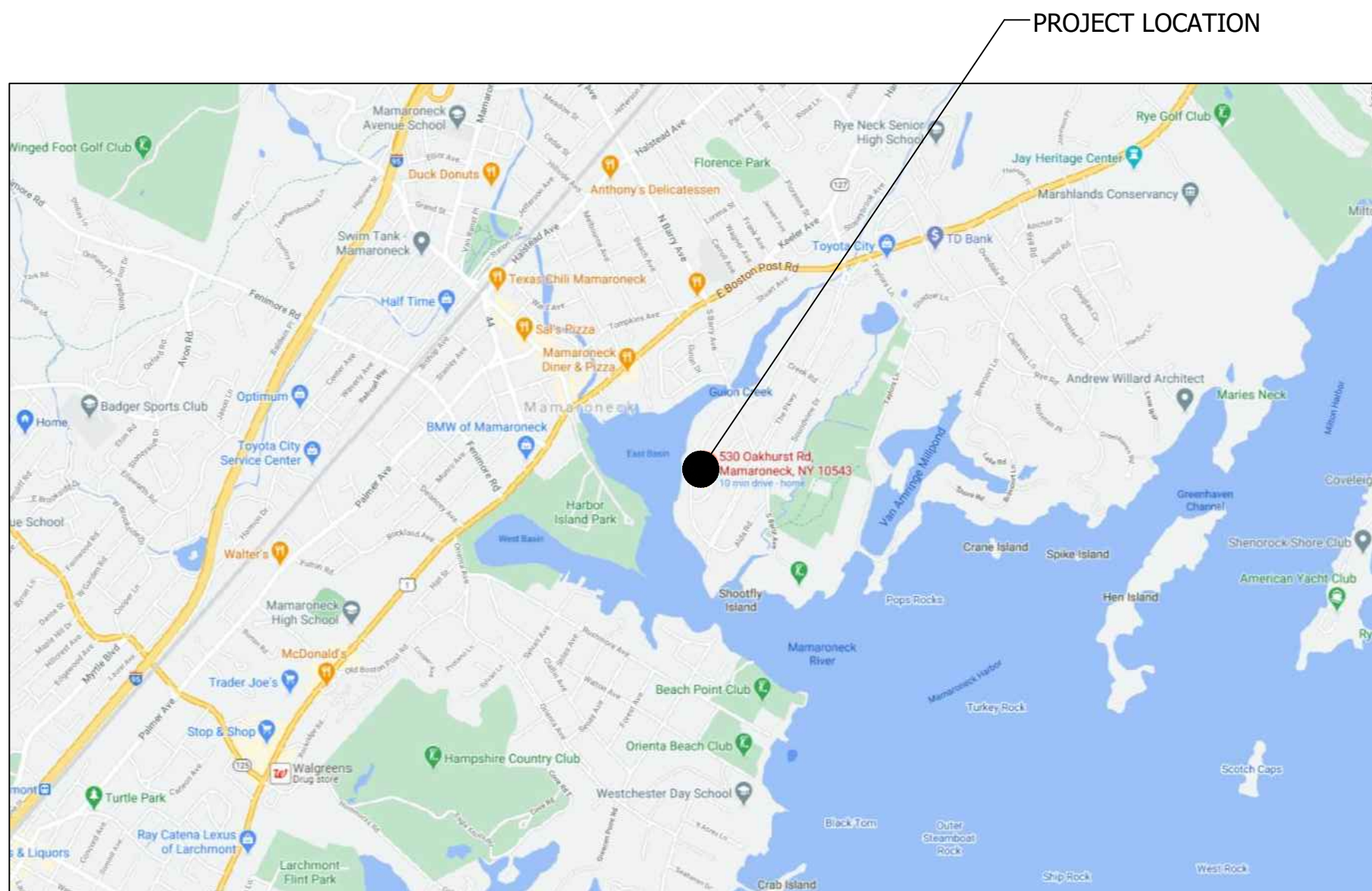
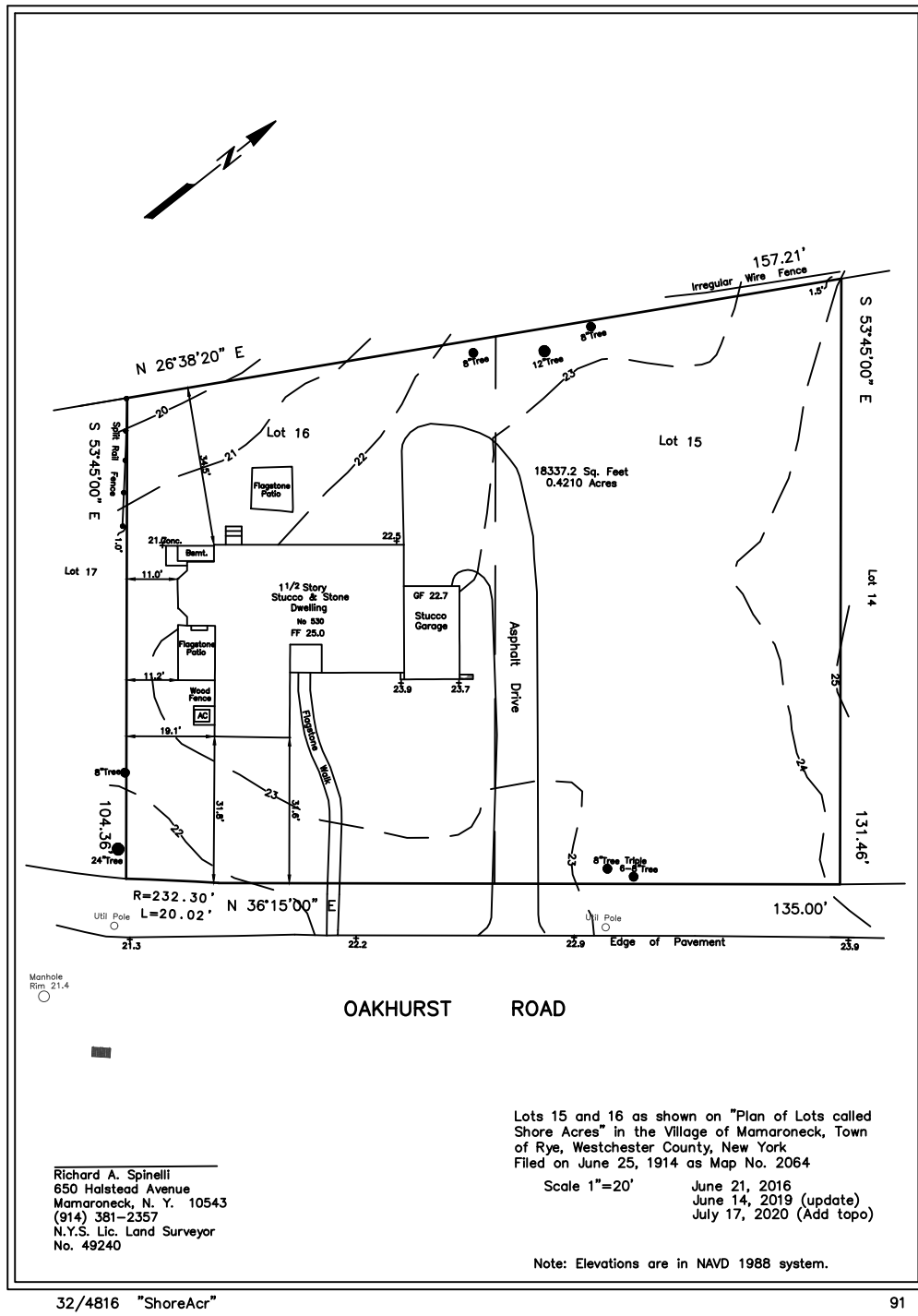


LOCATION



SURVEY



NOT A LEGAL SURVEY, FOR REFERENCE ONLY

REFERENCE SURVEY

NOT TO SCALE

PROJECT NAME

OAKHURST RESIDENCE

NEW HOUSE

530 OAKHURST ROAD
MAMARONECK, NEW YORK 10543

SCOPE OF WORK

- DEMOLISH EXISTING HOUSE
- NEW TWO-STORY HOUSE
- NEW IN-GROUND SWIMMING POOL

THERMAL CRITERIA

2020 ENERGY CONSERVATION CODE OF NEW YORK STATE
CLIMATE ZONE 4
MINIMUM R-VALUE OF WALLS - R-21
MINIMUM R-VALUE OF CEILINGS - R-49
MINIMUM U-VALUE OF FENESTRATIONS - U-32

CLIMATIC AND GEOGRAPHICAL CRITERIA

2020 RESIDENTIAL CODE OF NEW YORK STATE
GROUND SNOW LOAD : 30 PSF
WIND SPEED : 110 MPH
SEISMIC DESIGN CATEGORY : C
FROST DEPTH : 42"
WEATHERING : SEVERE
TERMITE : MODERATE TO HEAVY
FLOOD HAZARD : NOT APPLICABLE

PSF = POUNDS PER SQUARE FOOT

STRUCTURAL CRITERIA

2020 RESIDENTIAL CODE OF NEW YORK STATE

LIVE LOAD:
LIVING AREAS AND DECK : 40 PSF
BEDROOMS: 30 PSF
DEAD LOAD : 10 PSF
GROUND SNOW LOAD: 30 PSF
ALL STRUCTURAL LUMBER SHALL BE:
DOUGLAS FIR #2, $f_b = 900$, $E = 1,400,000$ (OR BETTER)

PSF = POUNDS PER SQUARE FOOT

DRAWING INDEX

- | | |
|-------|--|
| T-1 | TITLE SHEET |
| A-0.0 | ADJACENT PROPERTIES |
| A-0.1 | PROPOSED BUILDING FOOTPRINT AND ADJACENT PROPERTIES |
| A-0.2 | NEIGHBORING PROPERTIES |
| A-1.0 | EXISTING SITE PLAN |
| A-1.1 | DEMOLITION PLAN |
| A-2.0 | PROPOSED SITE PLAN |
| L-1 | PROPOSED LANDSCAPE PLAN |
| L-2 | LANDSCAPE DETAILS |
| L-3 | LANDSCAPE SPECIFICATIONS |
| A-3.0 | PROPOSED BASEMENT PLAN |
| A-3.2 | PROPOSED BASEMENT REFLECTED CEILING & ELECTRICAL PLAN |
| A-4.0 | PROPOSED FIRST FLOOR PLAN |
| A-4.2 | PROPOSED FIRST FLOOR REFLECTED CEILING & ELECTRICAL PLAN |
| A-5.0 | PROPOSED SECOND FLOOR PLAN |
| A-5.2 | SECOND FLOOR ELECTRICAL REFLECTED CEILING PLAN |
| A-6.0 | PROPOSED ROOF PLAN |
| A-7.0 | PROPOSED ELEVATIONS |
| A-7.1 | PROPOSED ELEVATIONS |
| A-8.0 | SCHEDULES |
| A-9.0 | SPECIFICATIONS |

GENERAL NOTES

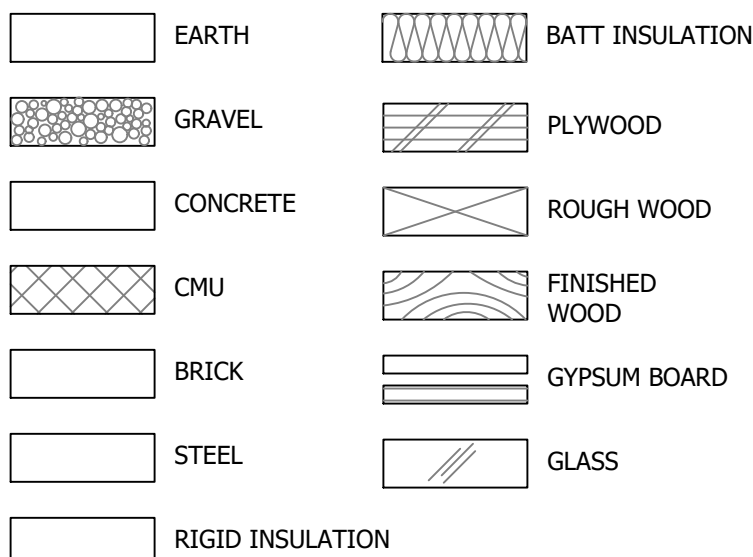
- DO NOT SCALE DRAWINGS.
- THE ARCHITECT CERTIFIES THESE DRAWINGS TO BE IN COMPLIANCE WITH THE 2020 RESIDENTIAL CODE OF NYS (ALSO CALLED 2020 IRC) AND THE 2020 ENERGY CONSERVATION CODE OF NYS (ALSO CALLED 2020 IREC). SEE "BUILDING ENVELOPE THERMAL COMPONENTS CRITERIA" FOR ENERGY COMPLIANCE INFORMATION.
- ALL CONSTRUCTION IS TO CONFORM WITH ALL APPLICABLE CODES, ORDINANCES, ETC. INCLUDING THE RESIDENTIAL CODE OF NEW YORK STATE 2020 RESIDENTIAL ENERGY CODE OF NEW YORK STATE.
- THE WORK TO BE PROVIDED ON THIS PROJECT SHALL INCLUDE ALL NECESSARY COMPONENTS EVEN THOUGH NOT SPECIFICALLY MENTIONED OR SHOWN; AND THE CONTRACTOR SHALL NOT AVAIL HIMSELF OF ANY MANIFESTLY UNINTENTIONAL OMISSIONS, SHOULD THEY EXIST. THESE DRAWINGS REPRESENT A "BUILDER SET" OF DRAWINGS AND ARE TO BE USED AS A GUIDE TO THE CONSTRUCTION PROCESS. THEY DO NOT REPRESENT A FULL OR COMPLETE ARCHITECTURAL SERVICE.
- ARCHITECT SUPERVISION OF CONSTRUCTION IS NOT INCLUDED WITH THESE DRAWINGS. THEREFORE, THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR WORKMANSHIP, CODE OR PLAN COMPLIANCE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL MATERIALS, DIMENSIONS, DETAILS AND CONDITIONS AND SHALL REPORT ANY ALLEGED DIFFERENCES OR DISCREPANCIES AT ONCE TO THE OWNER.
- IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS AND REFERENCED STANDARDS OF THESE SPECIFICATIONS THE MORE STRINGENT PROVISIONS SHALL GOVERN.
- STRUCTURAL SPECIFICATIONS AND DRAWINGS FOR THIS WORK HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED ARCHITECTURAL PRACTICE TO MEET MINIMUM REQUIREMENTS OF THE RESIDENTIAL CODE OF NEW YORK STATE.
- CONSTRUCTION LOADS SHALL NOT OVERLOAD STRUCTURE NOR SHALL THEY BE IN EXCESS OF DESIGN LOADING INDICATED ON DRAWINGS.
- ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS MEANS, METHODS, TECHNIQUES OR SEQUENCES OF CONSTRUCTION AND THE SAFETY PROCEDURES EMPLOYED BY HIM.
- BUILDING INSPECTOR NOTE THAT THESE PLANS ARE INVALID...
 - IF ALTERED.
 - IF NOT STAMPED BY A NEW YORK STATE REGISTERED ARCHITECT WHOSE SEAL MUST BE EITHER IMPRESSED OR ORIGINALLY STAMPED.
 - IF NOT COLLATED WITH ALL PRESCRIBED SHEETS, INCLUDING THESE NOTES.
- ALL CHANGES TO THESE PLANS MAY ONLY BE APPROVED WITH THE CONSENT OF THE ARCHITECT AND OWNER.
- ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC. SHALL BE HANDED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND PROVISIONS. WHERE SPECIFIC MANUFACTURED PRODUCTS ARE CALLED FOR, GENERIC EQUALS, WHICH MEET APPLICABLE STANDARDS AND SPECIFICATIONS, MAY BE USED.
- IN THE ABSENCE OF A SOILS REPORT THE DRAWINGS SHOWING THE FOOTINGS, FOUNDATION AND SLAB ARE TO BE USED AS A GUIDE TO THEIR CONSTRUCTION AND ARE NOT BASED ON ACTUAL SOIL CONDITIONS AT THE CONSTRUCTION SITE.
- ALL INTERIOR AND EXTERIOR INFILL WALLS SHALL BE 2X4 STUDS @ 16" O.C. EXCEPT WHERE NOTED.
- RELOCATE EXISTING SUPPLY AND RETURN DIFFUSERS/DUCTWORK AS REQUIRED.
- ALL EXHAUST FANS, RANGE HOODS AND DRYERS SHALL VENT TO THE OUTSIDE THROUGH SHEET METAL DUCTS. CAULK AROUND ALL PENETRATIONS THROUGH EXTERIOR.
- ALL ELECTRICAL WORK SHALL BE SUPPLIED BY A COMPONENT LICENSED ELECTRICAL CONTRACTOR AND SHALL CONFORM TO THE 1999 ELECTRICAL CODE.
- ALL PLUMBING WORK SHALL CONFORM TO THE 2020 RESIDENTIAL CODE OF NYS AND ALL LOCAL LAWS. ALL PLUMBING WORK SHALL BE PROVIDED BY A LICENSED PLUMBING CONTRACTOR.
- ALL PIPE PENETRATIONS OF FLOOR AND FIRE RATED WALL ASSEMBLIES SHALL HAVE FIRE STOP SEALANT BOTH SIDES TYPICAL OF 3M CP 25N/S CAULK OR ACCEPTABLE EQUAL PER MANUFACTURER'S RECOMMENDATIONS.
- THE ARCHITECT CERTIFIES THESE DRAWINGS ARE IN COMPLIANCE WITH THE 2020 RESIDENTIAL CODE OF NYS FOR TERMITE PROTECTION (R318) BY REQUIRING PRESSURE PRESERVATIVE TREATED WOOD AS PRESCRIBED IN SECTION R317.1 AND FOR PROTECTION AGAINST DECAY (R317).
- ALL INSULATION MATERIALS SHALL BE INSTALLED IN COMPLIANCE WITH THE BUILDING CODE. VAPOR BARRIERS SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF THE INSULATION. NO EXPOSED VAPOR BARRIERS SHALL BE PERMITTED, RATHER VAPOR BARRIERS SHALL BE COVERED WITH CODE COMPLIANT COVERING.
- THE PROPOSED WORK HAS BEEN DESIGNED IN COMPLIANCE WITH THE 2020 NYS ENERGY CODE.

