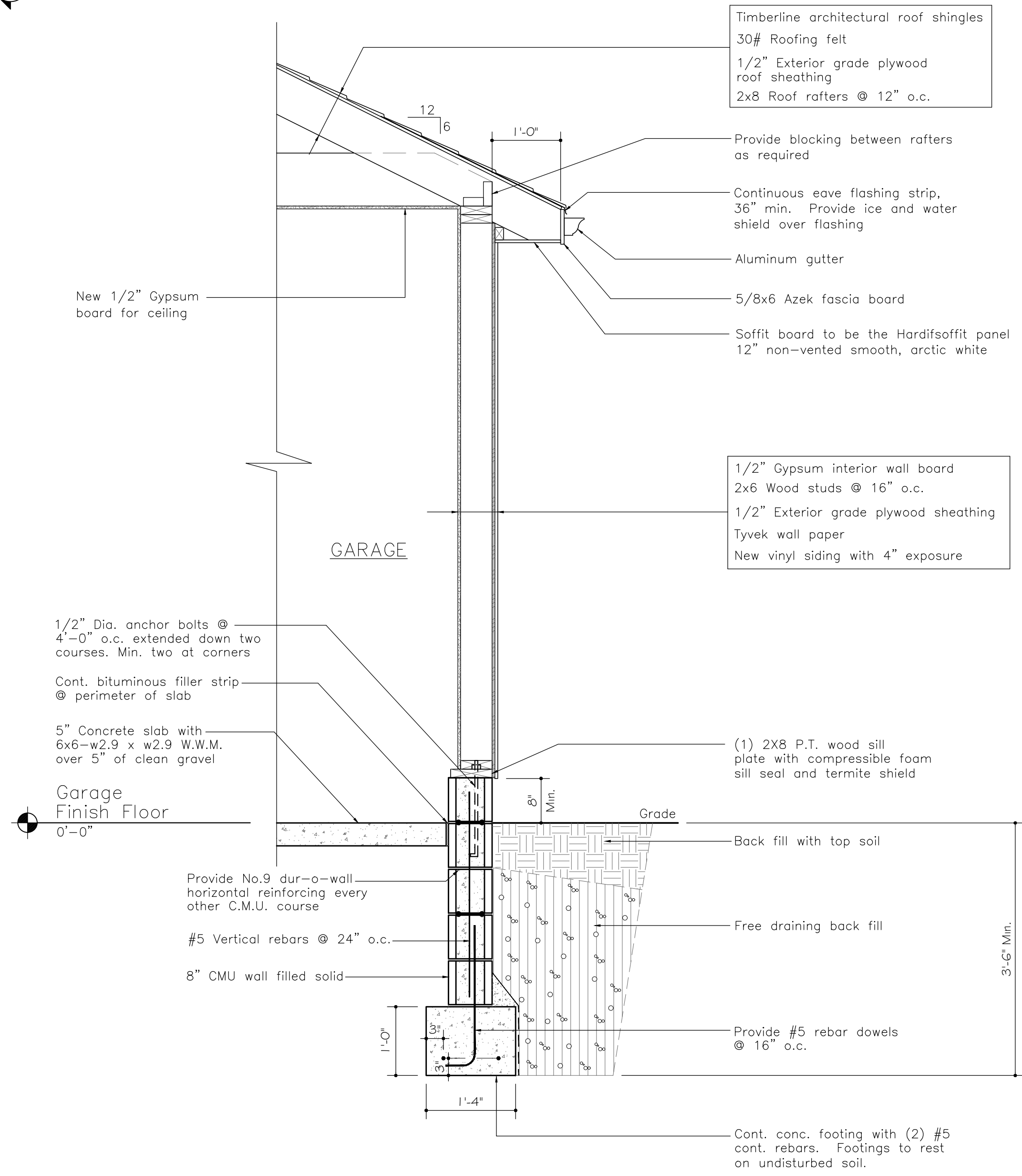
4 GARAGE SIDE ELEVATION
1/4" = 1' - 0"



5 GARAGE REAR ELEVATION
1/4" = 1' - 0"



6 GARAGE SIDE ELEVATION
1/4" = 1' - 0"



8 WALL SECTION
3/4" = 1' - 0"

PARTITION TYPES

UNLESS NOTED OTHERWISE ALL NEW EXTERIOR PARTITIONS SHALL BE 5 1/2" WOOD STUDS AT 16" O.C. SEE WALL SECTION FOR MORE INFORMATION ON EXTERIOR WALL CONSTRUCTION.

