



445 Hamilton Avenue, 14th Floor  
White Plains, New York 10601  
T 914 761 1300  
F 914 761 5372  
cuddyfeder.com

Kristen Motel  
[kmotel@cuddyfeder.com](mailto:kmotel@cuddyfeder.com)

June 3, 2021

**BY FEDERAL EXPRESS & ELECTRONIC SUBMISSION**

Chairman Thomas Burt  
and Members of the Harbor & Coastal Zone Management Commission  
Village of Mamaroneck  
169 Mt. Pleasant Avenue  
Mamaroneck, NY 10543

Re: Elisabeth & William Fedyna  
Supplemental Materials  
Harbor & Coastal Zone Management Commission Application  
Consistency Review of Wetlands Permit Application  
Premises: 1165 Greacen Point Road, Village of Mamaroneck, New York  
(Parcel ID: 9-65-75)

Dear Chairman Burt and Members of the Harbor & Coastal Zone Management Commission:

This letter and enclosed materials are respectfully submitted on behalf Elisabeth and William Fedyna (the "Applicants"), the owners of residential property located at 1165 Greacen Point Road in the Village of Mamaroneck, New York (the "Premises"), in furtherance of the proposed reconstruction of a single-family home, garage and driveway (the "Project").<sup>1</sup>

The Applicants are pleased to notify the Harbor & Coastal Zone Management Commission ("HCZMC") that on May 25, 2021, the Westchester County Department of Health Bureau of Environmental Quality approved the plans to construct the proposed onsite wastewater treatment system ("OWTS") on the Premises (the "DOH Approval"). Enclosed are two (2) paper copies and an electronic copy of the DOH Approval and the approved OWTS Plans, prepared by JMC, PLLC, dated October 16, 2020, with Sheets OWTS-1 and OWTS-2, last revised May 24, 2021.

---

<sup>1</sup> The Applicants submitted an application for Consistency Review related to the pending wetlands permit application on April 3, 2020.



June 3, 2021  
Page -2-

We look forward to appearing before the HCZMC on June 16<sup>th</sup>. Should the Commission or Village Staff have any questions or comments in the interim, please do not hesitate to contact me. Thank you for your time and consideration in this matter.

Very truly yours,

A handwritten signature in dark ink, appearing to read "Kristen Motel".

Kristen Motel  
Enclosures

cc: Amber Nowak, Assistant Village Planner  
Steven Gates, AKRF, Inc., Village Planner  
Charles Gottlieb, Esq., HCZMC Attorney  
Frank Tavalacci, Building Inspector  
JMC, PLLC  
Beth Evans, Evans Associates Environmental Consulting, Inc.  
Anthony B. Gioffre III, Esq.  
Client

OWNER



Westchester County Department of Health  
Bureau of Environmental Quality

CONSTRUCTION APPROVAL APPLICATION

WCDH File # MA2021-02 Municipality: Village of Mamaroneck Fee Amount: \$500.00

☒ On-site Wastewater Treatment System ☐ Private Water Supply ☒ Residential ☐ Commercial  
Watershed Basin Name: Coastal Long Island Sound If NYCDEP Watershed: ☐ Joint Review ☐ Delegated Review ☐  
Westchester Joint  
Is property in a Water District: Y ☒ N ☐ Name: Water Works Is property in a Sewer District: Y ☐ N ☒ Name: Mamaroneck

Property Information:

Property Name Fedyna Residence  
Property Address 1165 Greacen Point Road, Village of Mamaroneck, NY Zip Code 10543  
TMD: Section 9 Block 50 Lot 373 R.S. Lot \_\_\_\_\_ Lot Area 1.09 Acres  
Realty Subdivision: \_\_\_\_\_ Map # \_\_\_\_\_ Date Filed \_\_\_\_\_  
Owner Last Name: Fedyna Owner First Name: Bill & Elisabeth  
St. #: 1165 St. Address: Greacen Point Road State: NY Zip Code: 10543  
Owner Phone #: ( 646 ) 321-2081 Owner E-mail Address: Wefedyna@hotmail.com  
Building Type: Residential # of Bedrooms: 4 Total Habitable Space: 2,637± Sq. Ft.