CODE AND BUILDING DATA

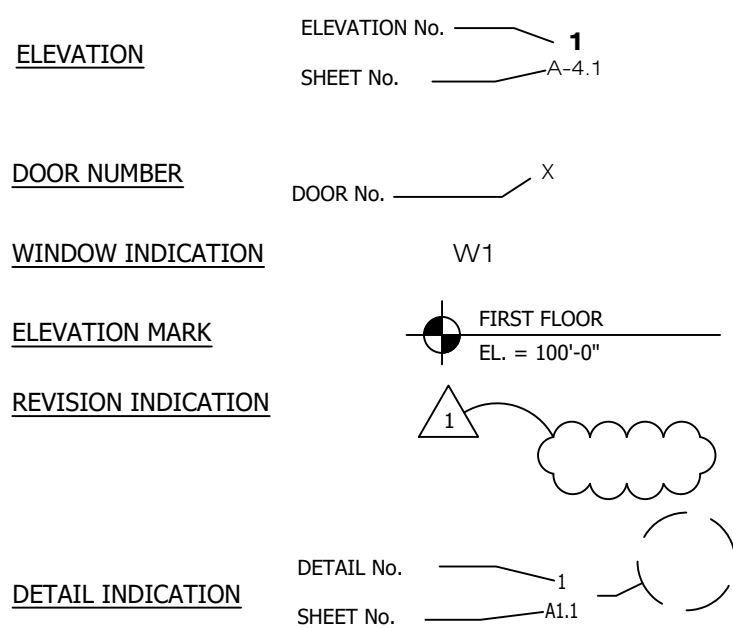
HABITABLE AREA - SQUARE FEET	PROPOSED HOUSE	
FIRST FLOOR	2,638	
SECOND FLOOR	2,429	
TOTAL	5,067	
MISCELLANEOUS AREA		
CELLAR	2,295	
GARAGE	502	
VILLAGE OF MAMARONECK ZONING DISTRICT: R-10 5,263 SF MAXIMUM SQUARE FEET		
MAXIMUM FAR : 0.287 MAXIMUM FLOOR AREA ALLOWED = 5,263 SF > 5,067 SF PROPOSED (OK)		
	REQUIRED	PROPOSED
MINIMUM LOT AREA - SQUARE FEET	10,000	18,337.2 *
MINIMUM LOT WIDTH	100'	155' *
MINIMUM LOT DEPTH	100'	104' *
MINIMUM YARD DIMENSIONS		
PRINCIPAL BUILDING		
FRONT YARD	25'	27.5'
ONE SIDE YARD	10'	12.5'*
BOTH SIDE YARDS	25'	44'*
REAR YARD	30'	50'
MAXIMUM FLOOR AREA RATIO (FAR)	28.7	28.7
MAXIMUM COVERAGE ALL BUILDINGS	35%	15%
MAXIMUM HEIGHT		
PRINCIPAL BUILDING (FEET)	35'	25'
PRINCIPAL BUILDING (STORIES)	2.5	2

* EXISTING CONDITION, NO CHANGE REQUESTED

MATERIAL



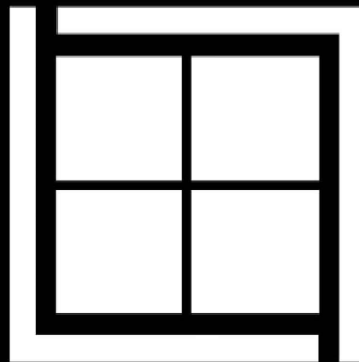
SYMBOLS



BY OWNER

THE FOLLOWING ITEMS ARE TO BE PROVIDED BY THE OWNER AND INSTALLED BY THE GENERAL CONTRACTOR:

- SURFACE MOUNTED LIGHTS
- APPLIANCES
- PLUMBING FIXTURES
- CABINETS
- COUNTERTOPS
- GLASS SHOWER DOORS
- TILE
- WOOD BURNING FIREPLACE



LEWIS + LEWIS
ARCHITECTS

753 FOREST AVENUE
LARCHMONT, NY 10538
914.315.6323
LEWISANDLEWISARCHITECTS.COM

© COPYRIGHT 2021

UNAUTHORIZED ADDITION OR ALTERATION OF
THESE DRAWINGS IS A VIOLATION OF
SECTION 7209(2) OF THE NEW YORK STATE
EDUCATION LAW.

THESE PLANS ARE NOT VALID FOR A BUILDING
PERMIT UNLESS ORIGINALLY SIGNED AND SEALED
BY ARCHITECT. BLUEPRINTS OR PHOTOCOPIES OF
SEAL AND SIGNATURE ARE INVALID. THESE PLANS
ARE FOR CONSTRUCTION OF ONE BUILDING ONLY
BY THE PERSON WHOSE NAME APPEARS ON THE
PLANS.

ISSUED / REVISIONS

DESCRIPTION	DATE
ISSUED FOR ARCHITECTURAL REVIEW BOARD	04/29/2021
BAR MEETING	05/20/2021

OAKHURST LLC

NEW HOUSE

530 Oakhurst Road
Mamaroneck
New York 10543

NOTES



SHEET DESCRIPTION:

TITLE SHEET

SHEET No.

T-1

PHASE:



1 - 530 OAKHURST RD FRONT

2 - 530 OAKHURST RD RIGHT N/A

3 - 530 OAKHURST RD LEFT N/A



5 - 520 OAKHURST RD



7 - 545 OAKHURST RD



9 - 533 OAKHURST RD



11 - 569 SHORE ACRES DR



4 - 530 OAKHURST RD REAR N/A

6 - 544 OAKHURST RD



8 - 539 OAKHURST RD



10 - 575 SHORE ACRES DR

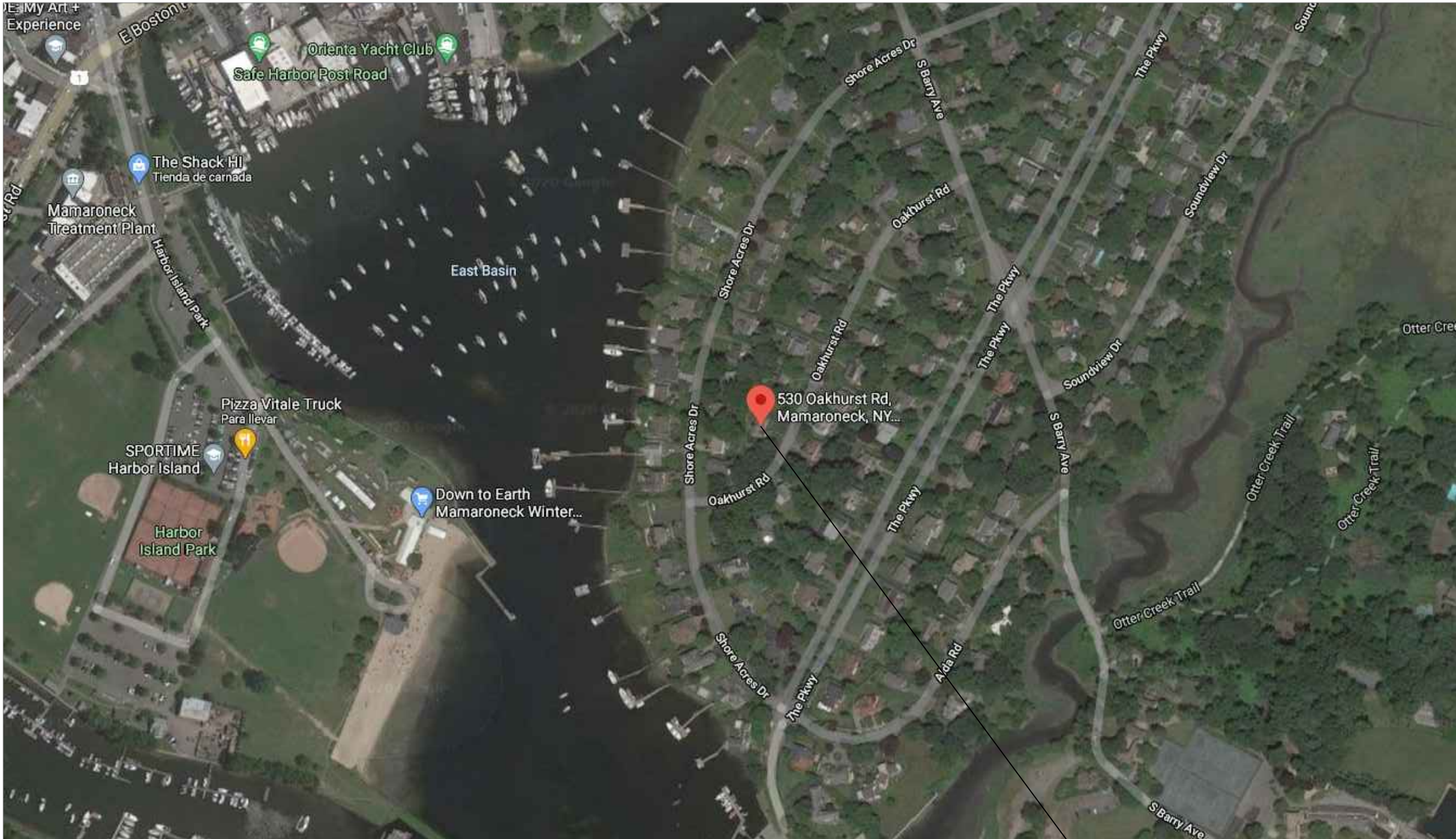


12 - 561 SHORE ACRES DR



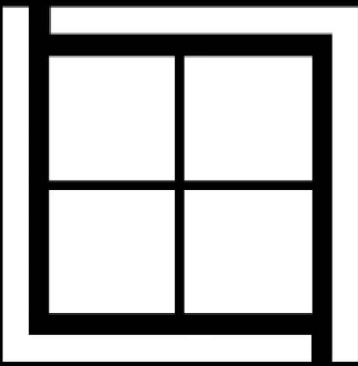
AERIAL MAP
N.T.S.

LOCATION AND DIRECTION OF PHOTOGRAPH



AERIAL MAP
N.T.S.

SITE LOCATION



LEWIS + LEWIS
ARCHITECTS

753 FOREST AVENUE
LARCHMONT, NY 10538
914.315.6323
LEWISANDLEWISARCHITECTS.COM

© COPYRIGHT 2021

UNAUTHORIZED ADDITION OR ALTERATION OF
THESE DRAWINGS IS A VIOLATION OF
SECTION 7209(2) OF THE NEW YORK STATE
EDUCATION LAW.

THESE PLANS ARE NOT VALID FOR A BUILDING
PERMIT UNLESS ORIGINALLY SIGNED AND SEALED
BY ARCHITECT. BLUEPRINTS OR PHOTOCOPIES OF
SEAL AND SIGNATURE ARE INVALID. THESE PLANS
ARE FOR CONSTRUCTION OF ONE BUILDING ONLY
BY THE PERSON WHOSE NAME APPEARS ON THE
PLANS.

ISSUED / REVISIONS	
DESCRIPTION	DATE
ISSUED FOR ARCHITECTURAL REVIEW BOARD	04/29/2021
BAR MEETING	05/20/2021

OAKHURST LLC

NEW HOUSE

530 Oakhurst Road
Mamaronck
New York 10543

NOTES



SHEET DESCRIPTION:

ADJACENT
PROPERTIES

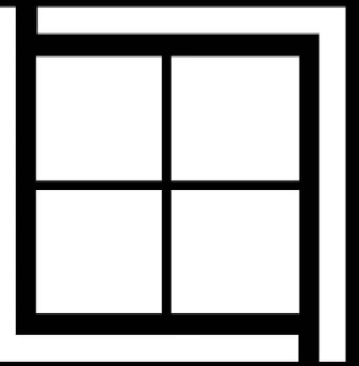
SHEET No.

A-0.0

PHASE:



1 NEIGHBORING PROPERTIES
SCALE: 1/16" = 1' - 0"



LEWIS + LEWIS
ARCHITECTS

753 FOREST AVENUE
LARCHMONT, NY 10538
914.315.6323
LEWISANDLEWISARCHITECTS.COM

© COPYRIGHT 2021

UNAUTHORIZED ADDITION OR ALTERATION OF
THESE DRAWINGS IS A VIOLATION OF
SECTION 7209(2) OF THE NEW YORK STATE
EDUCATION LAW.

THESE PLANS ARE NOT VALID FOR A BUILDING
PERMIT UNLESS ORIGINALLY SIGNED AND SEALED
BY ARCHITECT. BLUEPRINTS OR PHOTOCOPIES OF
SEAL AND SIGNATURE ARE INVALID. THESE PLANS
ARE FOR CONSTRUCTION OF ONE BUILDING ONLY
BY THE PERSON WHOSE NAME APPEARS ON THE
PLANS.

ISSUED / REVISIONS	
DESCRIPTION	DATE
ISSUED FOR ARCHITECTURAL REVIEW BOARD	04/29/2021
BAR MEETING	05/20/2021

OAKHURST LLC

NEW HOUSE

530 Oakhurst Road
Mamaroneck
New York 10543

NOTES



SHEET DESCRIPTION:
PROPOSED BUILDING
FOOTPRINT AND
ADJACENT PROPERTIES

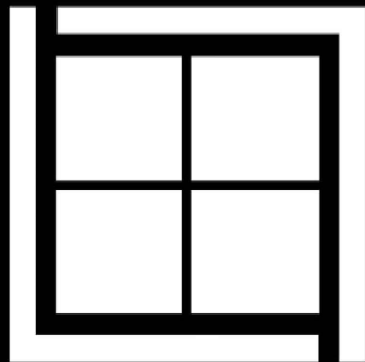
SHEET No.

A-0.1

PHASE:



1 NEIGHBORING PROPERTIES
SCALE: 1/32" = 1' - 0"



LEWIS + LEWIS
ARCHITECTS

753 FOREST AVENUE
LARCHMONT, NY 10538
914.315.6323
LEWISANDLEWISARCHITECTS.COM

© COPYRIGHT 2021

UNAUTHORIZED ADDITION OR ALTERATION OF
THESE DRAWINGS IS A VIOLATION OF
SECTION 7209(2) OF THE NEW YORK STATE
EDUCATION LAW.

THESE PLANS ARE NOT VALID FOR A BUILDING
PERMIT UNLESS ORIGINALLY SIGNED AND SEALED
BY ARCHITECT. BLUEPRINTS OR PHOTOCOPIES OF
SEAL AND SIGNATURE ARE INVALID. THESE PLANS
ARE FOR CONSTRUCTION OF ONE BUILDING ONLY
BY THE PERSON WHOSE NAME APPEARS ON THE
PLANS.

ISSUED / REVISIONS	
DESCRIPTION	DATE
ISSUED FOR ARCHITECTURAL REVIEW BOARD	04/29/2021
BAR MEETING	05/20/2021

OAKHURST LLC

NEW HOUSE

530 Oakhurst Road
Mamaroneck
New York 10543

NOTES



SHEET DESCRIPTION:

NEIGHBORING PROPERTIES

SHEET No.

A-0.2

PHASE:



753 FOREST AVENUE
LARCHMONT, NY 10538
914.315.6323
LEWISANDLEWISARCHITECTS.COM

© COPYRIGHT 2021

UNAUTHORIZED ADDITION OR ALTERATION OF
THESE DRAWINGS IS A VIOLATION OF
SECTION 7209(2) OF THE NEW YORK STATE
EDUCATION LAW.

THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT. BLUEPRINTS OR PHOTOCOPIES OF SEAL AND SIGNATURE ARE INVALID. THESE PLANS ARE FOR CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSON WHOSE NAME APPEARS ON THE PLANS.

[illegible]

OAKHURST LLC

NEW HOUSE

530 Oakhurst Road
Mamaroneck
New York 10543

NOTES

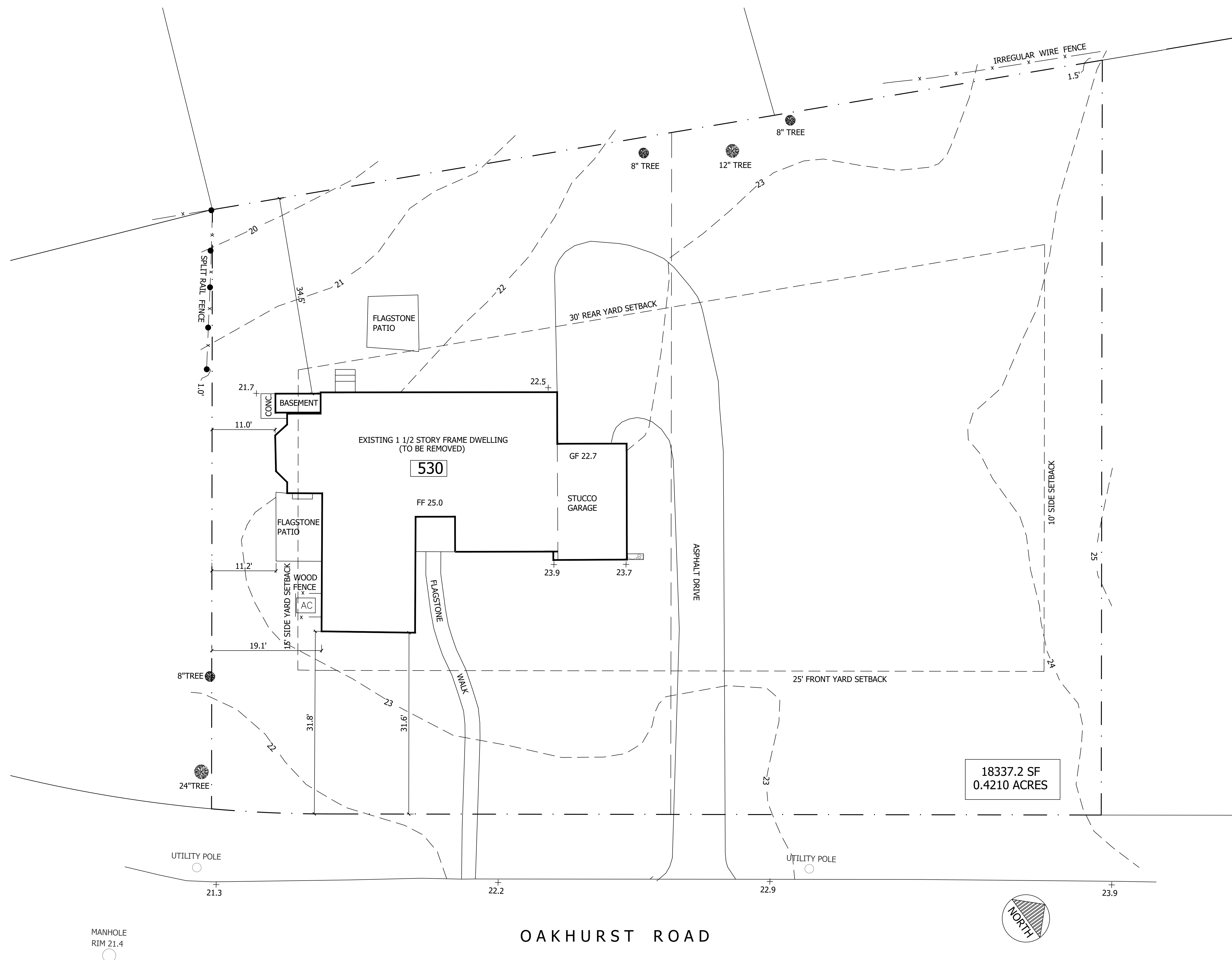
SHEET DESCRIPTION:

EXISTING SITE PLAN

SHEET No

A-1.0

PHASE-



1

EXISTING SITE PLAN

SCALE : $1/8" = 1'-0"$

DEMOLITION NOTES – TYPICAL

1. REMOVE EXISTING CONSTRUCTION AS REQUIRED TO BUILD PROPOSED LAYOUT.

2. RELOCATE EXISTING MECHANICAL/ELECTRICAL/PLUMBING AS REQUIRED FOR NEW LAYOUT.

3. PROVIDE DOUBLE VISQUEEN DUST BARRIER AT ALL DEMOLITION.

4. GENERAL CONTRACTOR RESPONSIBLE FOR ADHERENCE TO ALL LEAD, ASBESTOS, ETC. ABATEMENT PROCEDURES PER EPA STANDARDS.

5. PROTECT EXISTING HOUSE FROM DAMAGE DURING DEMOLITION.

6. REMOVE AND PROPERLY DISPOSE OF ALL DEMOLITION DEBRIS FROM THE CONSTRUCTION SITE.

DEMOLITION LEGEND

EXISTING PARTITION TO REMAIN

EXISTING CONSTRUCTION TO BE REMOVED

INDICATES THE COMPLETE REMOVAL OF ALL ITEMS WITHIN THIS SPACE INCLUDING FLOORING DOWN TO EXISTING STRUCTURE. (GUT DEMOLITION)

INDICATES THE REMOVAL OF THE EXISTING FLOORING AND BASEBOARD.