NEW EXTERIOR MASONRY WALL CONSTRUCTION. SEE PLANS FOR SIZES

Drawing Issue			
No.	Date	For	By
1	3-15-21	For Building Permit	RB

Drawing Revisions			
No.	Date	By	

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Project:

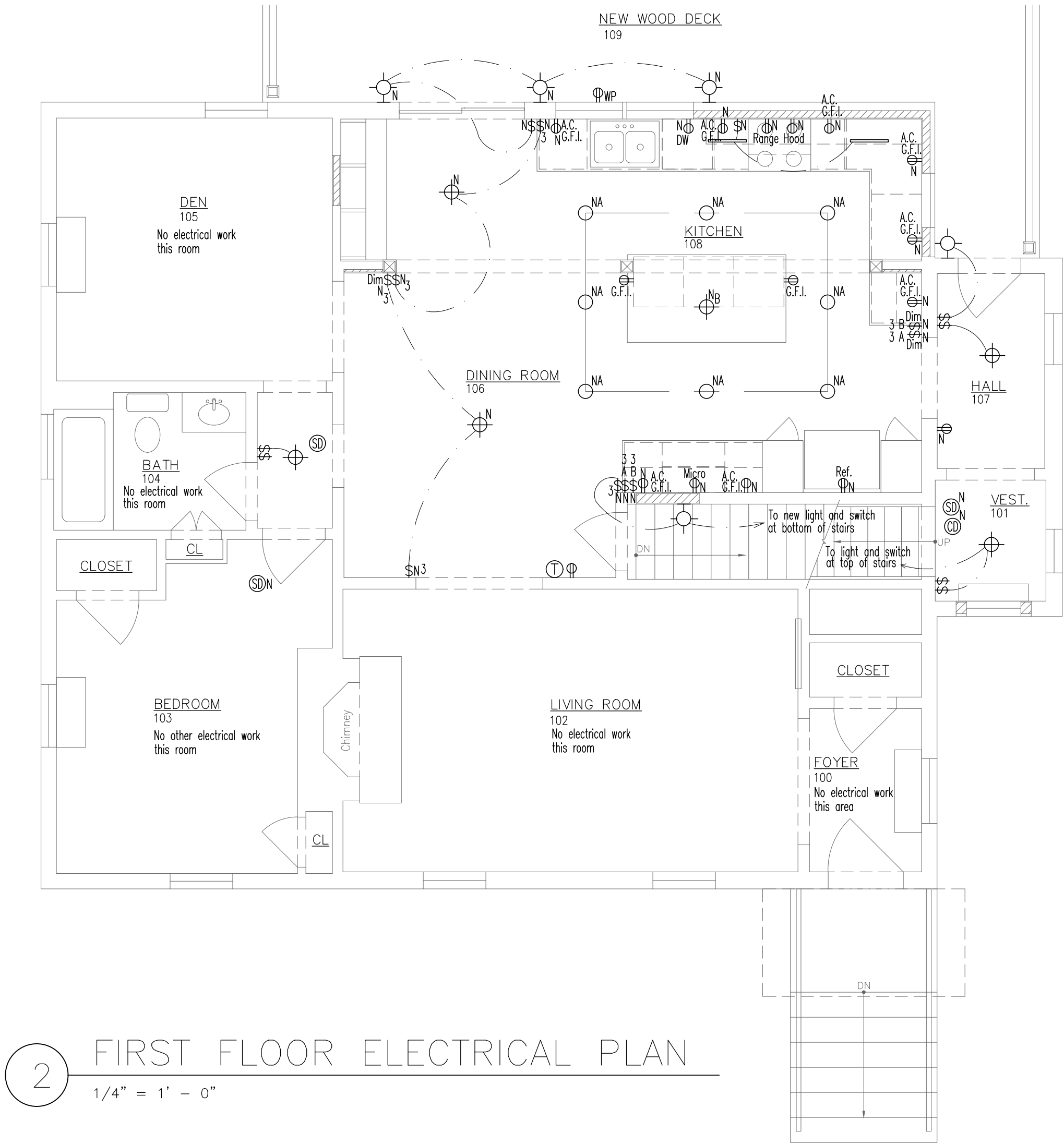
Cotter Residence

409 Delancey Avenue
Mamaroneck, New York 10543

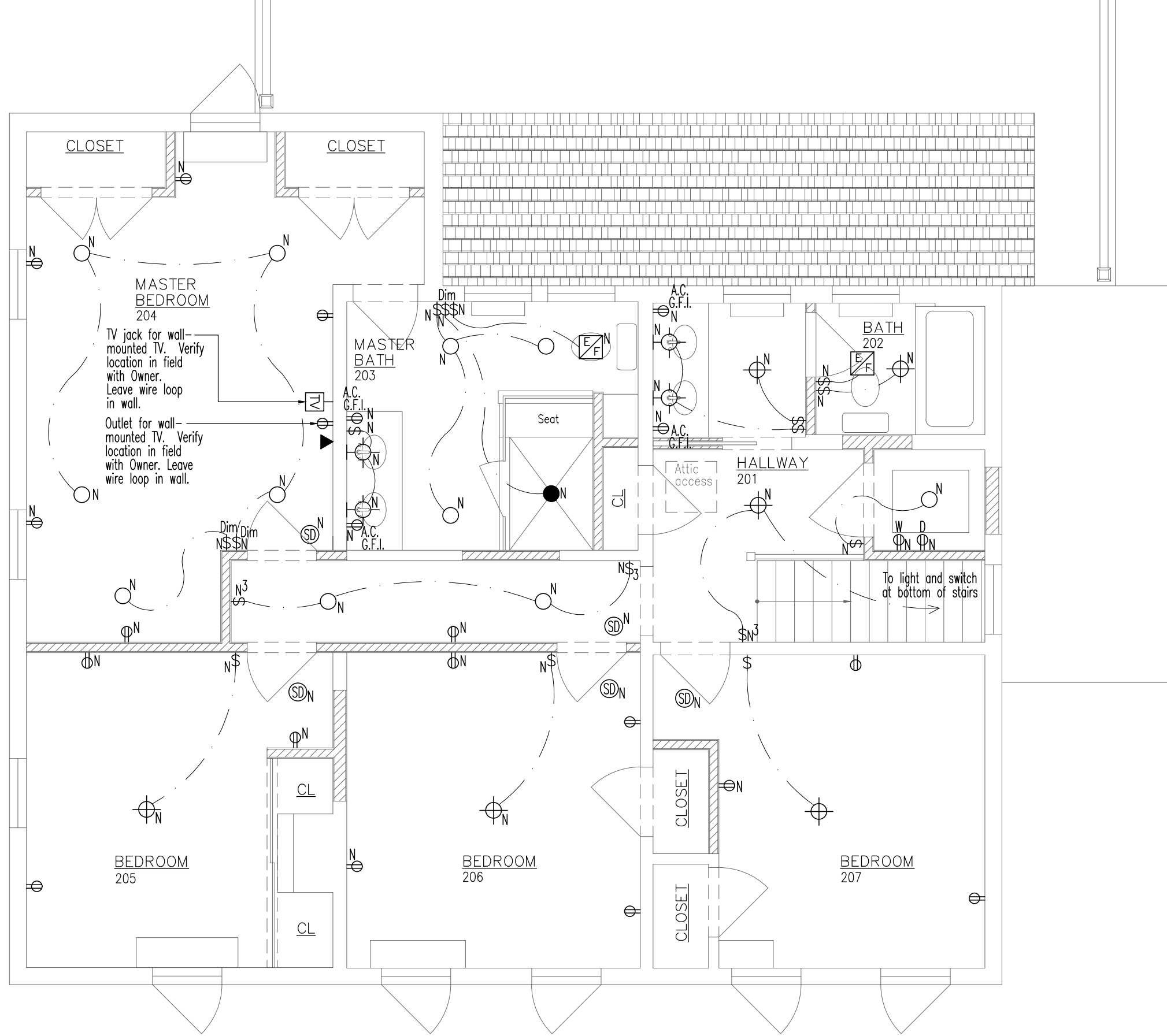
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Garage Plans,
Elevations & Details