On-site Wastewater Treatment System (OWTS) Information:

Design Flow: 800 gpd Soil Percolation Rate: 1-5 min./in  
Slope of OWTS Area: 2 % Septic Tank Size: 1,250 Gallons (Gal.)  
Absorption Trench(es): Length: 336 Lin. Ft. Trench Width: 2 Ft. Area: 672 Sq. Ft.  
Absorption Pit(s): # Pits \_\_\_\_\_ Diameter: \_\_\_\_\_ Ft. Depth: \_\_\_\_\_ Ft. Area: \_\_\_\_\_ Sq. Ft.  
Other (circle or specify): Tri-Galleys 4X4 Galleys Flow Diffusers Name: \_\_\_\_\_  
# Trenches \_\_\_\_\_ Length: \_\_\_\_\_ Lin. Ft. Trench Width: \_\_\_\_\_ Ft. Sidewall Area: \_\_\_\_\_ Sq.Ft./Lin Ft.

Other Requirements:

Pump System: Pump Chamber: Size: \_\_\_\_\_ Gal. Dose \_\_\_\_\_ Gal. Overflow Tank: Size: \_\_\_\_\_ Gal.  
Curtain Drain: Depth: N/A Ft. Width: N/A Ft. R.O.B. Sand and Gravel Fill Section: Depth: 3.5 Ft.  
Separate Sewage Contractor (SSC): Name: TBD Licensed septic Contractor WCDH SSC License # \_\_\_\_\_

Water Supply System Information:

☐ Private Water Supply ☒ Public Water Supply Name: Existing  
Well Driller Name: \_\_\_\_\_ NYSDEC Reg # \_\_\_\_\_  
Address: \_\_\_\_\_ Phone: ( ) \_\_\_\_\_

Other Requirements/Conditions:

3.5ft ROB fill over entire area, 3.5ft min high retaining wall

I represent that I am wholly and completely responsible for the design and location of the proposed system(s): 1] that the on-site wastewater treatment system above described will be constructed as shown on the approved plan or approved amendments thereto and in accordance with the standards, rules and regulations of the Westchester County Department of Health; that on completion thereof, a "Certificate of Construction Compliance" satisfactory to the Commissioner of Health will be submitted to the Department and a written guarantee will be furnished the owner, his successors, heirs or assigns, by the builder that said builder will place in good operating condition any part of said OWTS which fails to operate for a period of two (2) years immediately following the date of the issuance of the approval of the Certificate of Construction Compliance of the OWTS or any repairs thereto; 2] that the drilled well described above will be located as shown on the approved plan and that said well will be installed in accordance with the standards, rules and regulations of the Westchester County Department of Health.

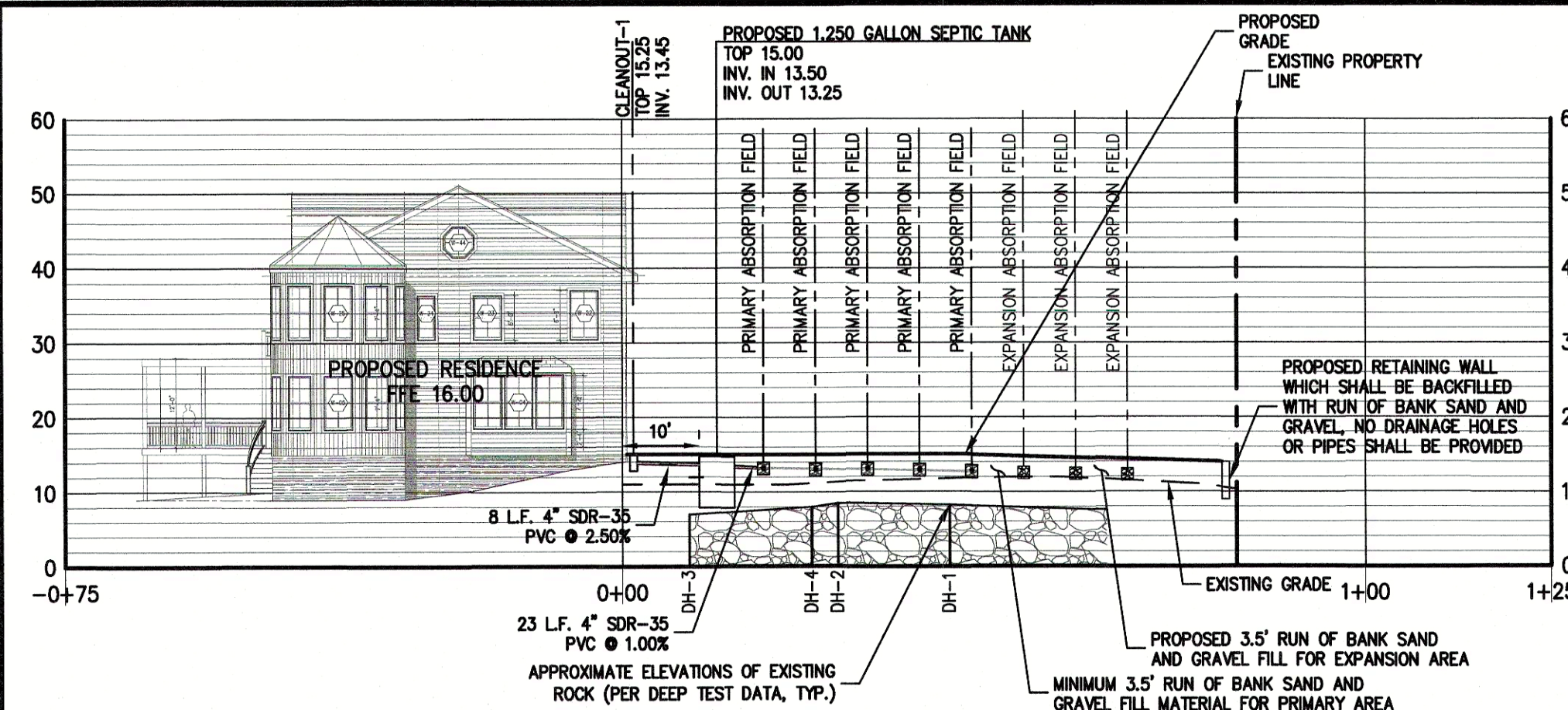
Date: 10/22/2020 Signed: \_\_\_\_\_ P.E./R.A. Seal \_\_\_\_\_