EXISTING DOOR TO BE REMOVED.

1

DEMOLITION PLAN
SCALE : 1/8" = 1'-0"

LEWIS + LEWIS
ARCHITECTS

753 FOREST AVENUE
LARCHMONT, NY 10538
914.315.6323
LEWISANDLEWISARCHITECTS.COM

© COPYRIGHT 2021

UNAUTHORIZED ADDITION OR ALTERATION OF THESE DRAWINGS IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW.

THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT. BLUEPRINTS OR PHOTOCOPIES OF SEAL AND SIGNATURE ARE INVALID. THESE PLANS ARE FOR CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSON WHOSE NAME APPEARS ON THE PLANS.

ISSUED / REVISIONS	
DESCRIPTION	DATE
ISSUED FOR ARCHITECTURAL REVIEW BOARD	04/29/2021
BAR MEETING	05/20/2021

OAKHURST LLC

NEW HOUSE

530 Oakhurst Road
Mamaroneck
New York 10543

NOTES

REGISTERED ARCHITECT
GREGORY MICHAEL LEWIS
10346
STATE OF NEW YORK

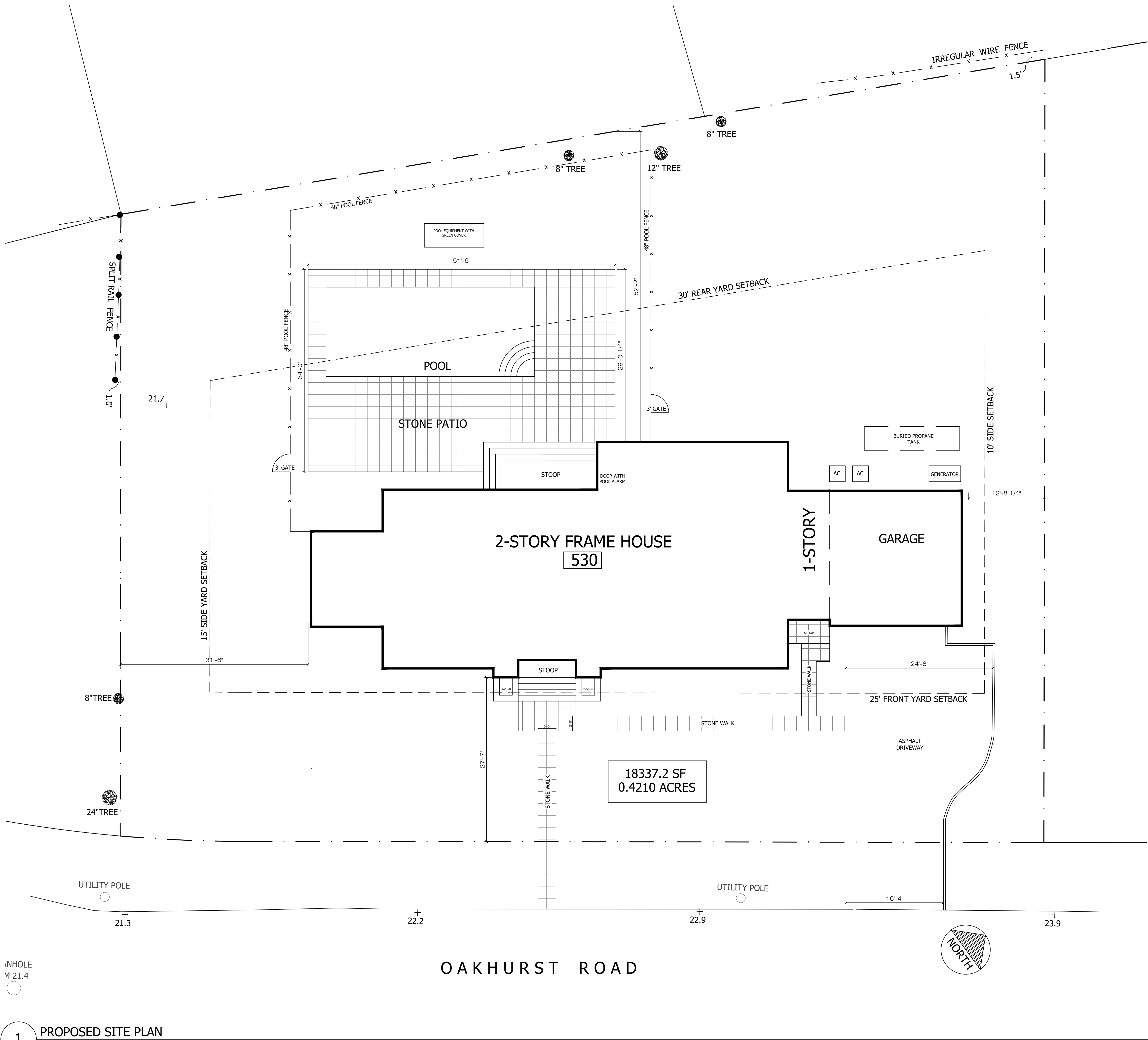
SHEET DESCRIPTION:

DEMOLITION PLAN

SHEET No.

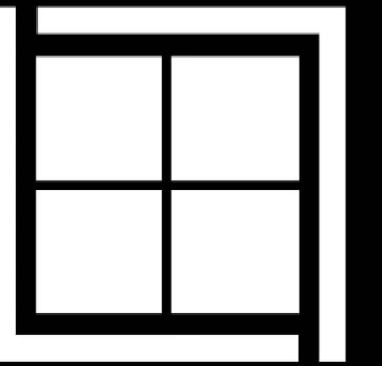
A-1.1

PHASE:



1/8" = 1'-0"

1 PROPOSED SITE PLAN
SCALE : 1/8" = 1'-0"



LEWIS + LEWIS
ARCHITECTS

753 FOREST AVENUE
LARCHMONT, NY 10538
914.315.6323
LEWISANDLEWISARCHITECTS.COM

© COPYRIGHT 2021

UNAUTHORIZED ADDITION OR ALTERATION OF
THESE DRAWINGS IS A VIOLATION OF
SECTION 7209(2) OF THE NEW YORK STATE
EDUCATION LAW.

THESE PLANS ARE NOT VALID FOR A BUILDING
PERMIT UNLESS ORIGINALLY SIGNED AND SEALED
BY ARCHITECT. BLUEPRINTS OR PHOTOCOPIES OF
SEAL AND SIGNATURE ARE INVALID. THESE PLANS
ARE FOR CONSTRUCTION OF ONE BUILDING ONLY
BY THE PERSON WHOSE NAME APPEARS ON THE
PLANS.

ISSUED / REVISIONS	
DESCRIPTION	DATE
ISSUED FOR ARCHITECTURAL REVIEW BOARD	04/29/2021
BAR MEETING	05/20/2021

OAKHURST LLC

NEW HOUSE

530 Oakhurst Road
Mamaroneck
New York 10543

NOTES



SHEET DESCRIPTION:

PROPOSED SITE
PLAN

SHEET No.

A-2.0

PHASE:



753 FOREST AVENUE
LARCHMONT, NY 10538
914.315.6323
LEWISANDLEWISARCHITECTS.COM

© COPYRIGHT 2021

UNAUTHORIZED ADDITION OR ALTERATION OF
THESE DRAWINGS IS A VIOLATION OF
SECTION 7209(2) OF THE NEW YORK STATE
EDUCATION LAW.

THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT. BLUEPRINTS OR PHOTOCOPIES OF SEAL AND SIGNATURE ARE INVALID. THESE PLANS ARE FOR CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSON WHOSE NAME APPEARS ON THE PLANS.

OAKHURST LLC

NEW HOUSE

530 Oakhurst Road
Mamaroneck
New York 10543

NOTES

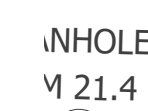


PROPOSED LANDSCAPE PLAN

SHEET No.

L-1

PHASE-



1 PROPOSED LANDSCAPE PLAN
SCALE : 1/8" = 1'-0"

OAKHURST ROAD

- 1

(4) BLACK CINCH-TIES WITH ONE TWIST NAILED TO STAKES W/GALVANIZED ROOFING NAIL
- 2

TOP OF STAKE TO BE CUT 6" BELOW TREE CANOPY
- 3

(3) 2" DIA. X 10' LONG LODGE POLES - PLACE OUTSIDE ROOTBALL
- 4

TOP OF ROOTBALL SHALL BE SET 1'-2" ABOVE FINISH GRADE
- 5

MULCH IF REQUIRED, REFER TO PLANTING SPECIFICATIONS. MULCH SHALL BE KEPT 4" AWAY FROM BASE OF TREE
- 6

4" HIGH WATER BASIN, REMOVE ONCE PLANT IS ESTABLISHED
- 7

CURB OR PAVING
- 8

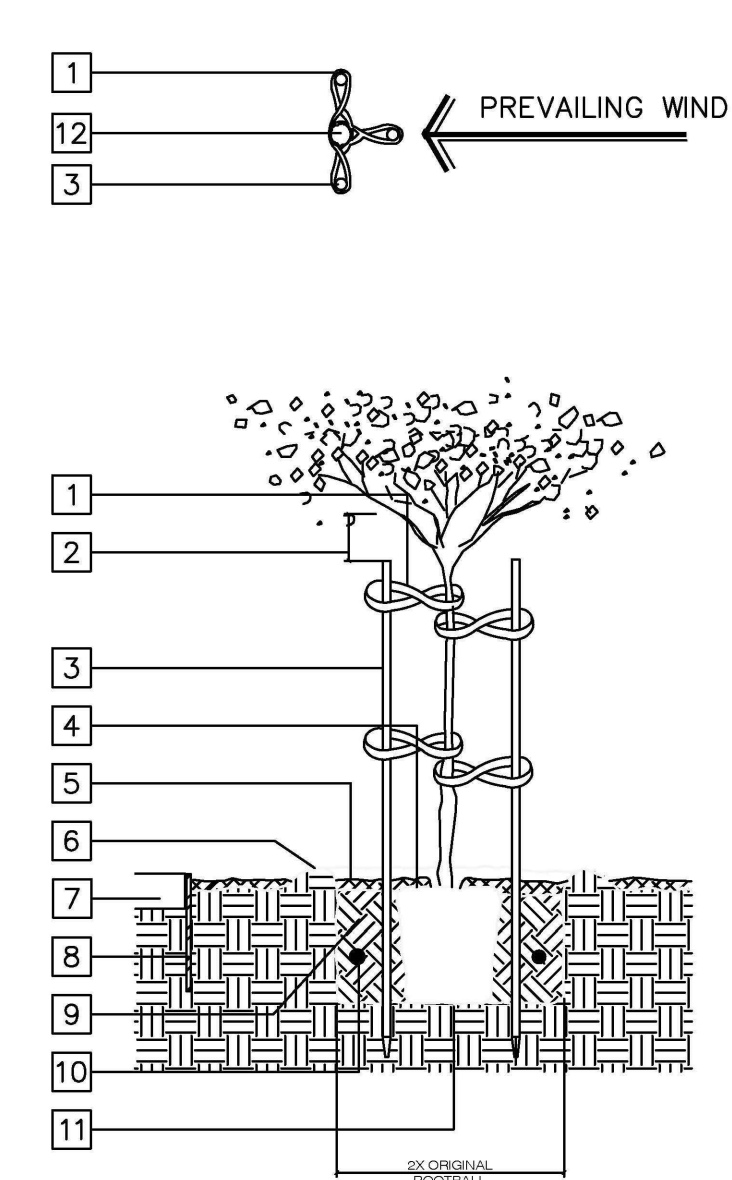
ROOT BARRIER - ALL TREES PLANTED WITHIN 6' OF PAVEMENT, CURBS, WALLS OR BUILDINGS SHALL BE INSTALLED WITH LINEAR ROOT BARRIERS - INSTALL AT LOCATIONS SHOWN ON PLANS PARALLEL TO CURB, WALLS, PAVING OR BUILDINGS - DO NOT ENCIRCLE ROOTBALLS AND EXTEND 8 MIN. EACH SIDE OF THE CENTER OF THE TREE - INSTALL PER MANUFACTURER'S RECOMMENDATIONS - REFER TO PLANTING SPECIFICATIONS FOR ADDITIONAL INFORMATION
- 9

BACKFILL MIX PER SOIL TEST
- 10

FERTILIZER PACKETS - REFER TO PLANTING SPECIFICATIONS
- 11

PLACE ROOTBALL ON NATIVE SUBGRADE
- 12

TREE TRUNK



NOTES:
A. TYPICAL TREE PLANTING FOR TREES 36" BOX SIZE AND SMALLER

1

TREE WITH ROOT BARRIER

SCALE : 1/4" = 1'-0"

- 1

MULCH LAYER - REFER TO PLANTING SPECIFICATIONS - MULCH SHALL BE KEPT 3" AWAY FROM BASE OF SHRUB
- 2

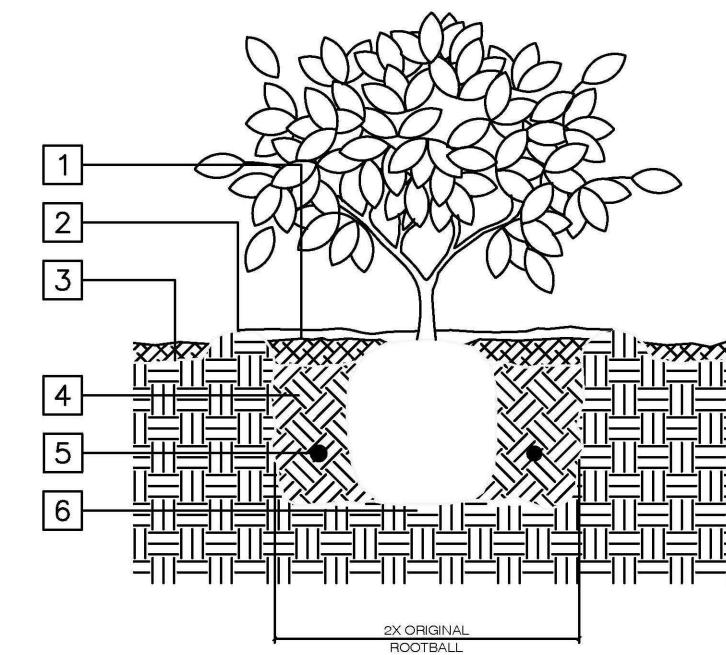
2" HIGH WATER BASIN, REMOVE ONCE PLANT IS ESTABLISHED
- 3

FINISH GRADE
- 4

BACKFILL MIX PER SOIL TEST
- 5

FERTILIZER PACKETS - REFER TO PLANTING SPECIFICATIONS
- 6

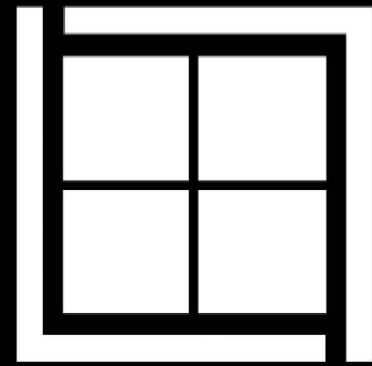
PLACE ROOTBALL ON NATIVE SUBGRADE - TOP OF ROOTBALL SHALL BE SET 1'-2" ABOVE FINISH GRADE



1

SHRUB PLANTING

SCALE : 1/2" = 1'-0"



LEWIS + LEWIS
ARCHITECTS

753 FOREST AVENUE
LARCHMONT, NY 10538
914.315.6323
LEWISANDLEWISARCHITECTS.COM

© COPYRIGHT 2021
UNAUTHORIZED ADDITION OR ALTERATION OF THESE DRAWINGS IS A VIOLATION OF SECTION7209(2) OF THE NEW YORK STATE EDUCATION LAW.

THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT. BLUEPRINTS OR PHOTOCOPIES OF SEAL AND SIGNATURE ARE INVALID. THESE PLANS ARE FOR CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSON WHOSE NAME APPEARS ON THE PLANS.

ISSUED / REVISIONS	
DESCRIPTION	DATE
ISSUED FOR ARCHITECTURAL REVIEW BOARD	04/29/2021
BAR MEETING	05/20/2021

OAKHURST LLC

NEW HOUSE

530 Oakhurst Road
Mamaroneck
New York 10543

NOTES



SHEET DESCRIPTION:
LANDSCAPE DETAILS
SHEET No.
L-2

PHASE:

LANDSCAPE PLANTING SPECIFICATIONS

1. SCOPE:
PROVIDE LABOR, MATERIALS, TOOLS, PERMITS, TAXES AND ALL OTHER COSTS CONSIDERED AS NECESSARY TO COMPLETE PLANTING WORK AS INDICATED AND SPECIFIED WITHIN THESE PLANS BY URBAN ARENA. THE INSTALLATION SHALL BE COMPLETE IN EVERY RESPECT TO THE SATISFACTION OF THE OWNER.