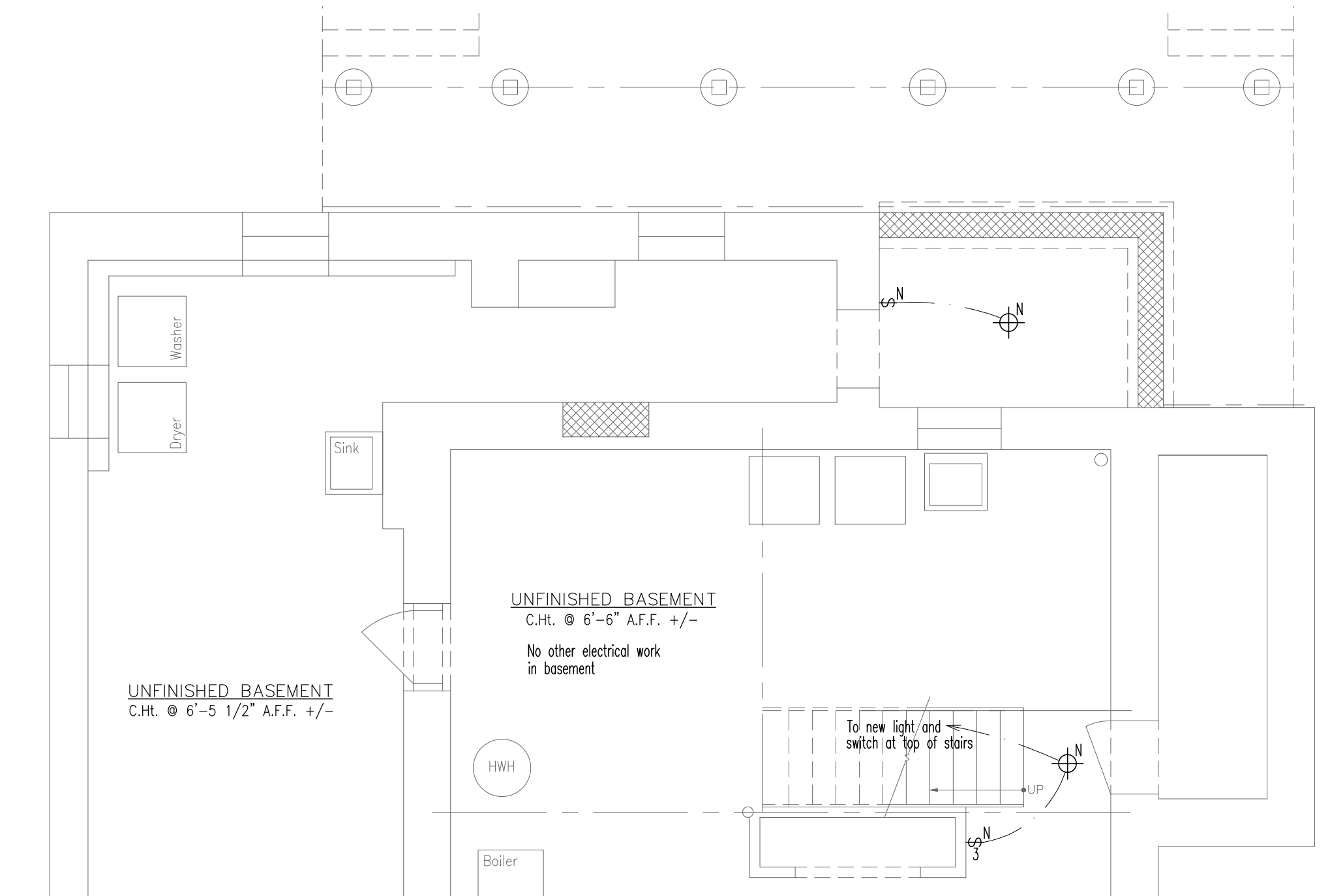
Scale	Project No.
As Noted	20125
Date	Sheet No.
3/15/21	A-106
Drawn By	
RB	



2 FIRST FLOOR ELECTRICAL PLAN
1/4" = 1' - 0"



3 SECOND FLOOR ELECTRICAL PLAN
1/4" = 1' - 0"



1 PARTIAL BASEMENT ELECTRICAL PLAN
1/4" = 1' - 0"

ELECTRICAL LEGEND	
	Duplex electrical outlet
	Ground fault interrupt duplex outlet
	Weather proof duplex electrical outlet
	Recessed incandescent downlight fixture
	Surface mounted incandescent fixture
	Surface mounted incandescent sconce
	2' Undercabinet fluorescent light fixture
	Wet location incandescent downlight fixture
	Light switch
	3 Way light switch
	Dimmer light switch
	Carbon monoxide detector
	Smoke detector
	TV Receptacle
	Exhaust fan unit
	Above counter
	New electrical item
	Network line CAT 5

ELECTRICAL NOTES			
1. OUTLETS SHOWN ON PLANS ARE MINIMUM, G.C. TO PROVIDE NUMBER AS REQUIRED BY CODE. OUTLET LOCATIONS INCLUDING ELECTRICAL, T.V., PHONE, ETC. TO BE REVIEWED IN FIELD WITH OWNER.			
2. ELECTRICAL CONTRACTOR TO PROVIDE AND COORDINATE ALL ELECTRICAL OUTLETS AS REQUIRED FOR ALL APPLIANCES AS REQUIRED.			
3. PROVIDE SMOKE ALARM SYSTEM AS REQUIRED BY CODE.			
4. ALL ELECTRICAL LIGHT FIXTURES, SWITCHES AND OUTLETS SHALL BE SELECTED BY OWNER AND INSTALLED BY THE ELECTRICAL CONTRACTOR.			
5. PROVIDE CARBON MONOXIDE DETECTORS AS PER CODE. REVIEW LOCATIONS WITH OWNER.			
6. ALL ELECTRICAL LIGHT FIXTURES, SWITCHES AND OUTLETS SHOWN ON PLANS ARE EXISTING UNLESS SHOWN N FOR NEW ITEMS.			

Drawing Issue			
No.	Date		By
1	3-15-21	For Building Permit	RB

Drawing Revisions			
No.	Date		By

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Project:

Cotter Residence

409 Delancey Avenue
Mamaroneck, New York 10543

Sheet Title:

Electrical Plans

Scale 1/4" = 1'-0"	Project No. 20125
Date 3/15/21	Sheet No. E-101
Drawn By RB	