APPROVED FOR CONSTRUCTION

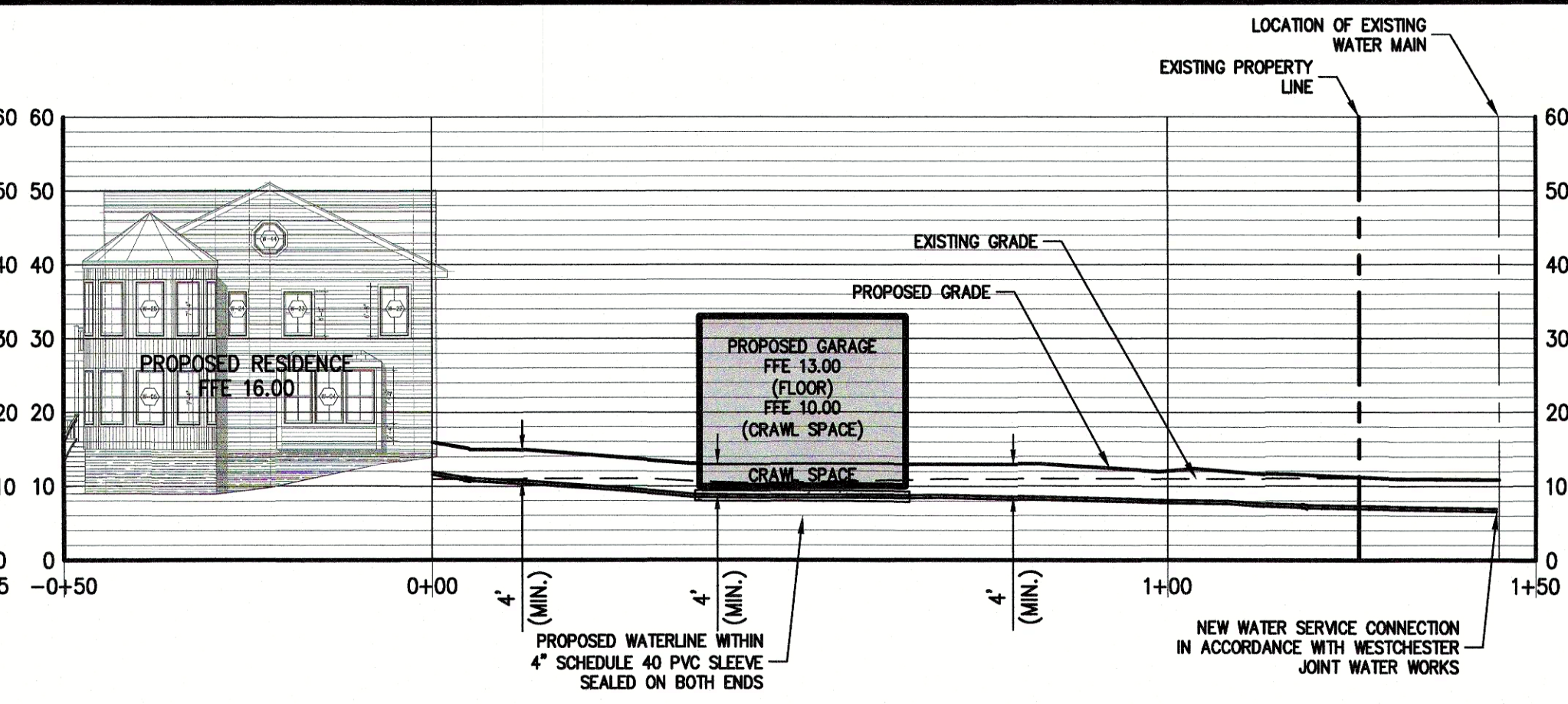
This approval expires one (1) year from the date issued unless construction of the building has been undertaken, and is revocable for cause or may be amended or modified when considered necessary by the Commissioner of Health. Any change or alteration of construction requires a new permit.