2. GENERAL CONDITIONS:

- 2.1. THE CONTRACTOR SHALL BE LICENSED OR CERTIFIED BY THE STATE OF CALIFORNIA, FOR THE TYPE OF WORK SHOWN ON THE PLANS.
2.2. THE CONTRACTOR SHALL CARRY ALL NECESSARY COMPENSATION AND LIABILITY INSURANCE TO COVER HIS WORKERS AND INSTALLATION SO AS TO OFFER FULL PROTECTION TO THE OWNER FROM ANY POSSIBLE DAMAGE SUIT OR LIEN ON THE OWNER'S PROPERTY.
2.3. LOCAL, MUNICIPAL AND STATE CODES, LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY MADE A PART OF THESE PLANS AND SPECIFICATIONS.
2.4. THE PLANTING DESIGN AS INDICATED ON THE PLANS IS DIAGRAMMATIC. SCALED DIMENSIONS ARE APPROXIMATE. VERIFY ALL SITE DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK.
2.5. DO NOT PROCEED WITH ANY WORK SHOULD THERE BE ANY UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DISCREPANCIES FOUND ON THE SITE OR ANY DISCREPANCIES WITHIN THE PLANS. IMMEDIATELY BRING DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. IF NOTIFICATION IS NOT PERFORMED THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR NECESSARY REVISIONS.
2.6. THE CONTRACTOR SHALL NOTE ALL EXISTING FINISH GRADES PRIOR TO COMMENCING WORK. RESTORE FINISH GRADES CHANGED DURING THE COURSE OF THE WORK TO ORIGINAL CONTOURS OR INTENDED CONTOURS WHERE PRACTICAL.
2.7. UPON AWARD OF THE CONTRACT, THE CONTRACTOR SHALL IMMEDIATELY LOCATE, ORDER AND PURCHASE, OR HAVE HELD, ALL SPECIFIED PLANT MATERIAL EXCLUDING PRE-SELECTED PLANT MATERIAL.
2.8. THE SITE SHALL BE KEPT CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS, AND RUBBISH INCIDENTAL TO THE WORK DURING THE CONSTRUCTION AND MAINTENANCE PERIOD.
2.9. THE OWNER'S REPRESENTATIVE SHALL HAVE THE RIGHT TO MAKE MINOR CHANGES IN THE PLANTING DESIGN AND INSTALLATION AT NO ADDITIONAL CHARGE.
2.10. PRIOR TO EXCAVATION FOR PLANTING, OR PLACING OF STAKES; LOCATE UTILITIES, ELECTRIC CABLES, CONDUITS, SPRINKLER LINES, HEADS, VALVES, AND VALVE CONTROL WIRES, SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DAMAGE SUCH IMPROVEMENTS. IN THE EVENT OF A CONFLICT BETWEEN SUCH LINES AND PLANT LOCATIONS, PROMPTLY NOTIFY THE LANDSCAPE ARCHITECT FOR RELOCATION OF ONE OR THE OTHER. FAILURE TO FOLLOW THIS PROCEDURE PLACES THE RESPONSIBILITY ON THE CONTRACTOR FOR MAKING REPAIRS AT HIS EXPENSE FOR DAMAGES RESULTING FROM WORK HEREUNDER.
2.11. NOTIFY LANDSCAPE ARCHITECT IN WRITING OF SOIL OR DRAINAGE CONDITIONS ENCOUNTERED DURING PLANTING OPERATIONS WHICH ARE DETRIMENTAL TO GROWTH OF PLANT MATERIAL.

3. SUBMITTALS:

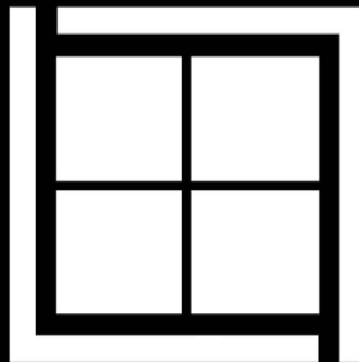
- 3.1. SOIL ANALYSIS:
3.1.1. AGRICULTURAL SUITABILITY TEST REPORT FOR ON SITE SOIL AND ON SITE TOPSOIL.
3.1.1.1. THE CONTRACTOR SHALL SUBMIT A REPORT TO THE OWNER'S REPRESENTATIVE PRIOR TO ORDERING SOIL AMENDMENTS OR PLANT MATERIALS.
3.1.1.2. VERIFY WITH LANDSCAPE ARCHITECT THE QUANTITY OF SAMPLES TO BE TAKEN (1 MINIMUM, 3 MAXIMUM BASED ON SIZE OF PROJECT).
3.1.1.3. EACH SAMPLE SHALL BE COMPRISED OF SITE SOIL FROM TWO LOCATIONS APPROXIMATELY 20'-50' APART TAKEN AT A DEPTH OF 6" TO 12", WITHIN PROPOSED PLANTING AREAS, AFTER COMPLETION OF GRADING AND PRIOR TO WEED CONTROL AND SOIL PREPARATION.
3.1.1.4. SUBMIT SAMPLES TO "WAYPOINT ANALYTICAL", 4741 EAST HUNTER AVE., SUITE A, ANAHEIM, CA 92807 (WAYPOINT) FOR SOIL EVALUATION.
3.1.1.5. REQUEST TESTING FOR AGRICULTURE FERTILITY AND SUITABILITY (TEST A05-2) WITH APPROPRIATE TRI-C PRODUCTS (TRI-C ENTERPRISES (800) 927-3311) AND WRITTEN RECOMMENDATIONS FOR SOILS AMENDMENT, HYDROSPRAY, SOD LAWN, SEED LAWN, AND POST-MAINTENANCE FERTILIZATION PROGRAMS.
3.1.1.6. SUBMIT COPIES OF THE REPORT TO THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE.
3.1.1.7. SOILS REPORT RECOMMENDATIONS SHALL TAKE PRECEDENCE OVER THE AMENDMENT AND FERTILIZER RATES SPECIFIED IN THESE PLANS.
3.1.2. IMPORT TOPSOIL:
THE CONTRACTOR SHALL HAVE OBTAINED RESULTS FROM SOIL TESTING TO DETERMINE IF SOIL IS TO BE IMPORTED, OR IF ON SITE SOIL WILL BE AMENDED.
3.1.2.1. FURNISH THE SOURCE OF IMPORTED TOPSOIL TO THE OWNER'S REPRESENTATIVE FOR APPROVAL. SUBMIT TEST RESULTS AND SCHEDULE OF RECOMMENDED SOIL AMENDMENT ADJUSTMENTS TO OWNER'S REPRESENTATIVE FOR APPROVAL.
3.2. PLANT MATERIALS:
3.2.1. LANDSCAPE ARCHITECT SHALL TAG ANY 60" BOX TREE OR LARGER. CONTRACTOR SHALL COORDINATE TREE TAGGING WITH LANDSCAPE ARCHITECT AND PROVIDE AT LEAST TWO TAGS PER TREE.
3.2.2. SUBMIT 3"X5" OR 4"X6" COLOR PRINT PHOTOGRAPHS 90 DAYS PRIOR TO INSTALLATION TO THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE OF EACH SPECIFIED TREE, SHRUB, AND GROUNDCOVER TAKEN AT THEIR SOURCES FOR APPROVAL. THE PHOTOS SHALL BE OF THE PLANT MATERIAL TO BE DELIVERED TO THE JOBSITE. ALL PLANT MATERIAL DELIVERED SHALL BE OF EQUAL OR BETTER QUALITY AS THE PHOTO GIVEN AS A REPRESENTATIVE SAMPLE.
3.2.3. IF ANY PLANT MATERIAL IS UNOBTAINABLE, SUBMIT A WRITTEN SUBSTITUTION REQUEST TO THE LANDSCAPE ARCHITECT DURING THE BIDDING PERIOD.
3.3. WRITTEN GUARANTEE:
3.3.1. ALL TREES SHALL BE GUARANTEED, IN WRITING, TO LIVE IN A HEALTHY CONDITION FOR 1 YEAR FOLLOWING THE DATE OF COMPLETION OF THE SPECIFIED MAINTENANCE PERIOD. THIS DATE SHALL BE DETERMINED BY THE OWNER'S REPRESENTATIVE AT THE TIME OF THE FINAL MAINTENANCE WALKTHROUGH.
3.3.2. ALL PALM TREES SHALL BE GUARANTEED, IN WRITING, TO LIVE IN A HEALTHY CONDITION FOR 2 YEARS FOLLOWING THE DATE OF COMPLETION OF THE SPECIFIED MAINTENANCE PERIOD. THIS DATE SHALL BE DETERMINED BY THE OWNER'S REPRESENTATIVE AT THE TIME OF THE FINAL MAINTENANCE WALKTHROUGH.
3.3.3. REPLACE DEAD, DAMAGED, OR UNHEALTHY TREES, PER THE ORIGINAL DETAILS IMMEDIATELY UPON NOTIFICATION BY THE OWNER'S REPRESENTATIVE. (THIS WILL BE AT NO COST TO THE OWNER.) REPLACEMENT TREES SHALL MEET THE SAME SPECIFICATIONS AS THE ORIGINAL TREES. REPLACEMENT TREES SHALL BE GUARANTEED FOR 1 YEAR, 2 YEARS FOR PALM TREES, FOLLOWING THEIR INSTALLATION AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
3.3.4. ALL SHRUBS, VINES AND GROUNDCOVER SHALL BE GUARANTEED FOR THE LENGTH OF THE MAINTENANCE PERIOD.
3.4. STATEMENTS OF CONFIRMATION:
THE CONTRACTOR SHALL SUBMIT TO THE OWNER'S REPRESENTATIVE, THE FOLLOWING ITEMS:
3.4.1. SUBMIT, AT THE TIME OF DELIVERY, ORIGINAL INVOICE STATEMENTS FOR ORGANIC AMENDMENTS AND FERTILIZERS CERTIFYING DELIVERY TO THE SITE AND QUANTITIES BY BULK AND/OR WEIGHT.
3.4.2. SUBMIT SUPPLIER'S STATEMENTS OF CERTIFICATION RECORDING COMPLIANCE OF ORGANIC AMENDMENTS AND FERTILIZERS WITH THESE SPECIFICATIONS.
3.4.3. SUBMIT ORIGINAL RECEIPTS AND/OR CERTIFICATES FOR THE FOLLOWING ITEMS UPON DELIVERY TO THE JOB SITE:
3.4.3.1. QUANTITY OF TRI-C (TRI-C ENTERPRISES (800) 927-3311) FERTILIZER AND ORGANIC AMENDMENTS
3.4.3.2. QUANTITY OF SOIL AMENDMENTS.
3.4.3.3. QUANTITY OF TRI-C ENDO 120 MYCORRHIZAL INOCULUM.
3.4.3.4. QUANTITY OF OTHER SOIL ADDITIVES PER AGRONOMIC SOILS TEST REPORT.
3.4.4. SUBMIT WRITTEN CERTIFICATE OF DELIVERY OF CONTAINER OR BULK MATERIALS.
3.4.5. SUBMIT WRITTEN CERTIFICATE OF QUANTITY AND QUALITY OF PLANT MATERIALS.

4. MATERIALS:

- 4.1. GENERAL:
PROVIDE MATERIALS OF BEST QUALITY OBTAINABLE WHICH COMPLY WITH THE PLANS. NO SUBSTITUTION OF SPECIFIED MATERIALS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
4.2. IMPORT SOIL:
THE CONTRACTOR SHALL HAVE OBTAINED RESULTS FROM SOIL TESTING TO DETERMINE IF SOIL IS TO BE IMPORTED OR IF ON SITE SOIL WILL BE AMENDED.
4.2.1. IMPORT SOIL SHALL BE NATURAL FERTILE, FRIABLE SOIL FREE OF ROOTS, CLODS AND STONES LARGER THAN 1" IN DIAMETER, WEEDS, STICKS, BRUSH, OTHER LITTER, AND INFESTATION OF UNDESIRABLE INSECTS, AND PLANT PATHOGENS. SILT PLUS CLAY CONTENT OF SOIL SHALL NOT EXCEED 15% BY WEIGHT WITH A MINIMUM 95% PASSING THROUGH A 2.0 MILLIMETER SIEVE.
4.2.2. SALINITY: THE SATURATION EXTRACT CONDUCTIVITY SHALL NOT EXCEED 3.5 MILLIMOHS/CM AT 25° C.
4.2.3. BORON: THE CONCENTRATION IN THE SATURATION EXTRACT SHALL NOT EXCEED 10 PPM.
4.2.4. SODIUM: THE SODIUM ABSORPTION RATIO (SAR) AS CALCULATED FROM ANALYSIS OF SATURATION EXTRACT SHALL NOT EXCEED 4.0 PPM.
4.2.5. SAMPLES OF THE IMPORT SOIL SHALL BE SUBMITTED TO THE 'SOIL AND PLANT LABORATORY' FOR ANALYSIS, INTERPRETATION, AND RECOMMENDATIONS. CONTRACTOR SHALL SUBMIT A SOILS REPORT FROM THE SPECIFIED LAB TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO SOIL USE ON SITE.
4.3. RAISED PODIUM PLANTER BACKFILL MIX:
4.3.1. THE SURFACE 12" LAYER SHALL CONSIST OF A BLEND 65% APPROVED FINE SAND AND 35% 0"-1/4" RAW RIF OR PINE BARK. THE SURFACE 12" LAYER SHALL HAVE AN ESTIMATED DRY BULK DENSITY OF 1,900 LBS. / CU. YD. (70.4 LBS. / CU. FT.) AND AN ESTIMATED WET BULK DENSITY OF 2,400 LBS. / CU. YD. (88.9 LBS. / CU. FT.). THE FOLLOWING SHOULD BE ADDED AND UNIFORMLY BLENDED PRIOR TO PLACING IN THE PLANTERS:
AMOUNT / CU. YD.
6-20-20 COMMERCIAL FERTILIZER: 2 LBS.
NITROFORM: 2 LBS.
CALCIUM CARBONATE LIMESTONE: 3 LBS.
DOLOMITE LIME: 2 LBS.
IRON SULFATE: 1 LB.
4.3.1.1. THE SELECTED SAND SHALL MEET THE FOLLOWING GRADATION:
SIEVE NO. (US STANDARD) WEIGHT % PASSING
100 100
18 95-100
35 65-100
60 0-50
140 0-10
270 0-5