Date: 5/25/21 Approved By: Debra D M W J

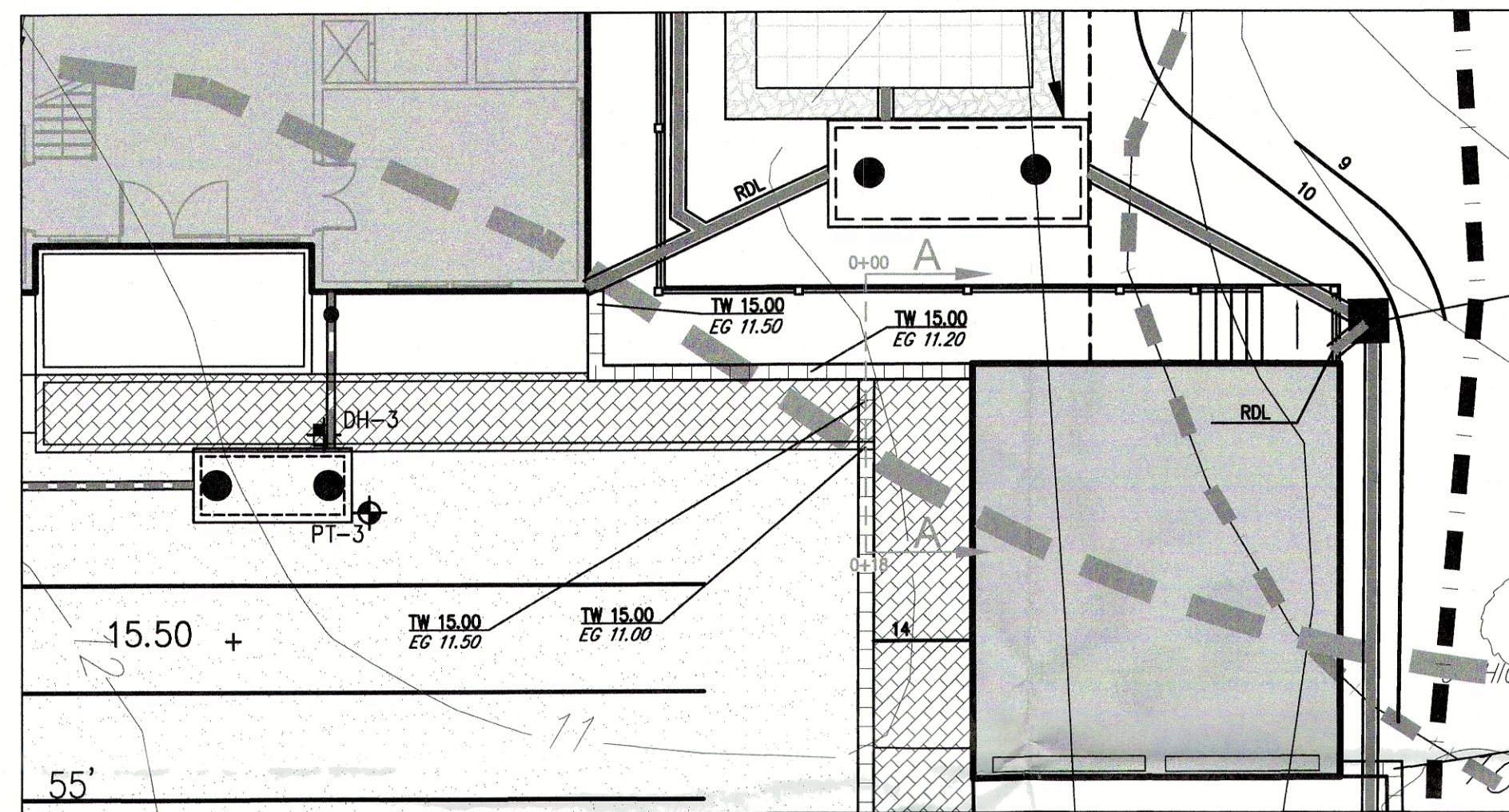




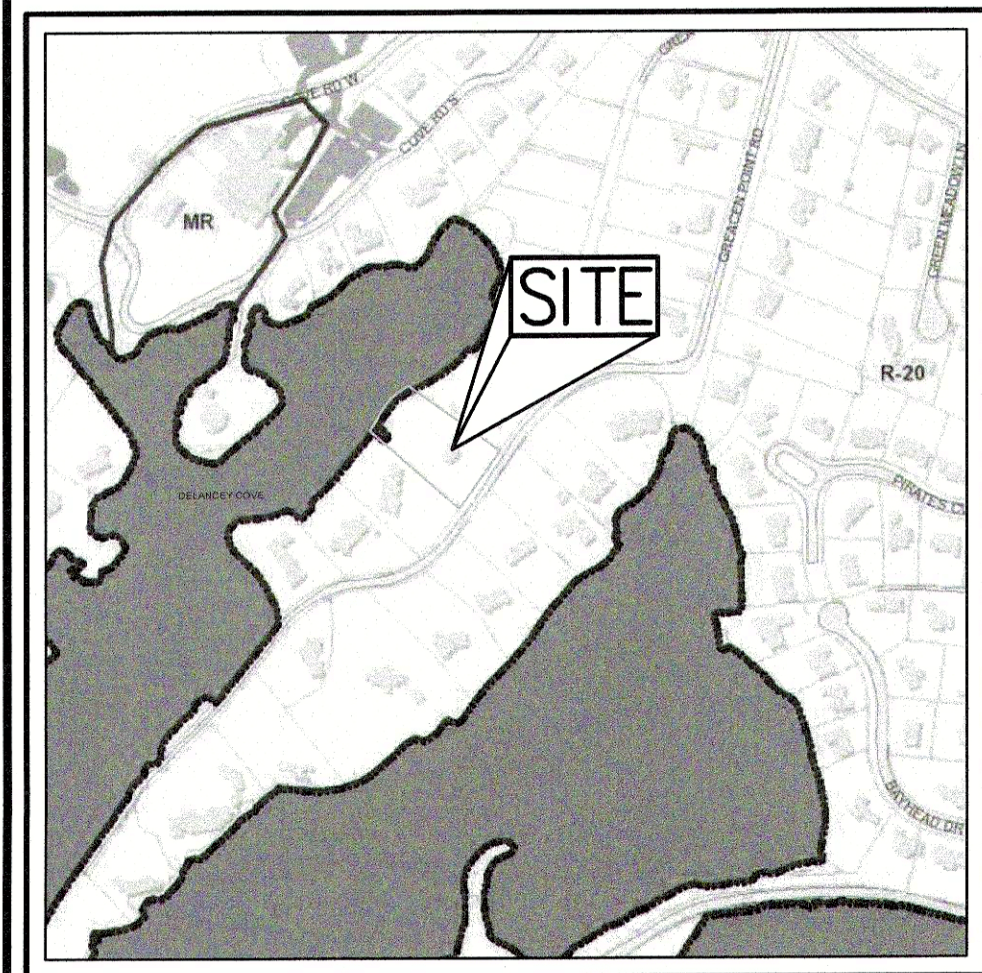
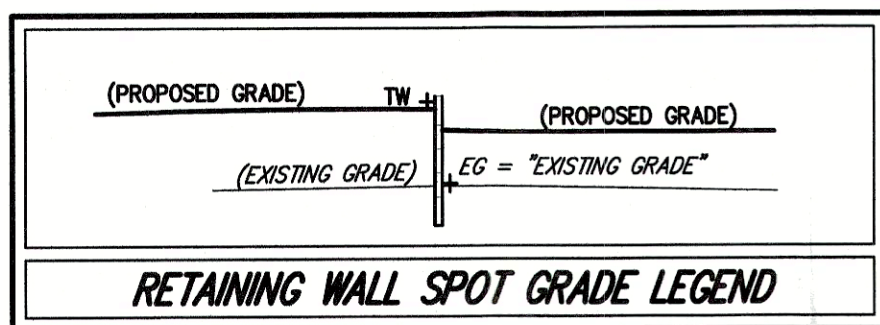
**PROPOSED OWTS PROFILE**  
VERTICAL SCALE: 1" = 20"  
HORIZONTAL SCALE: 1" = 20"