- 4.3.1.1.1. ESTIMATED DRY BULK DENSITY 2,500 LBS. / CU. YD. (92.6 LBS. / CU. FT.)
4.3.1.1.2. ESTIMATED WET BULK DENSITY 3,000 LBS. / CU. YD. (111.1 LBS. / CU. FT.)
4.3.1.2. THE SELECTED FIR OR PINE BARK SHALL MEET THE FOLLOWING GRADATION:
SIEVE SIZE PERCENT PASSING
9.51 MM (3/8") 100
6.35 MM (1/4") 95
500 MICRON (.02") 0-30
4.3.1.2.1. MINIMUM 90% ORGANIC BY DRY WEIGHT AS DETERMINED BY ASH METHOD.
4.3.1.2.2. PH SHALL BE IN THE RANGE OF 4.0 - 5.5 AS DETERMINED IN SATURATION PASTE.
4.3.1.2.3. SALINITY SHALL NOT EXCEED 2.0 DS/M AS DETERMINED IN SATURATION EXTRACT.
4.3.2. RAISED PODIUM PLANTERS DEEPER THAN 12" SHALL BE FILLED WITH 100% APPROVED FINE SAND (SEE SPECIFICATIONS ABOVE) FROM THE BOTTOM OF THE PLANTER UP TO THE 12" LAYER OF SURFACE SOIL LAYER.
4.3.3. SAMPLES OF THE RAISED PODIUM PLANTER BACKFILL SAND AND FIR OR PINE BARK SHALL BE SUBMITTED TO THE 'SOIL AND PLANT LABORATORY' FOR ANALYSIS, INTERPRETATION, AND RECOMMENDATIONS. CONTRACTOR SHALL SUBMIT A SOILS REPORT FROM THE SPECIFIED LAB TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO SOIL USE ON SITE.
4.4. PLANTER POT MIX (EXCLUDES RAISED PODIUM PLANTERS):
SUPER SOIL - ROD MCLELLAN COMPANY
BANDINI #105 - BANDINI FERTILIZER COMPANY
4.5. WEED CONTROL:
4.5.1. PRE-PLANTING HERBICIDE: ROUNDUP OR EQUAL.
4.5.2. PRE-EMERGENT WEED CONTROL: RONSTAR-G, TREFLAN, EPTAM, VEGITEX, OR EQUAL.
4.6. ORGANIC AMENDMENT / COMPOST:
4.6.1. COMPOST WILL BE LOCALLY PRODUCED FROM GREEN WASTE AT A COMPOST FACILITY LICENSED BY THE STATE OF NEW YORK. HUMIC COMPOST PRODUCED BY AGRI SERVICE, INC. (800-262-4167) OR EQUAL IS ACCEPTABLE.
4.6.2. COMPOST SHALL BE FREE FROM WEED SEEDS, PESTS AND PATHOGENS AS A RESULT OF THE PATHOGEN REDUCTION PROCESS SPECIFIED BY TITLE 14.
4.6.3. SLUDGE-BASED MATERIALS ARE NOT ACCEPTABLE.
4.6.4. THE COMPOST SHALL BE AEROBIC WITHOUT MALODOROUS PRESENCE OF DECOMPOSITION PRODUCTS.
4.6.5. CARBON: NITROGEN RATIO IS LESS THAN 25:1
4.6.6. THE LINES AND PLANT LOCATIONS SHALL BE NO DEEPER THAN 0.5 INCH. 80% OR MORE SHALL PASS A NO. 4 SCREEN FOR SOIL AMENDING. THE MAXIMUM PARTICLE SIZE SHALL BE 0.25 INCH FOR HYDROSEEDING.
4.6.7. COMPOST SHALL CONFORM TO THE FOLLOWING:
PH: 6.0-8.0
MOISTURE CONTENT: 30-60
ORGANIC MATTER CONTENT: 50% MIN.
BORON CONTENT OF SATURATED EXTRACT: LESS THAN 10 PARTS / MILLION
SALT CONTENT: LESS THAN 10 MILLIMOHS/CM @ 25° C IN A SATURATED PASTE EXTRACT
4.7. FERTILIZERS AND MINERALS:
4.7.1. PROVIDE COMMERCIAL FERTILIZER: UNIFORM IN COMPOSITION, FREE-FLOWING, SUITABLE FOR APPLICATION WITH EQUIPMENT, DELIVERED TO THE SITE IN UN-OPENED CONTAINERS, EACH FULLY LABELED ACCORDING TO APPLICABLE FERTILIZER LAWS, AND BEARING THE NAME OR MARK OF THE MANUFACTURER. TRI-C (TRI-C ENTERPRISES (800) 927-3311) FERTILIZER AND ORGANIC SOIL AMENDMENTS:
4.7.1.1. SOIL PREPARATION _____
4.7.1.2. MAINTENANCE _____
*TRI-C FERTILIZER AND ORGANIC SOIL AMENDMENT TYPE SHALL BE BASED ON RECOMMENDATION GIVEN IN THE SOILS ANALYSIS BY 'SOIL AND PLANT LABORATORY'.
4.7.2. SOIL SULFUR: FIRST QUALITY COMMERCIAL GRADE. 95% MINIMUM ELEMENTAL SULFUR.
4.7.3. IRON SULFATE [FE2 (SO4)]: FIRST QUALITY COMMERCIAL GRADE 20% MINIMUM FE, AS METALLIC.
4.7.4. AGRICULTURAL GYPSUM (CALCIUM SULFATE, CA SO4 2HO): FIRST QUALITY COMMERCIAL GRADE, 23% CA.
4.7.5. CALCIUM CARBONATE LIME: FIRST QUALITY COMMERCIAL LIME.
4.7.6. PLANTING PACKS: "BEST-PAKS" TO GRAM PACKETS WITH A 20-10-5 GRADE AS MANUFACTURED BY SIMPLOT TURF AND HORTICULTURE (800) 992-6066.
4.7.7. MYCORRHIZAL INOCULUM IN PACKETS: "MYCO PAK" AS MANUFACTURED BY TRI-C ENTERPRISES (800) 927-3311.
4.8. PLANT MATERIAL:
4.8.1. QUALITY: HEALTHY, VIGOROUS, NORMAL HABIT; FREE OF WEEDS, INSECT INFESTATION, PLANT DISEASE, SUN SCALDS, BROKEN FOLIAGE, ABRASIONS OF THE BARK, AND OTHER DISFIGUREMENTS. QUALITY IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS SHALL BE DETERMINED BY THE OWNER'S REPRESENTATIVE.
4.8.2. SIZE: THAT NORMALLY EXPECTED FOR COMMERCIALLY AVAILABLE NURSERY STOCK FOR TREES, SHRUBS AND VINES. SPECIFY SIZE IN THESE PLANS. THE ROOT BALL SHALL FILL THE CONTAINER BUT NOT BE ROOT BOUND. SIZE IN ACCORDANCE WITH THESE SPECIFICATIONS SHALL BE DETERMINED BY THE OWNER'S REPRESENTATIVE.
4.8.3. REJECTION OR SUBSTITUTION: REMOVE REJECTED PLANT MATERIAL FROM THE SITE IMMEDIATELY AND REPLACE AT NO ADDITIONAL COST TO THE OWNER. SUBSTITUTIONS SHALL NOT BE PERMITTED UNLESS EXPRESSED CONSENT IS RECEIVED FROM THE OWNER'S REPRESENTATIVE.
4.8.4. PROTECTION: HEDGE PLANT MATERIAL SHALL BE PROTECTED FROM SUN, WIND, AND OTHER INJURIES OR DAMAGE. INJURY OR DAMAGE SHALL BE CAUSE FOR REJECTION EVEN AFTER INITIAL REVIEW.
4.8.5. QUANTITIES: CIRCLES, DOTS, OR OTHER PLANT SYMBOLS USED WITHIN THE PLANS ARE THE AUTHORITY TO PLANT COUNTS AND SHALL DETERMINE QUANTITIES PROVIDED. QUANTITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND ARE ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. PLANT SYMBOLS AND/OR "ON CENTER" SPACING TAKE PRECEDENCE OVER PLANT QUANTITIES SPECIFIED. CONTRACTOR SHALL INFORM OWNER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN QUANTITIES AND SYMBOLS SHOWN.
4.9. MULCH:
4.9.1. MULCH: MULCH SHALL BE "1/2" - 3" FOREST MULCH" AS MANUFACTURED BY AGRI SERVICE, INC. (800) 262-4167, OR 0"-2" FOREST FLOOR AS MANUFACTURED BY AGUINAGA FERTILIZER CO., INC. (949) 786-9558.
4.10. ACCESSORIES:
4.10.1. TREE TIES: COMMERCIALLY MANUFACTURED TIES FROM BLACK TIRE CASINGS, CUT TO A MINIMUM 10" LENGTH AND HELD IN PLACE BY 12 GAUGE GALVANIZED WIRE OR SPLIT PLASTIC HOSE WITH A MINIMUM LENGTH OF 15". SPLIT PLASTIC HOSE SHALL BE "CINCH TIE" OR APPROVED EQUAL.
4.10.2. TREE STAKES: 10' LONG, STRAIGHT GRAINED DOUGLE FINE, FREE OF KNOTS, CHECKS, SPLITS AND DISFIGUREMENTS, TREATED WITH COPPER NAPHTHATE.
5. INSTALLATION:
5.1. PERCOLATION TESTING:
5.1.1. UPON COMPLETION OF THE ROUGH GRADING OF THE SITE, THE OWNER'S REPRESENTATIVE SHALL IDENTIFY A TYPICAL LOCATION FOR 1 OF THE LARGEST SPECIMEN BOX TREES, THE CONTRACTOR SHALL EXCAVATE THE PIT FOR THE TREE PER THE PROJECT SPECIFICATIONS AND DETAILS.
5.1.2. WITH THE OWNER PRESENT, THE CONTRACTOR SHALL FILL THE PIT WITH WATER TO A DEPTH OF 12", IF POSSIBLE. THE LENGTH OF TIME REQUIRED FOR THE WATER TO PERCOLATE INTO THE SOIL, LEAVING THE PIT EMPTY, WILL BE MEASURED BY THE CONTRACTOR AND VERIFIED BY THE OWNER'S REPRESENTATIVE.
5.1.3. WITHIN 6 HOURS OF THE TIME THE WATER HAS DRAINED FROM THE PIT THE CONTRACTOR, WITH THE OWNER PRESENT, SHALL AGAIN FILL THE PIT WITH WATER TO A DEPTH OF 12". IF WATER DOES NOT COMPLETELY PERCOLATE INTO THE SOIL WITHIN 9 HOURS A DETERMINATION WILL BE MADE BY THE OWNER AS TO WHETHER OR NOT A DRAINAGE SYSTEM TO EACH TREE WILL BE REQUIRED.
5.2. WEED CONTROL:
5.2.1. MANUALLY REMOVE ALL EXISTING WEEDS AND GRASSES AND REMOVE FROM SITE.
5.2.2. APPLY 200 LBS./ACRE COMMERCIAL FERTILIZER TO ALL PLANTING AREAS. IRRIGATE 4 TIMES PER DAY DURING THE SUMMER SEASON AND 2 TIMES PER DAY DURING OTHER SEASONS FOR 3 WEEKS TO GERMINATE SEEDS.
5.2.3. DISCONTINUE IRRIGATION FOR 2 DAYS AND APPLY A NON-SELECTIVE CONTACT HERBICIDE, PER MANUFACTURER'S DIRECTION, TO ERADICATE GERMINATED WEEDS AND GRASSES. ALLOW HERBICIDE TO KILL WEEDS AND GRASSES. MANUALLY REMOVE WEEDS AND GRASSES FROM SITE. MINIMIZE SOIL DISURBANCE ON SLOPED AREAS OF THE SITE.
5.2.4. IF WEEDS AND GRASSES STILL EXIST, IRRIGATE 4 OR 2 TIMES PER DAY, AS ABOVE, FOR 2 WEEKS OR UNTIL NEW GROWTH APPEARS. REAPPLY HERBICIDE PER MANUFACTURER'S DIRECTION. ALLOW HERBICIDE TO KILL WEEDS AND GRASSES. MANUALLY REMOVE WEEDS AND GRASSES FROM THE SITE.
5.2.5. NO PRE-EMERGENT HERBICIDE SHALL BE USED IN LANDSCAPE AREAS TO BE SEEDED.
5.2.6. CONTRACTOR SHALL OBTAIN APPROVAL BY THE OWNER TO APPLY ANY HERBICIDE, INSECTICIDE, FUNGICIDE, OR OTHER CHEMICALS TO BE USED ON SITE. CONTRACTOR SHALL ABIDE BY ALL APPLICABLE GOVERNMENTAL STANDARDS REGULATING THE APPLICATION OF ANY CHEMICALS, AND SHALL FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS. ALL WORKERS APPLYING SUCH CHEMICALS SHALL BE LICENSED IF REQUIRED BY LAW.
5.3. DELIVERY AND STORAGE:
5.3.1. CONTRACTOR SHALL DELIVER SOIL AMENDMENTS TO THE SITE IN THE ORIGINAL UN-OPENED CONTAINERS, BEARING THE MANUFACTURER'S GUARANTEED CHEMICAL ANALYSIS, NAME, TRADE NAME OR TRADEMARK, AND STATEMENT INDICATING CONFORMANCE TO STATE AND FEDERAL LAW. IN LIEU OF CONTAINERS, SOIL AMENDMENTS MAY BE FURNISHED IN BULK. A CERTIFICATE INDICATING THE ABOVE INFORMATION SHALL ACCOMPANY EACH DELIVERY.
5.3.2. CONTRACTOR SHALL ARRANGE FOR OWNER'S REPRESENTATIVE TO CERTIFY ALL UN-OPENED FERTILIZER PACKAGES ON SITE. FERTILIZER PACKAGES SHALL NOT BE REMOVED FROM SITE UNTIL AFTER INCORPORATION INTO SOIL AS PER SPECIFICATIONS, AND ONLY WHEN DIRECTED BY OWNER'S REPRESENTATIVE.
5.3.3. CONTRACTOR SHALL STORE AND PROTECT PLANTS NOT INSTALLED ON THE DAY OF ARRIVAL AT THE SITE.
5.4. SOIL PREPARATION:
THE CONTRACTOR SHALL HAVE OBTAINED RESULTS FROM SOIL TESTING TO DETERMINE IF SOIL IS TO BE IMPORTED OR IF ON SITE SOIL WILL BE AMENDED. FINISH GRADING, MOUNDING, SOILS TESTING AND WEED CONTROL SHALL BE COMPLETED PRIOR TO SOIL PREPARATION.
5.4.1. IMPORT TOP SOIL:
5.4.1.1. SPREAD TOPSOIL 2" DEEP EVENLY OVER ALL LAWN AND SHRUB AREAS WITH A GRADIENT OF 3:1 OR LESS.
5.4.1.2. LIGHTLY WATER TOPSOIL UNTIL ENTIRE LAYER IS MOIST.
5.4.1.3. ROLL TOPSOIL WITH WATER BALLAST ROLLER FORMING AN EVEN GRADE, OBTAINING POSITIVE CONTACT BETWEEN TOPSOIL AND SITE SOIL.
5.4.1.4. CONTINUE SPREADING, WATERING AND ROLLING TOPSOIL UNTIL AN EVEN 6" LAYER MEASURED FROM EXISTING GRADE IS OBTAINED OVER ALL LAWN AND SHRUB AREAS WITH A GRADIENT OF

- 3:1 OR LESS.
5.4.2. AMENDING ON SITE SOIL (FOR TURF AND GROUNDCOVER AREAS WITH SLOPES OF 3:1 OR LESS):
5.4.2.1. CROSS-RIP ON GRADE PLANTING AREAS TO A DEPTH OF 10"-12" IN 2 DIRECTIONS.
5.4.2.2. APPLY 1,000 LB. SQ. FT. OF PLANTING AREA. FERTILIZER RATES MAY BE ADJUSTED BY THE SOILS REPORT AND ARE FOR BIDDING PURPOSES ONLY.
ORGANIC AMENDMENT / COMPOST: 2 CU. YARDS
TRI-C HUMATE PLUS: 75 LBS.
TRI-C ENDO 120: 1-1/2 LBS.
COMMERCIAL FERTILIZER 6-20-20: 20 LBS.
SOIL SULFUR: 50 LBS.
AGRICULTURAL GYPSUM: 100 LBS.
5.4.2.3. BROADCAST THE ORGANIC SOIL AMENDMENTS UNIFORMLY OVER SURFACE OF THE AREA TO BE TREATED. INCORPORATE INTO THE SITE SOIL BY CULTIVATION, SPADING, OR ROTO-TILLING, TO A DEPTH OF 6" AND FINE GRADE TO SPECIFIED DEPTH BELOW ADJACENT PAVING AND CURBS. REMOVE FROM ALL PLANTING AREAS, ROCKS AND DEBRIS LARGER THAN 1" AND REMOVE FROM THE SITE. CLEAN MINERAL AND AMENDMENT STAINS FROM PAVING.
5.4.2.4. MOISTURE CONTENT: THE SOIL SHALL NOT BE WORKED WHEN THE MOISTURE CONTENT IS SO GREAT THAT EXCESSIVE COMPACTION WILL OCCUR, AND NOT WHEN IT IS SO DRY THAT DUST WILL FORM IN THE AIR. WATER SHALL BE APPLIED, IF NECESSARY, TO PROVIDE IDEAL MOISTURE CONDITIONS.
5.4.3. BACKFILL MIX OR PLANTING PITS NOT WITHIN RAISED PODIUM PLANTERS):
5.4.3.1. STANDARD BACKFILL MIX: USE IMPORT TOPSOIL, OR ON SITE SOIL BASED ON THE SOILS REPORT. THIS MIX MAY BE ADJUSTED BY THE SOILS REPORT AND IS FOR BIDDING PURPOSES ONLY. BLEND PER CUBIC YARD:
TOPSOIL/IMPORT SOIL: 3 PARTS BY VOLUME
ORGANIC AMENDMENT: 1 PART BY VOLUME
TRI-C HUMATE PLUS: 6 LBS.
AGRICULTURAL GYPSUM: 5 LBS.
COMMERCIAL FERTILIZER 6-20-20: 2 LBS.
5.4.4. RAISED PODIUM PLANTER BACKFILL:
5.4.4.1. INSTALL BACKFILL ONLY AFTER WATERPROOFING, DRAIN LINES, IRRIGATION LINES, AND ELECTRICAL WIRES HAVE BEEN INSTALLED.
5.4.4.2. PLACE RAISED PODIUM PLANTER BACKFILL IN ALL RAISED PLANTERS IN 6" LIFTS.
5.4.4.3. LIGHTLY MOISTEN AND COMPACT WITH WATER BALLAST ROLLER AND HAND TAMPING TO FORM AN EVEN LAYER.
5.4.4.4. CONTINUE PLACING, WATERING AND HAND TAMPING UNTIL RAISED PLANTER BACKFILL FORMS AN EVEN LAYER AT THE SPECIFIED DEPTH BELOW THE TOP OF THE PLANTER AND OBTAINS POSITIVE DRAINAGE TO DRAIN INLETS.
5.5. FINISH GRADING:
5.5.1. PRIOR TO THE COMMENCEMENT OF PLANTING OPERATIONS, COMPLETE FINISH GRADING AS SPECIFIED.
5.5.2. WHEN PRELIMINARY GRADING, INCLUDING WEEDING AND FERTILIZING HAS BEEN COMPLETED, AND THE SOIL HAS DRIED SUFFICIENTLY TO BE READILY WORKED, PLANTING AREAS SHALL BE GRADED TO UNIFORM LEVELS OR SLOPES AT A MINIMUM OF 2% MINOR ADJUSTMENTS TO FINISH GRADES SHALL BE MADE IN THE DIRECTION OF THE FLOW. LOW SPOTS AND POCKETS SHALL BE GRADED TO DRAIN PROPERLY. GRADING SHALL BE DONE WHEN SOIL IS AT OPTIMUM MOISTURE CONTENT FOR WORKING. ROCK AND DEBRIS MORE THAN 1" IN DIAMETER SHALL BE REMOVED FROM THE SITE.
5.6. PLANTING:
5.6.1. TREES, SHRUBS AND VINES:
5.6.1.1. THE OWNER'S REPRESENTATIVE SHALL APPROVE THE PLACEMENT OF ALL PLANT MATERIAL BEFORE PLANTING PITS ARE EXCAVATED. THE CONTRACTOR SHALL LAYOUT PLANT LOCATIONS FOR SHRUBS AND VINES, OR PLACE SPECIFIED QUANTITIES OF PLANTS IN CONTAINERS AT LOCATIONS SHOWN ON PLANS. CONTRACTOR SHALL LOCATE TREES 24" BOX AND SMALLER WITH MARKER STAKES. CONTRACTOR SHALL LOCATE TREES 30" AND LARGER WITH MARKER STAKES, AND FLAG THE NORTH SIDE OF EACH TREE. CONTRACTOR SHALL HAVE ALL PLANT MATERIAL LOCATED PRIOR TO THE SITE VISIT BY THE OWNER'S REPRESENTATIVE.
5.6.1.2. PLANT MATERIALS AS SOON AS SITE IS AVAILABLE AND WEATHER CONDITIONS ARE SUITABLE FOR PERFORMANCE AND THE SEQUENCE OF THE SPECIFICATIONS. DO NOT PLANT IF THE SOIL IS EXCESSIVELY WET.
5.6.1.3. EXCAVATE PLANT PITS 2 TIMES WIDER THAN THE PLANT CONTAINER. EDGES SHALL BE 6" OR MORE AWAY FROM CURBS AND PAVING.
5.6.1.4. SET PLANTS IN CENTER OF PITS, IN VERTICAL POSITION SO THAT CROWN OF PLANT IS 1" ABOVE ADJACENT FINISH GRADE. BACKFILL PLANT PIT WITH BACKFILL MIX TO 1/2 THE HEIGHT OF THE ROOT BALL AND WATER.
5.6.1.5. PLANTING PACKETS: PLACE PER THE FOLLOWING SCHEDULE:
1 GAL. 1 10 GRAM PACKET
5 GAL. 3 10 GRAM PACKETS
15 GAL. - 24" BOX 9 10 GRAM PACKETS
30" BOX - 36" BOX 12 10 GRAM PACKETS
42" BOX - 48" BOX 15 10 GRAM PACKETS
5.6.1.6. TRI-C MYCO PAKS (TEABAG): PLACE PER THE FOLLOWING SCHEDULE:
1 GAL. 1 PACKET
5 GAL. 3 PACKETS
15 GAL. - 24" BOX 8 PACKETS
30" BOX - 36" BOX 18 PACKETS
42" BOX - 48" BOX 20 PACKETS
NOTE: THERE MUST BE DIRECT CONTACT BETWEEN PLANT'S ROOTS AND MYCO PAKS TO ENCOURAGE INOCULATION. THEREFORE, PLACE PAKS EQUAL TO THE CROWN OF THE ROOTBALL WHEN USING MORE THAN 1 PAK. REFER TO MANUFACTURER'S SPECIFICATIONS.
5.6.1.7. CONTINUE BACKFILLING AND FORM SHALLOW BASIN AROUND EACH EDGE OF ROOT BALL BY DEPRESSING SOIL SLIGHTLY BELOW FINISH GRADE. FORM BASIN RIMS, KEEPING RIM WITHIN OUTER EDGES OF ROOT BALL. WATER TO SATURATE ROOTS AND FINISH BACKFILL AROUND ROOT BALL.
5.6.1.8. FINE GRADE AREAS AROUND PLANTS TO SPECIFIED FINISH GRADE AND DISPOSE OF EXCESS SOIL.
5.6.1.9. REMOVE STAKES AND ESPALIER RACKS AND SECURE VINES TO ADJACENT SURFACES AS FOLLOWS:
WOOD FENCES, FREE STANDING & RETAINING MASONRY WALLS: USE SCREW EYES OR METAL FASTENERS AND HEAVY DUTY CLEAR PLASTIC TIES (UNLESS OTHERWISE NOTED IN DETAILS).
BUILDING WALLS: USE PLASTIC FASTENERS SILICONED TO ADJACENT WALLS WITH HEAVY DUTY CLEAR PLASTIC TIES.
5.6.1.10. TREES SHALL BE PLANTED AT LEAST 5' FROM ANY DRIVEWAY, DRAINAGE FLOW LINE, FIRE HYDRANTS, UNDERGROUND UTILITIES SUCH AS SEWERS, WATERLINES, GAS LINES, AND BUILDINGS.
5.6.1.11. TREES SHALL BE PLANTED AT LEAST 25' FROM ANY STREET INTERSECTIONS, PEDESTRIAN CROSSWALKS, AND 10' FROM STREET LIGHT STANDARDS.
5.6.1.12. PLANTINGS SHALL NOT BE LOCATED SUCH THAT THEY WOULD CAUSE A LINE OF SIGHT PROBLEM FOR VEHICULAR TRAFFIC.
5.6.2. GROUNDCOVER AND ANNUALS:
5.6.2.1. AMEND PLANTING AREA AS NOTED IN "SOIL PREPARATION" ABOVE.
5.6.2.2. PLANT GROUNDCOVER/ANNUAL COLOR TO COVER THE DESIGNATED AREAS AT THE SPECIFIED ON CENTER SPACING.
5.6.2.3. ALL GROUNDCOVER/ANNUAL COLOR SHALL EXTEND UNDERNEATH ALL TREES AND SHRUBS IN PLANTING BEDS.
5.6.2.4. PLANT GROUNDCOVER/ANNUAL COLOR IN STRAIGHT ROWS, EVENLY SPACED USING TRIANGULAR SPACING UNLESS OTHERWISE NOTED ON PLANS.
5.6.2.5. INSTALL 1 - 10 GRAM FERTILIZER PACKET WITH EACH GROUNDCOVER PLANT.
5.6.2.6. MOISTEN SOIL BEFORE PLANTING. RETAIN SLIGHT DEPRESSION AROUND EACH PLANT, FINISH WITH NEAT AND UNIFORM FINISH GRADES.
5.6.2.7. HAND WATER IMMEDIATELY AFTER PLANTING. PLANTS SHALL NOT BE ALLOWED TO DRY OUT BEFORE, DURING, OR AFTER INSTALLATION. CONTINUE TO HAND WATER AS REQUIRED FOR 1 MONTH.
5.7. MULCH:
5.7.1. SHRUB AND GROUNDCOVER AREAS EXCLUDING ANNUAL COLOR SHALL RECEIVE 3" OF MULCH, AS SPECIFIED UNDER MATERIALS.
5.8. ACCESSORIES:
5.8.1. TREE TIES: WHEN USED AT CONTRACTOR'S DISCRETION, INSTALL PER DETAIL.
5.8.2. TREE STAKES: WHEN USED AT CONTRACTOR'S DISCRETION, INSTALL PER DETAIL.
5.9. MAINTENANCE:
5.9.1. MAINTAIN PROJECT FOR A PERIOD OF 90 CALENDAR DAYS, FOLLOWING THE CORRECTION AND/OR COMPLETION OF PRE-MAINTENANCE WALKTHROUGH PUNCH LIST ITEMS IDENTIFIED BY THE OWNER'S REPRESENTATIVE. MAINTENANCE PERIOD SHALL NOT COMMENCE UNTIL EVIDENCE OF OWNER'S REPRESENTATIVE'S SATISFACTION IS RECEIVED IN WRITING.
5.9.2. MAINTENANCE RESPONSIBILITIES SHALL INCLUDE BUT NOT BE LIMITED TO MOWING, TRIMMING, PRUNING, WATERING, FERTILIZATION, WEED CONTROL, CULTIVATION, PEST CONTROL, LITTER CLEAN-UP, OPERATION / ADJUSTMENT AND REPAIR OF THE IRRIGATION SYSTEM.
5.9.3. THE CONTRACTOR SHALL MAKE WEEKLY (MINIMUM) VISITS TO THE SITE TO PERFORM MAINTENANCE RESPONSIBILITIES.
5.9.4. APPLY COMMERCIAL FERTILIZER AT THE RATE RECOMMENDED BY 'SOIL AND PLANT LAB', AS REQUIRED TO ESTABLISH THRIVING PLANTS.
5.9.5. PROTECT NEWLY PLANTED AREAS FROM FOOT TRAFFIC, VANDALISM, THEFT, BURROWING OR GRAZING ANIMALS, AND EROSION. REPAIR AND REPLANT DAMAGED AREA, REPLACE DEAD, DAMAGED, OR MISSING PLANTS.
5.9.6. COMPLETION OF MAINTENANCE PERIOD AND PLANT ESTABLISHMENT SHALL BE DETERMINED BY THE OWNER'S REPRESENTATIVE, IN WRITING, FOLLOWING A FINAL MAINTENANCE WALKTHROUGH.
5.10. CLEAN-UP:
5.10.1. UPON COMPLETION OF WORK IN THIS SECTION, CONTRACTOR SHALL REMOVE ALL RUBBISH, TRASH, AND DEBRIS RESULTING FROM THE PROJECT AND IMPLEMENT THE FOLLOWING: CLEAN-UP AND SERVICE; LEAVE ENTIRE AREA INVOLVED IN A NEAT AND ACCEPTABLE CONDITION SUCH AS TO MEET THE APPROVAL OF THE OWNER'S REPRESENTATIVE.