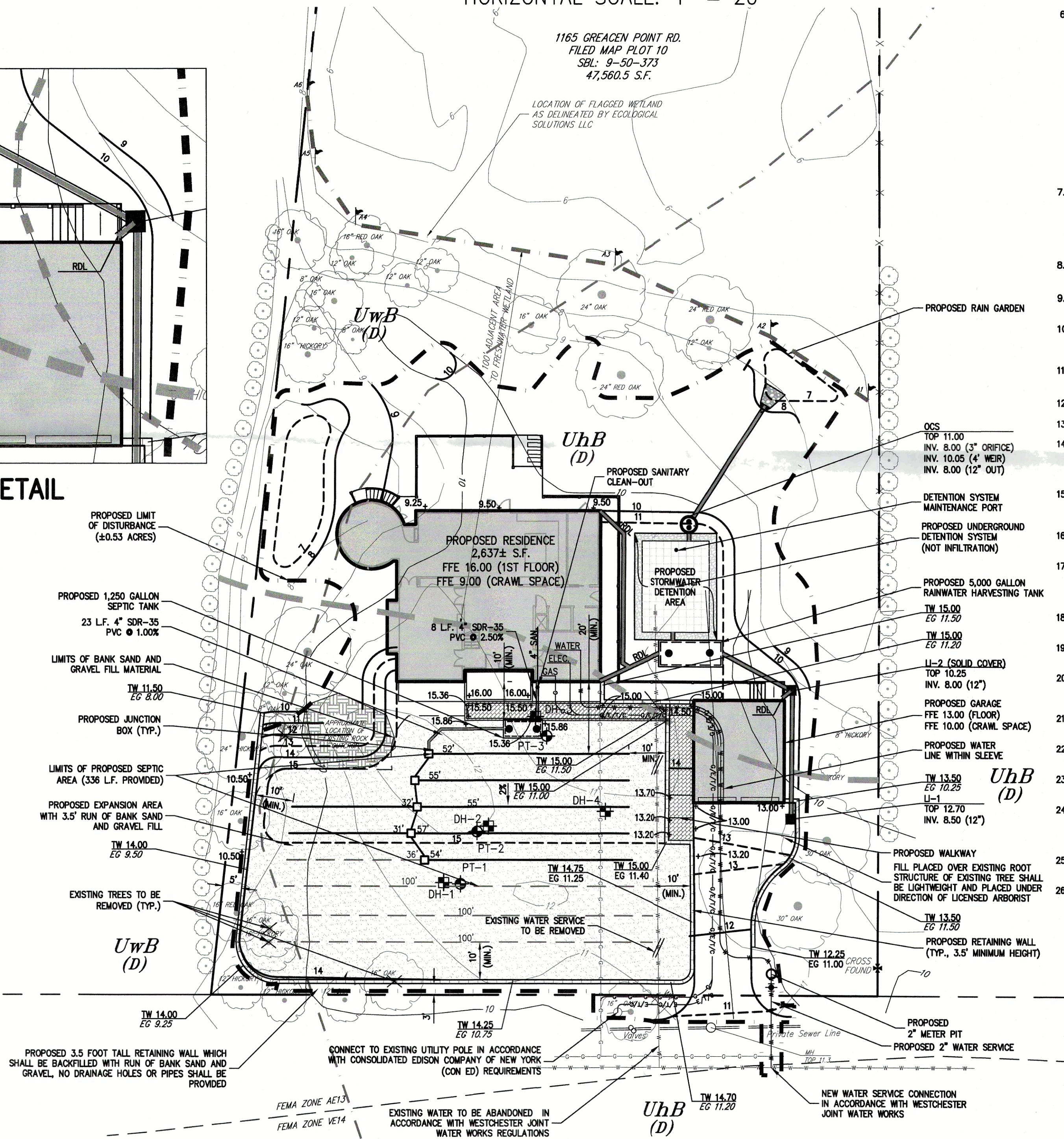
**PROPOSED WATER PROFILE**  
VERTICAL SCALE: 1" = 20"  
HORIZONTAL SCALE: 1" = 20"