LEWIS + LEWIS
ARCHITECTS

753 FOREST AVENUE
LARCHMONT, NY 10538
914.315.6323
LEWISANDLEWISARCHITECTS.COM

© COPYRIGHT 2021

UNAUTHORIZED ADDITION OR ALTERATION OF
THESE DRAWINGS IS A VIOLATION OF
SECTION7209(2) OF THE NEW YORK STATE
EDUCATION LAW.

THESE PLANS ARE NOT VALID FOR A BUILDING
PERMIT UNLESS ORIGINALLY SIGNED AND SEALED
BY ARCHITECT. BLUEPRINTS OR PHOTOCOPIES OF
SEAL AND SIGNATURE ARE INVALID. THESE PLANS
ARE FOR CONSTRUCTION OF ONE BUILDING ONLY
BY THE PERSON WHOSE NAME APPEARS ON THE
PLANS.

ISSUED / REVISIONS	
DESCRIPTION	DATE
ISSUED FOR ARCHITECTURAL REVIEW BOARD	04/29/2021
BAR MEETING	05/20/2021

OAKHURST LLC

NEW HOUSE

530 Oakhurst Road
Mamaroneck
New York 10543

NOTES



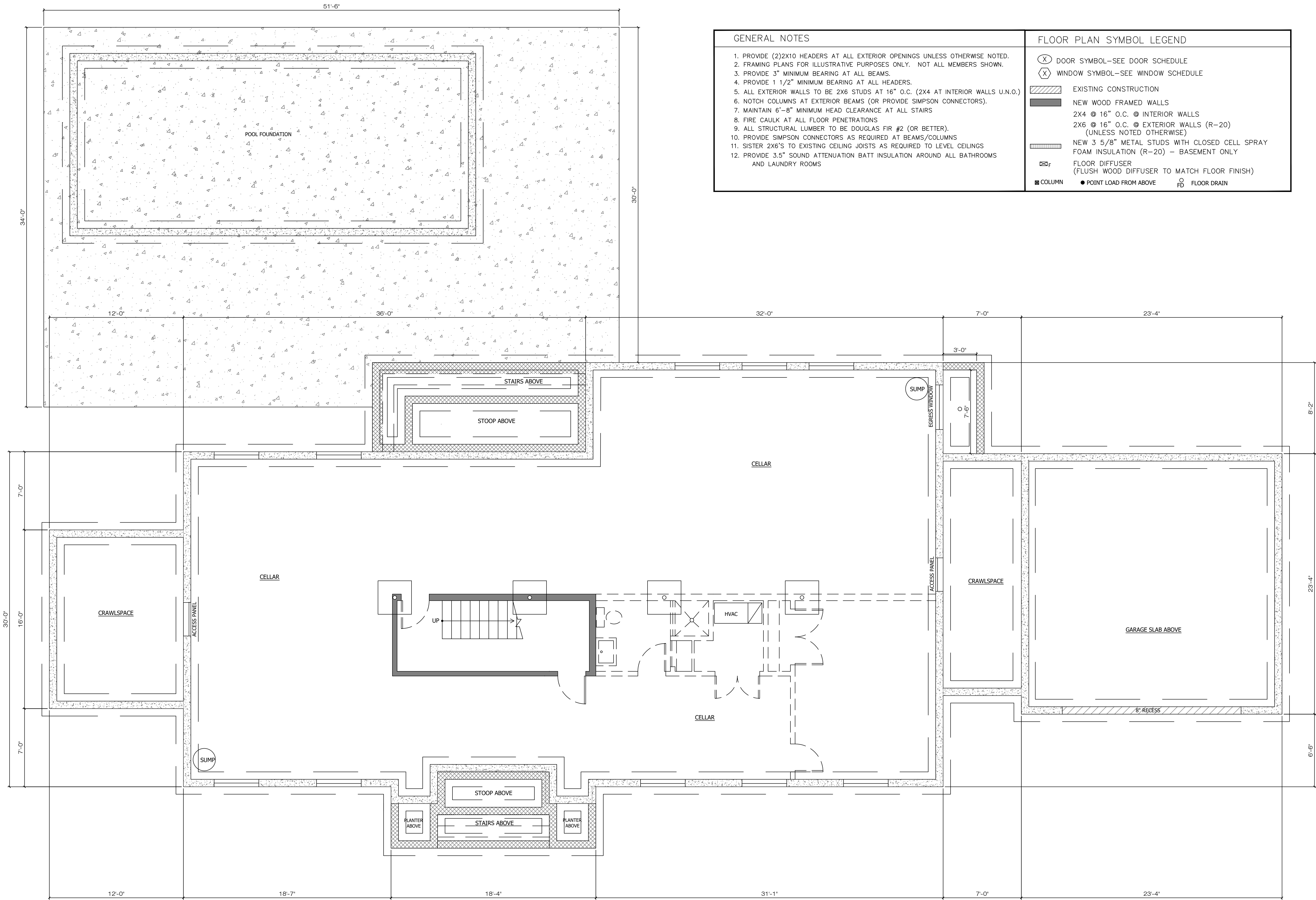
SHEET DESCRIPTION:

LANDSCAPE
SPECIFICATIONS

SHEET NO.

L-3

PHASE:



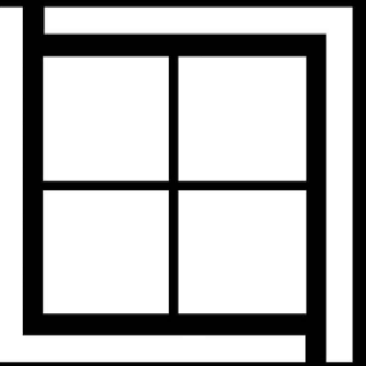
GENERAL NOTES

1. PROVIDE (2)2X10 HEADERS AT ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED.
2. FRAMING PLANS FOR ILLUSTRATIVE PURPOSES ONLY. NOT ALL MEMBERS SHOWN.
3. PROVIDE 3" MINIMUM BEARING AT ALL BEAMS.
4. PROVIDE 1 1/2" MINIMUM BEARING AT ALL HEADERS.
5. ALL EXTERIOR WALLS TO BE 2X6 STUDS AT 16" O.C. (2X4 AT INTERIOR WALLS U.N.O.)
6. NOTCH COLUMNS AT EXTERIOR BEAMS (OR PROVIDE SIMPSON CONNECTORS).
7. MAINTAIN 6'-8" MINIMUM HEAD CLEARANCE AT ALL STAIRS
8. FIRE CAULK AT ALL FLOOR PENETRATIONS
9. ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR #2 (OR BETTER).
10. PROVIDE SIMPSON CONNECTORS AS REQUIRED AT BEAMS/COLUMNS
11. SISTER 2X6'S TO EXISTING CEILING JOISTS AS REQUIRED TO LEVEL CEILINGS
12. PROVIDE 3.5" SOUND ATTENUATION BATT INSULATION AROUND ALL BATHROOMS AND LAUNDRY ROOMS

FLOOR PLAN SYMBOL LEGEND

- (X) DOOR SYMBOL-SEE DOOR SCHEDULE
(X) WINDOW SYMBOL-SEE WINDOW SCHEDULE
- EXISTING CONSTRUCTION
NEW WOOD FRAMED WALLS
2X4 @ 16" O.C. @ INTERIOR WALLS
2X6 @ 16" O.C. @ EXTERIOR WALLS (R-20)
(UNLESS NOTED OTHERWISE)
NEW 3 5/8" METAL STUDS WITH CLOSED CELL SPRAY
FOAM INSULATION (R-20) - BASEMENT ONLY
- FLOOR DIFFUSER
(FLUSH WOOD DIFFUSER TO MATCH FLOOR FINISH)
- COLUMN
POINT LOAD FROM ABOVE
FLOOR DRAIN

1 PROPOSED BASEMENT PLAN
SCALE : 1 / 4" = 1'-0"



LEWIS + LEWIS
ARCHITECTS

753 FOREST AVENUE
LARCHMONT, NY 10538
914.315.6323
LEWISANDLEWISARCHITECTS.COM

© COPYRIGHT 2021

UNAUTHORIZED ADDITION OR ALTERATION OF
THESE DRAWINGS IS A VIOLATION OF
SECTION 7209(2) OF THE NEW YORK STATE
EDUCATION LAW.

THESE PLANS ARE NOT VALID FOR A BUILDING
PERMIT UNLESS ORIGINALLY SIGNED AND SEALED
BY ARCHITECT. BLUEPRINTS OR PHOTOCOPIES OF
SEAL AND SIGNATURE ARE INVALID. THESE PLANS
ARE FOR CONSTRUCTION OF ONE BUILDING ONLY
BY THE PERSON WHOSE NAME APPEARS ON THE
PLANS.

ISSUED / REVISIONS

DESCRIPTION	DATE
ISSUED FOR ARCHITECTURAL REVIEW BOARD	04/29/2021
BAR MEETING	05/20/2021

OAKHURST LLC

NEW HOUSE

530 Oakhurst Road
Mamaroneck
New York 10543

NOTES



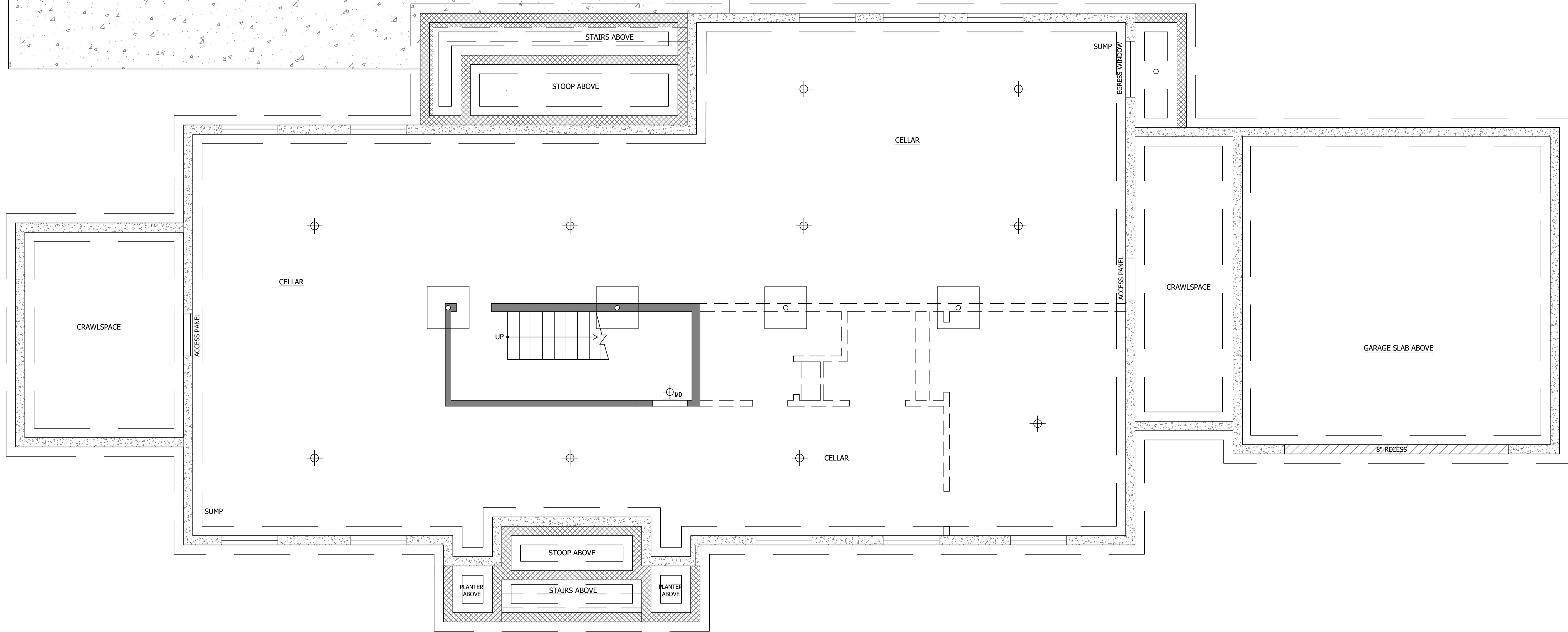
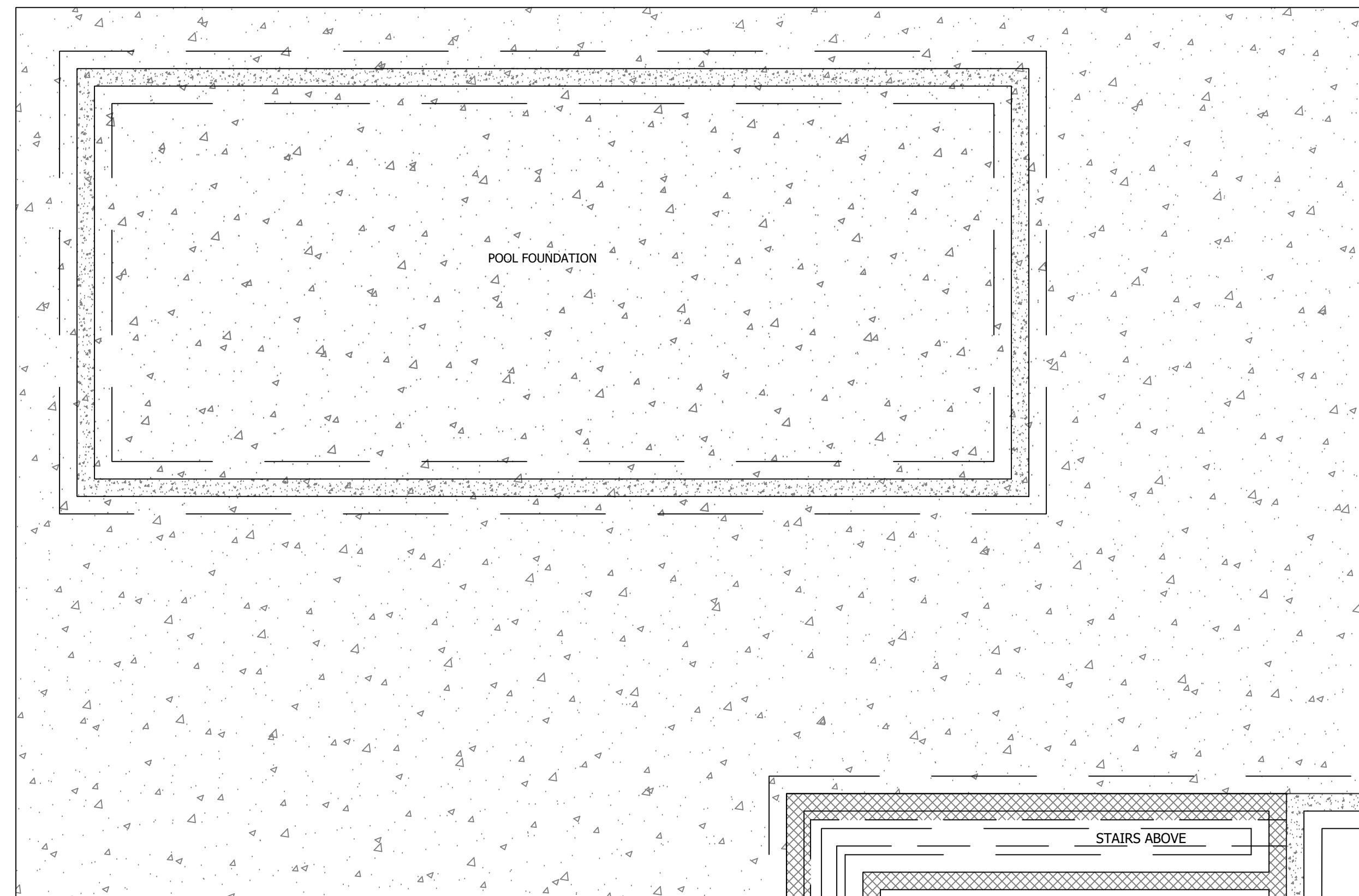
SHEET DESCRIPTION:

PROPOSED
BASEMENT PLAN

SHEET No.

A-3.0

PHASE:



ELECTRICAL LEGEND		GENERAL LIGHTING / ELECTRICAL NOTES
	CEILING MOUNTED PENDANT FIXTURE * VERIFY LOCATION WITH OWNER	<div>1. CENTER LIGHTS AND FAN/LIGHT J-BOXES IN ROOMS.</div> <div>2. CENTER OUTLETS ON WALLS OR UNDER WINDOWS.</div> <div>3. PROVIDE INDEPENDENT CIRCUITS (OR SUB-PANEL) AS REQUIRED BY CODE.</div> <div>4. SPACE DOWNLIGHTS EQUALLY ALONG LINE OF DOWNLIGHTS.</div> <div>5. HARD WIRE, BATTERY BACKUP AND INTERCONNECTED SMOKE + CARBON MONOXIDE DETECTORS.</div> <div>6. PROVIDE SMOKE AND CARBON MONOXIDE DETECTORS ON EACH FLOOR.</div> <div>7. PROVIDE SMOKE DETECTORS IN ALL BEDROOMS.</div> <div>8. PROVIDE NEW GFCI OUTLETS AT ALL WET LOCATIONS.</div> <div>9. OWNER TO PROVIDE ALL SURFACE AND PENDANT MOUNTED FIXTURES (SEE * ABOVE) AND TO BE INSTALLED BY THE CONTRACTOR.</div> <div>10. PROVIDE SAMPLE OF DIMMER AND DOWNLIGHT TO OWNER PRIOR TO INSTALLATION.</div> <div>11. SEE FLOOR PLANS FOR KITCHEN APPLIANCE LOCATIONS.</div> <div>12. PROVIDE WEATHERPROOF GFI OUTLETS AT ALL EXTERIOR LOCATIONS.</div> <div>13. ALL OUTLETS, SWITCHES, ETC TO BE DECORA STYLE.</div> <div>14. FIRE CAULK ALL FLOOR PENETRATIONS.</div> <div>15. PROVIDE 12 DIMMERS PER OWNER'S DISCRETION.</div> <div>16. ALL FIXTURES INDICATED WITH * ARE OWNER PROVIDED/CONTRACTOR INSTALLED.</div>
	CEILING MOUNTED FAN OR FAN/LIGHT * VERIFY LOCATION WITH OWNER	
	CEILING MOUNTED LIGHT *	
	4" RECESSED LED DOWNLIGHT	
	4" LED DOWNLIGHT WITH SLOPED CONE	
	WALL SCONCE *	
	CATV OUTLET	
	NEW 200 AMP ELECTRICAL PANEL	
	PHONE JACK	
	2" LED CABINET LIGHT	
	GARAGE DOOR OPERATOR	
	DOORBELL	
	THERMOSTAT FOR ELECTRIC HEATED FLOOR	
	MOTION ACTIVATED FIXTURE	
	THERMOSTAT FOR ELECTRIC HEATED FLOOR	
	PTD 5 1/4" V-GROOVE AZEK	
	DECORA LIGHT SWITCH	
	DECORA LIGHT SWITCH, 3-WAY	
	DECORA LIGHT SWITCH, 4-WAY	
	EXISTING LIGHT SWITCH	
	DOORBELL	
	DECORA DUPLEX OUTLET	
	FLOOR OUTLET	
	EXHAUST FAN-VENT TO OUTSIDE	
	SMOKE DETECTOR	
	CARBON MONOXIDE DETECTOR	
	UNDERCABINET LED LIGHTING	
	MOTION LED LIGHT	
	THIN SURFACE MOUNT LED LIGHT	
	IN VANITY	
	STEP LIGHT	

LEWIS + LEWIS
ARCHITECTS

753 FOREST AVENUE
LARCHMONT, NY 10538
914.315.6323
LEWISANDLEWISARCHITECTS.COM

© COPYRIGHT 2021

UNAUTHORIZED ADDITION OR ALTERATION OF THESE DRAWINGS IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW.

THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT. BLUEPRINTS OR PHOTOCOPIES OF SEAL AND SIGNATURE ARE INVALID. THESE PLANS ARE FOR CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSON WHOSE NAME APPEARS ON THE PLANS.

ISSUED / REVISIONS	
DESCRIPTION	DATE
ISSUED FOR ARCHITECTURAL REVIEW BOARD	04/29/2021
BAR MEETING	05/20/2021

OAKHURST LLC

NEW HOUSE

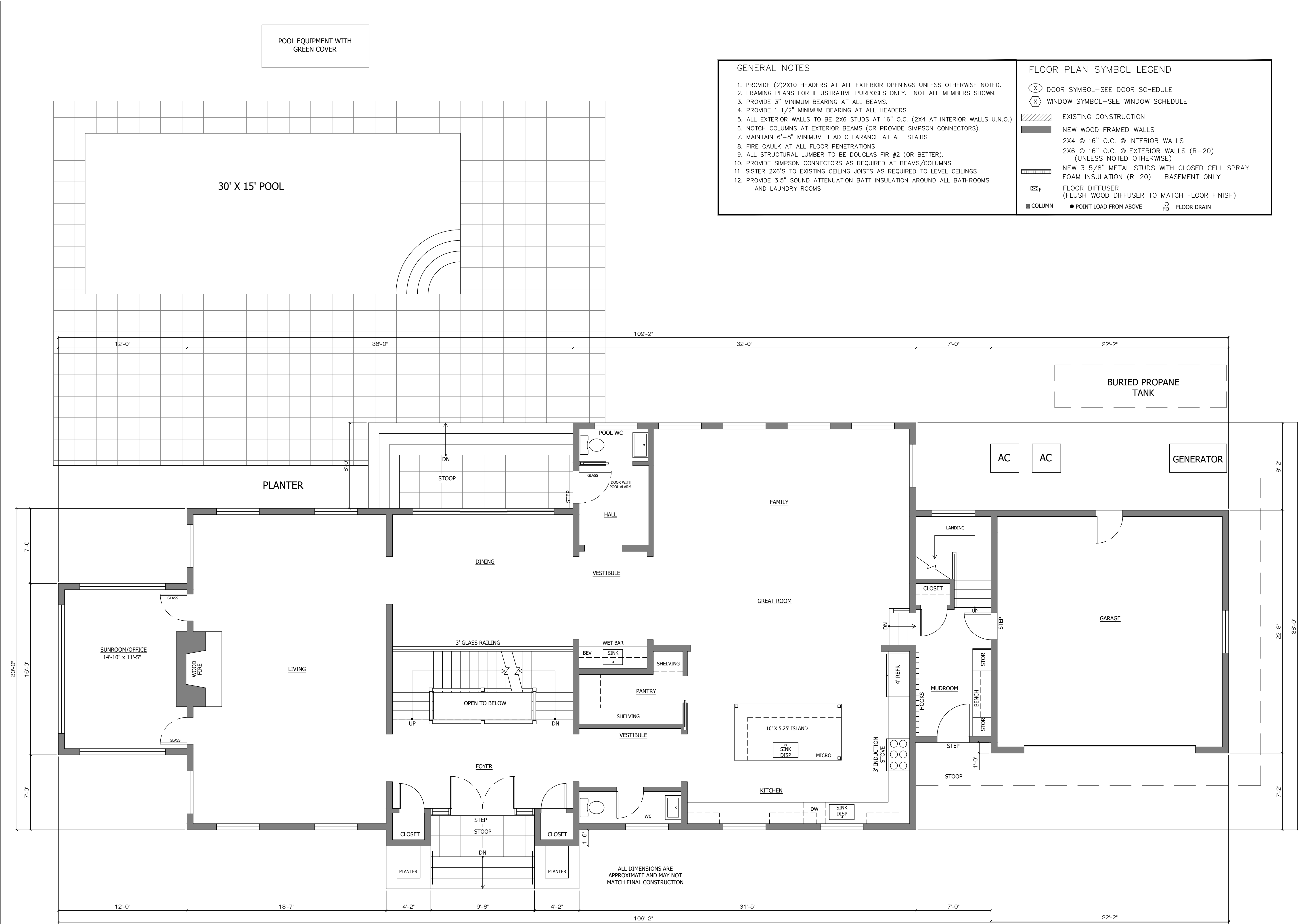
530 Oakhurst Road
Mamaroneck
New York 10543

NOTES

SHEET DESCRIPTION:
PROPOSED BASEMENT
REFLECTED CEILING
& ELECTRICAL PLAN

SHEET No.
A-3.2

PHASE:



GENERAL NOTES

1. PROVIDE (2)2X10 HEADERS AT ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED.
2. FRAMING PLANS FOR ILLUSTRATIVE PURPOSES ONLY. NOT ALL MEMBERS SHOWN.
3. PROVIDE 3" MINIMUM BEARING AT ALL BEAMS.
4. PROVIDE 1 1/2" MINIMUM BEARING AT ALL HEADERS.
5. ALL EXTERIOR WALLS TO BE 2X6 STUDS AT 16" O.C. (2X4 AT INTERIOR WALLS U.N.O.)
6. NOTCH COLUMNS AT EXTERIOR BEAMS (OR PROVIDE SIMPSON CONNECTORS).
7. MAINTAIN 6"-8" MINIMUM HEAD CLEARANCE AT ALL STAIRS
8. FIRE CAULK AT ALL FLOOR PENETRATIONS
9. ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR #2 (OR BETTER).
10. PROVIDE SIMPSON CONNECTORS AS REQUIRED AT BEAMS/COLUMNS
11. SISTER 2X6'S TO EXISTING CEILING JOISTS AS REQUIRED TO LEVEL CEILINGS
12. PROVIDE 3.5" SOUND ATTENUATION BATT INSULATION AROUND ALL BATHROOMS AND LAUNDRY ROOMS

FLOOR PLAN SYMBOL LEGEND

- (X) DOOR SYMBOL-SEE DOOR SCHEDULE
(X) WINDOW SYMBOL-SEE WINDOW SCHEDULE
- EXISTING CONSTRUCTION
NEW WOOD FRAMED WALLS
2X4 @ 16" O.C. @ INTERIOR WALLS
2X6 @ 16" O.C. @ EXTERIOR WALLS (R-20)
(UNLESS NOTED OTHERWISE)
NEW 3 5/8" METAL STUDS WITH CLOSED CELL SPRAY
FOAM INSULATION (R-20) - BASEMENT ONLY
FLOOR DIFFUSER
(FLUSH WOOD DIFFUSER TO MATCH FLOOR FINISH)
COLUMN
POINT LOAD FROM ABOVE
FLOOR DRAIN

© COPYRIGHT 2021
UNAUTHORIZED ADDITION OR ALTERATION OF
THESE DRAWINGS IS A VIOLATION OF
SECTION7209(2) OF THE NEW YORK STATE
EDUCATION LAW.

THESE PLANS ARE NOT VALID FOR A BUILDING
PERMIT UNLESS ORIGINALLY SIGNED AND SEALED
BY ARCHITECT. BLUEPRINTS OR PHOTOCOPIES OF
SEAL AND SIGNATURE ARE INVALID. THESE PLANS
ARE FOR CONSTRUCTION OF ONE BUILDING ONLY
BY THE PERSON WHOSE NAME APPEARS ON THE
PLANS.

ISSUED / REVISIONS

DESCRIPTION	DATE
ISSUED FOR ARCHITECTURAL REVIEW BOARD	04/29/2021
BAR MEETING	05/20/2021

OAKHURST LLC

NEW HOUSE

530 Oakhurst Road
Mamaroneck
New York 10543

NOTES



SHEET DESCRIPTION:

PROPOSED FIRST
FLOOR PLAN

SHEET No.

A-4.0

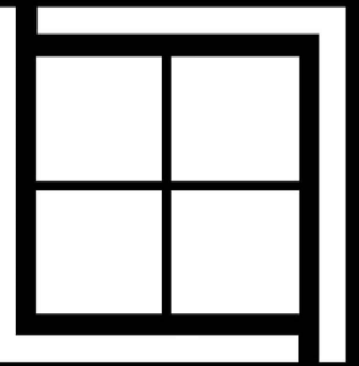
PHASE:

1

PROPOSED FIRST FLOOR PLAN
SCALE : 1 / 4" = 1'-0"



1 PROPOSED FIRST FLOOR REFLECTED CEILING/ELECTRICAL PLAN
SCALE : 1 / 4" = 1'-0"



LEWIS + LEWIS
ARCHITECTS

753 FOREST AVENUE
LARCHMONT, NY 10538
914.315.6323
LEWISANDLEWISARCHITECTS.COM

© COPYRIGHT 2021

UNAUTHORIZED ADDITION OR ALTERATION OF
THESE DRAWINGS IS A VIOLATION OF
SECTION 7209(2) OF THE NEW YORK STATE
EDUCATION LAW.

THESE PLANS ARE NOT VALID FOR A BUILDING
PERMIT UNLESS ORIGINALLY SIGNED AND SEALED
BY ARCHITECT. BLUEPRINTS OR PHOTOCOPIES OF
SEAL AND SIGNATURE ARE INVALID. THESE PLANS
ARE FOR CONSTRUCTION OF ONE BUILDING ONLY
BY THE PERSON WHOSE NAME APPEARS ON THE
PLANS.

ISSUED / REVISIONS

DESCRIPTION	DATE
ISSUED FOR ARCHITECTURAL REVIEW BOARD	04/29/2021
BAR MEETING	05/20/2021

OAKHURST LLC

NEW HOUSE

530 Oakhurst Road
Mamaroneck
New York 10543

NOTES



SHEET DESCRIPTION:
PROPOSED FIRST FLOOR
REFLECTED CEILING &
ELECTRICAL PLAN

SHEET No.

A-4.2

PHASE:



GENERAL NOTES

1. PROVIDE (2)2X10 HEADERS AT ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED.
2. FRAMING PLANS FOR ILLUSTRATIVE PURPOSES ONLY. NOT ALL MEMBERS SHOWN.
3. PROVIDE 3" MINIMUM BEARING AT ALL BEAMS.
4. PROVIDE 1 1/2" MINIMUM BEARING AT ALL HEADERS.
5. ALL EXTERIOR WALLS TO BE 2X6 STUDS AT 16" O.C. (2X4 AT INTERIOR WALLS U.N.O.).
6. NOTCH COLUMNS AT EXTERIOR BEAMS (OR PROVIDE SIMPSON CONNECTORS).
7. MAINTAIN 6"-8" MINIMUM HEAD CLEARANCE AT ALL STAIRS
8. FIRE CAULK AT ALL FLOOR PENETRATIONS
9. ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR #2 (OR BETTER).
10. PROVIDE SIMPSON CONNECTORS AS REQUIRED AT BEAMS/COLUMNS
11. SISTER 2X6'S TO EXISTING CEILING JOISTS AS REQUIRED TO LEVEL CEILINGS
12. PROVIDE 3.5" SOUND ATTENUATION BATT INSULATION AROUND ALL BATHROOMS AND LAUNDRY ROOMS

FLOOR PLAN SYMBOL LEGEND

- (X) DOOR SYMBOL-SEE DOOR SCHEDULE
(X) WINDOW SYMBOL-SEE WINDOW SCHEDULE
- EXISTING CONSTRUCTION
NEW WOOD FRAMED WALLS
2X4 @ 16" O.C. @ INTERIOR WALLS
2X6 @ 16" O.C. @ EXTERIOR WALLS (R-20)
(UNLESS NOTED OTHERWISE)
NEW 3 5/8" METAL STUDS WITH CLOSED CELL SPRAY
FOAM INSULATION (R-20) - BASEMENT ONLY
FLOOR DIFFUSER
(FLUSH WOOD DIFFUSER TO MATCH FLOOR FINISH)
COLUMN
POINT LOAD FROM ABOVE
FLOOR DRAIN

1 PROPOSED SECOND FLOOR PLAN

SCALE : 1 / 4" = 1'-0"

© COPYRIGHT 2021
UNAUTHORIZED ADDITION OR ALTERATION OF
THESE DRAWINGS IS A VIOLATION OF
SECTION7209(2) OF THE NEW YORK STATE
EDUCATION LAW.

THESE PLANS ARE NOT VALID FOR A BUILDING
PERMIT UNLESS ORIGINALLY SIGNED AND SEALED
BY ARCHITECT. BLUEPRINTS OR PHOTOCOPIES OF
SEAL AND SIGNATURE ARE INVALID. THESE PLANS
ARE FOR CONSTRUCTION OF ONE BUILDING ONLY
BY THE PERSON WHOSE NAME APPEARS ON THE
PLANS.

ISSUED / REVISIONS	
DESCRIPTION	DATE
ISSUED FOR ARCHITECTURAL REVIEW BOARD	04/29/2021
BAR MEETING	05/20/2021

OAKHURST LLC

NEW HOUSE

530 Oakhurst Road
Mamaroneck
New York 10543

NOTES

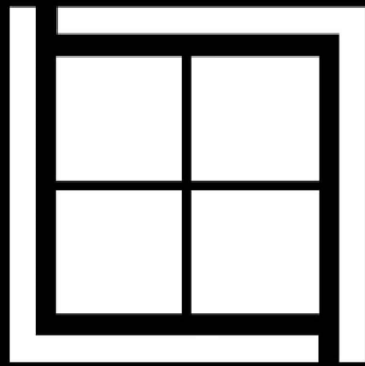


PROPOSED SECOND FLOOR PLAN

SHEET No.