**PROPOSED WALKWAY AND WALL DETAIL**  
SCALE: 1" = 10'



**ZONING / VICINITY MAP**  
SCALE: N.T.S.  
SOURCE: WESTCHESTER COUNTY GIS / 2016

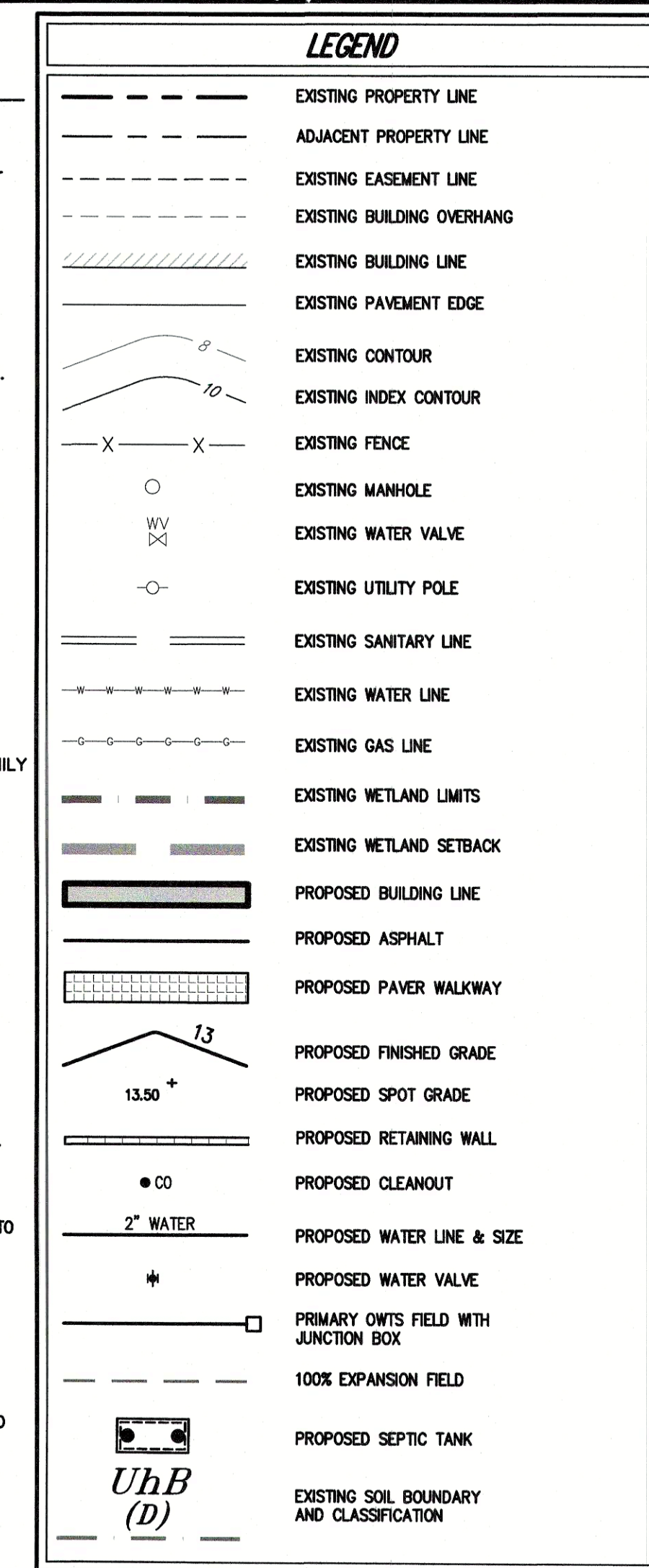


**OWTS PLAN**  
SCALE: 1" = 20'

- WESTCHESTER COUNTY DEPARTMENT OF HEALTH NOTES**
- PROPERTY OWNERS: **MR. WILLIAM FEDYNA & ELISABETH FEDYNA**  
SITE LOCATION: **1165 GREACEN POINT ROAD, MAMARONECK, NY 10543**  
TAX MAP DESIGNATION: SECTION **9**, BLOCK **50**, LOT **373**  
LOT AREA: **1.09±** ACRES WATERSHED BASIN: **COASTAL L.I. SOUND BASIN**  
DISTURBANCE AREA: **0.63±** ACRES  
ANTICIPATED DATES OF CONSTRUCTION: **SPRING 2021**
  - CONSTRUCTION OF THE SUBSURFACE SEWAGE TREATMENT SYSTEM SHALL BE IN ACCORDANCE WITH THESE PLANS. ADDITIONS AND/OR MODIFICATIONS TO THE SYSTEM SHALL BE IN ACCORDANCE WITH THE "WESTCHESTER COUNTY HEALTH DEPARTMENT RULES AND REGULATIONS FOR THE DESIGN AND CONSTRUCTION OF RESIDENTIAL SUBSURFACE SEWAGE TREATMENT SYSTEMS AND DRILLED WELLS IN WESTCHESTER COUNTY, NEW YORK" PUBLICATION (FORMERLY KNOWN AS BULLETIN SD-22). ALL ADDITIONS AND/OR MODIFICATIONS SHALL BE ENDORSED BY THE ENGINEER AND WESTCHESTER COUNTY HEALTH DEPARTMENT PRIOR TO CONSTRUCTION OF THE SYSTEM.
  - ELEVATIONS OF THE SUBSURFACE SEWAGE TREATMENT SYSTEM HAVE BEEN ESTABLISHED BASED ON THE SEWER INVERT AT THE BUILDING LINE AND GROUND ELEVATIONS WITHIN THE ABSORPTION AREA. SHOULD THE SEWER INVERT BE CHANGED, ADJUSTMENTS OF ELEVATIONS TO THE REMAINING PORTIONS OF THE SYSTEM MAY BE REQUIRED. ALL CHANGES SHALL BE ENDORSED BY THE ENGINEER PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR SHALL ISOLATE AND EFFECTIVELY PROTECT THE SEWAGE TREATMENT AND EXPANSION AREAS AGAINST DAMAGE. NO TRUCKS, HEAVY MACHINERY, BUILDING MATERIAL OR EARTH SHALL BE PERMITTED WITHIN THE SEWAGE TREATMENT AREA PRIOR, DURING OR AFTER CONSTRUCTION.
  - THE DESIGN OF THE SUBSURFACE SEWAGE TREATMENT AREAS ARE BASED ON A SOIL PERCOLATION RATE OF **1.5** MIN./INCH FOR THE PRIMARY AREA, AND EXPANSION AREA AND THE CONSTRUCTION OF A 4 BEDROOM SINGLE FAMILY RESIDENCE.
  - THE SUBSURFACE SEWAGE TREATMENT SYSTEM FOR THE HOUSE SHALL INCLUDE THE FOLLOWING IMPROVEMENTS:  

<b>336</b>	LINEAR FEET, 24 INCH WIDE PRIMARY ABSORPTION TRENCH
<b>336</b>	LINEAR FEET, 24 INCH WIDE EXPANSION ABSORPTION TRENCH
<b>1,250</b>	GALLON PRECAST CONCRETE SEPTIC TANK
<b>5</b>	EACH PRECAST CONCRETE JUNCTION/DISTRIBUTION BOX
<b>3.5'</b>	FEET RUN-OF-BANK SAND AND GRAVEL FILL
<b>N/A</b>	LINEAR FEET CURTAIN DRAIN

 ADDITIONAL IMPROVEMENTS: \_\_\_\_\_



- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY PREPARED BY SPINELLI SURVEYING, DATED 02/22/2018, LAST REVISED 04/23/2020.
  - TEST PITS/BORING HOLES SHOWN ON THIS PLAN WERE CONDUCTED BY JMC, PLLC, ON 08/06/2020.
  - EXISTING BASE FLOOD ELEVATION EQUALS 13'.

WESTCHESTER COUNTY DEPARTMENT OF HEALTH  
Bureau of Environmental Quality  
FILE NUMBER: **MA2021-02 Mamaroneck**

This plan is approved for the issuance of an ONSITE WASTEWATER TREATMENT SYSTEM pursuant to Article VIII of the Westchester County Sanitary Code, subject to the provisions of the APPROVAL TO CONSTRUCT issued this date.

Approved by: *[Signature]* Date: **5/25/21**

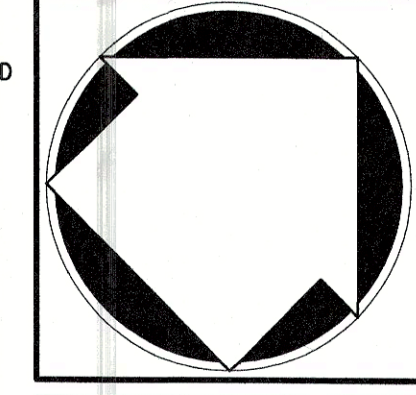
*Four bedrooms, 1250 gal. septic tank, 336 LF of trench.*

No.	Revision	Date	By
1.	RESPOND TO WCDH COMMENTS	01/21/2021	RAR
2.	RESPOND TO WCDH COMMENTS	03/08/2021	RAR
3.	RESPOND TO WCDH COMMENTS	03/30/2021	RC
4.	RESPOND TO WCDH COMMENTS	04/28/2021	RAR
5.	RESPOND TO WCDH COMMENTS	05/24/2021	RAR

APPLICANT/OWNER:  
**MR. WILLIAM FEDYNA & ELISABETH FEDYNA**  
219 W 81ST STREET, APT. 9D  
NEW YORK, NY, 10024

ARCHITECT:  
**ARCHI-TECTONICS**  
111 JOHN ST. #700  
NEW YORK, NY 10038

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
JMC Site Development Consultants, LLC  
John Meyer Consulting, Inc.  
120 BEDFORD ROAD • ARMONK, NY 10504  
voice 914.273.5225 • fax 914.273.2102  
www.jmcpllc.com



**OWTS PLAN**  
RESIDENTIAL DEVELOPMENT  
1165 GREACEN POINT ROAD  
MAMARONECK, NY, 10543