A-5.0

PHASE:



LEWIS + LEWIS
ARCHITECTS

753 FOREST AVENUE
LARCHMONT, NY 10538
914.315.6323
LEWISANDLEWISARCHITECTS.COM

© COPYRIGHT 2021

UNAUTHORIZED ADDITION OR ALTERATION OF
THESE DRAWINGS IS A VIOLATION OF
SECTION 7209(2) OF THE NEW YORK STATE
EDUCATION LAW.

THESE PLANS ARE NOT VALID FOR A BUILDING
PERMIT UNLESS ORIGINALLY SIGNED AND SEALED
BY ARCHITECT. BLUEPRINTS OR PHOTOCOPIES OF
SEAL AND SIGNATURE ARE INVALID. THESE PLANS
ARE FOR CONSTRUCTION OF ONE BUILDING ONLY
BY THE PERSON WHOSE NAME APPEARS ON THE
PLANS.

ISSUED / REVISIONS

DESCRIPTION	DATE
ISSUED FOR ARCHITECTURAL REVIEW BOARD	04/29/2021
BAR MEETING	05/20/2021

OAKHURST LLC

NEW HOUSE

530 Oakhurst Road
Mamaroneck
New York 10543

NOTES



SHEET DESCRIPTION:
SECOND FLOOR
ELECTRICAL REFLECTED
CEILING PLAN

SHEET No.

A-5.2

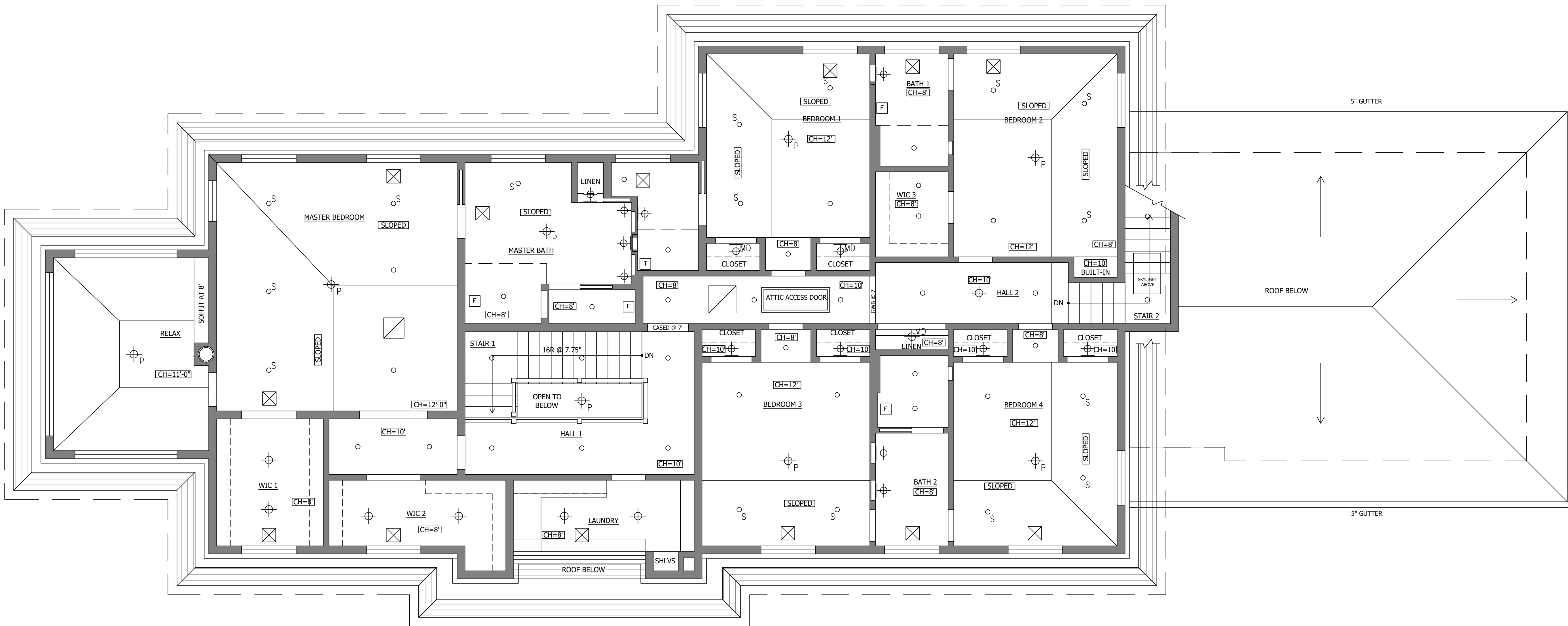
PHASE:

ELECTRICAL LEGEND

	CEILING MOUNTED PENDANT FIXTURE * VERIFY LOCATION WITH OWNER		DECORA LIGHT SWITCH
	CEILING MOUNTED FAN OR FAN/LIGHT * VERIFY LOCATION WITH OWNER		DECORA LIGHT SWITCH, 3-WAY
	CEILING MOUNTED LIGHT *		DECORA LIGHT SWITCH, 4-WAY
	4" RECESSED LED DOWNLIGHT		EXISTING LIGHT SWITCH
	4" LED DOWNLIGHT WITH SLOPED CONE		DOORBELL
	WALL SCONCE *		DECORA DUPLEX OUTLET
	CATV OUTLET		FLOOR OUTLET
	NEW 200 AMP ELECTRICAL PANEL		EXHAUST FAN-VENT TO OUTSIDE
	PHONE JACK		SMOKE DETECTOR
	2" LED CABINET LIGHT		CARBON MONOXIDE DETECTOR
	GARAGE DOOR OPERATOR		UNDERCABINET LED LIGHTING
	DOORBELL		MOTION LED LIGHT
	THERMOSTAT FOR ELECTRIC HEATED FLOOR		THIN SURFACE MOUNT LED LIGHT
	MOTION ACTIVATED FIXTURE		IN VANITY
	THERMOSTAT FOR ELECTRIC HEATED FLOOR		STEP LIGHT
	PTD 5 1/4" V-GROOVE AZEK		

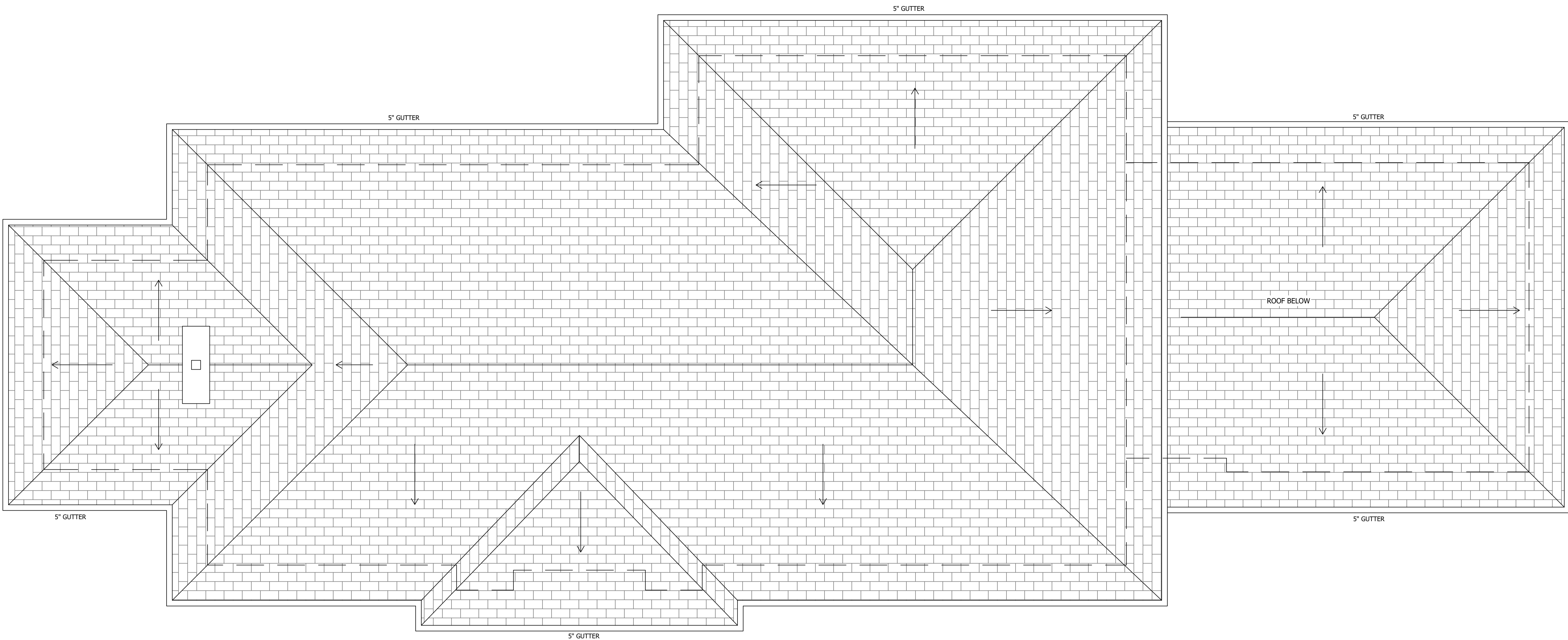
GENERAL LIGHTING / ELECTRICAL NOTES

1. CENTER LIGHTS AND FAN/LIGHT J-BOXES IN ROOMS.
2. CENTER OUTLETS ON WALLS OR UNDER WINDOWS.
3. PROVIDE INDEPENDENT CIRCUITS (OR SUB-PANEL) AS REQUIRED BY CODE.
4. SPACE DOWNLIGHTS EQUALLY ALONG LINE OF DOWNLIGHTS.
5. HARD WIRE, BATTERY BACKUP AND INTERCONNECTED SMOKE + CARBON MONOXIDE DETECTORS.
6. PROVIDE SMOKE AND CARBON MONOXIDE DETECTORS ON EACH FLOOR.
7. PROVIDE SMOKE DETECTORS IN ALL BEDROOMS.
8. PROVIDE NEW GFCI OUTLETS AT ALL WET LOCATIONS.
9. OWNER TO PROVIDE ALL SURFACE AND PENDANT MOUNTED FIXTURES (SEE * ABOVE) AND TO BE INSTALLED BY THE CONTRACTOR.
10. PROVIDE SAMPLE OF DIMMER AND DOWNLIGHT TO OWNER PRIOR TO INSTALLATION.
11. SEE FLOOR PLANS FOR KITCHEN APPLIANCE LOCATIONS.
12. PROVIDE WEATHERPROOF GFI OUTLETS AT ALL EXTERIOR LOCATIONS.
13. ALL OUTLETS, SWITCHES, ETC TO BE DECORA STYLE.
14. FIRE CAULK ALL FLOOR PENETRATIONS.
15. PROVIDE 12 DIMMERS PER OWNER'S DISCRETION.
16. ALL FIXTURES INDICATED WITH * ARE OWNER PROVIDED/CONTRACTOR INSTALLED.

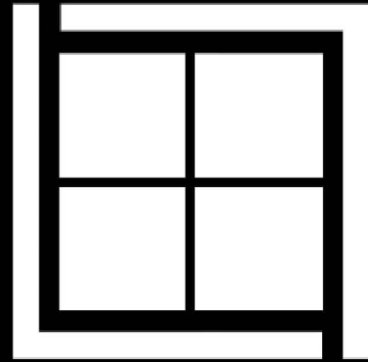


1

PROPOSED SECOND FLOOR REFLECTED CEILING/ELECTRICAL PLAN
SCALE : 1 / 4" = 1'-0"



1 PROPOSED ROOF PLAN
SCALE : 1 / 4" = 1'-0"



LEWIS + LEWIS
ARCHITECTS

753 FOREST AVENUE
LARCHMONT, NY 10538
914.315.6323
LEWISANDLEWISARCHITECTS.COM

© COPYRIGHT 2021
UNAUTHORIZED ADDITION OR ALTERATION OF
THESE DRAWINGS IS A VIOLATION OF
SECTION 7209(2) OF THE NEW YORK STATE
EDUCATION LAW.

THESE PLANS ARE NOT VALID FOR A BUILDING
PERMIT UNLESS ORIGINALLY SIGNED AND SEALED
BY ARCHITECT. BLUEPRINTS OR PHOTOCOPIES OF
SEAL AND SIGNATURE ARE INVALID. THESE PLANS
ARE FOR CONSTRUCTION OF ONE BUILDING ONLY
BY THE PERSON WHOSE NAME APPEARS ON THE
PLANS.

ISSUED / REVISIONS	
DESCRIPTION	DATE
ISSUED FOR ARCHITECTURAL REVIEW BOARD	04/29/2021
BAR MEETING	05/20/2021

OAKHURST LLC

NEW HOUSE

530 Oakhurst Road
Mamaroneck
New York 10543

NOTES



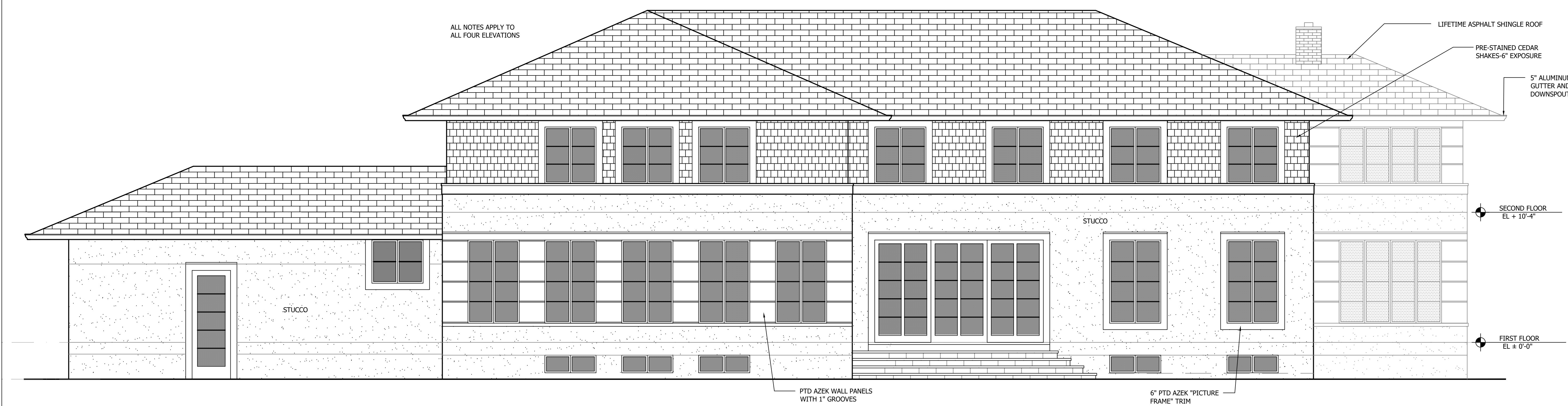
SHEET DESCRIPTION:
**PROPOSED ROOF
PLAN**

SHEET No.
A-6.0

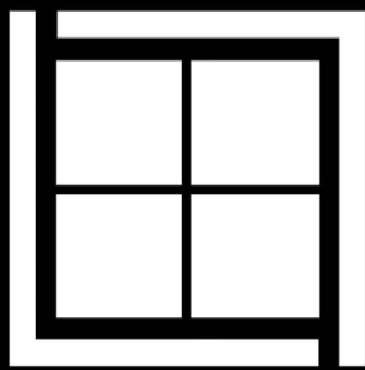
PHASE:



1 PROPOSED FRONT ELEVATION
SCALE : 1 / 4" = 1'-0"



2 PROPOSED REAR ELEVATION
SCALE : 1 / 4" = 1'-0"



LEWIS + LEWIS
ARCHITECTS

753 FOREST AVENUE
LARCHMONT, NY 10538
914.315.6323
LEWISANDLEWISARCHITECTS.COM

© COPYRIGHT 2021

UNAUTHORIZED ADDITION OR ALTERATION OF
THESE DRAWINGS IS A VIOLATION OF
SECTION7209(2) OF THE NEW YORK STATE
EDUCATION LAW.

THESE PLANS ARE NOT VALID FOR A BUILDING
PERMIT UNLESS ORIGINALLY SIGNED AND SEALED
BY ARCHITECT. BLUEPRINTS OR PHOTOCOPIES OF
SEAL AND SIGNATURE ARE INVALID. THESE PLANS
ARE FOR CONSTRUCTION OF ONE BUILDING ONLY
BY THE PERSON WHOSE NAME APPEARS ON THE
PLANS.

ISSUED / REVISIONS	
DESCRIPTION	DATE
ISSUED FOR ARCHITECTURAL REVIEW BOARD	04/29/2021
BAR MEETING	05/20/2021

OAKHURST LLC

NEW HOUSE

530 Oakhurst Road
Mamaroneck
New York 10543

NOTES



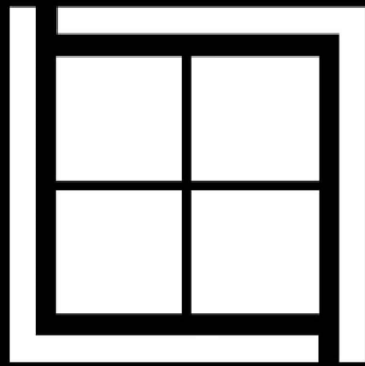
SHEET DESCRIPTION:

PROPOSED
ELEVATIONS

SHEET No.

A-7.0

PHASE:



LEWIS + LEWIS
ARCHITECTS

753 FOREST AVENUE
LARCHMONT, NY 10538
914.315.6323
LEWISANDLEWISARCHITECTS.COM

© COPYRIGHT 2021

UNAUTHORIZED ADDITION OR ALTERATION OF
THESE DRAWINGS IS A VIOLATION OF
SECTION 7209(2) OF THE NEW YORK STATE
EDUCATION LAW.

THESE PLANS ARE NOT VALID FOR A BUILDING
PERMIT UNLESS ORIGINALLY SIGNED AND SEALED
BY ARCHITECT. BLUEPRINTS OR PHOTOCOPIES OF
SEAL AND SIGNATURE ARE INVALID. THESE PLANS
ARE FOR CONSTRUCTION OF ONE BUILDING ONLY
BY THE PERSON WHOSE NAME APPEARS ON THE
PLANS.

ISSUED / REVISIONS

DESCRIPTION	DATE
ISSUED FOR ARCHITECTURAL REVIEW BOARD	04/29/2021
BAR MEETING	05/20/2021

OAKHURST LLC

NEW HOUSE

530 Oakhurst Road
Mamaroneck
New York 10543

NOTES



SHEET DESCRIPTION:

PROPOSED
ELEVATIONS

SHEET No.

A-7.1

PHASE:



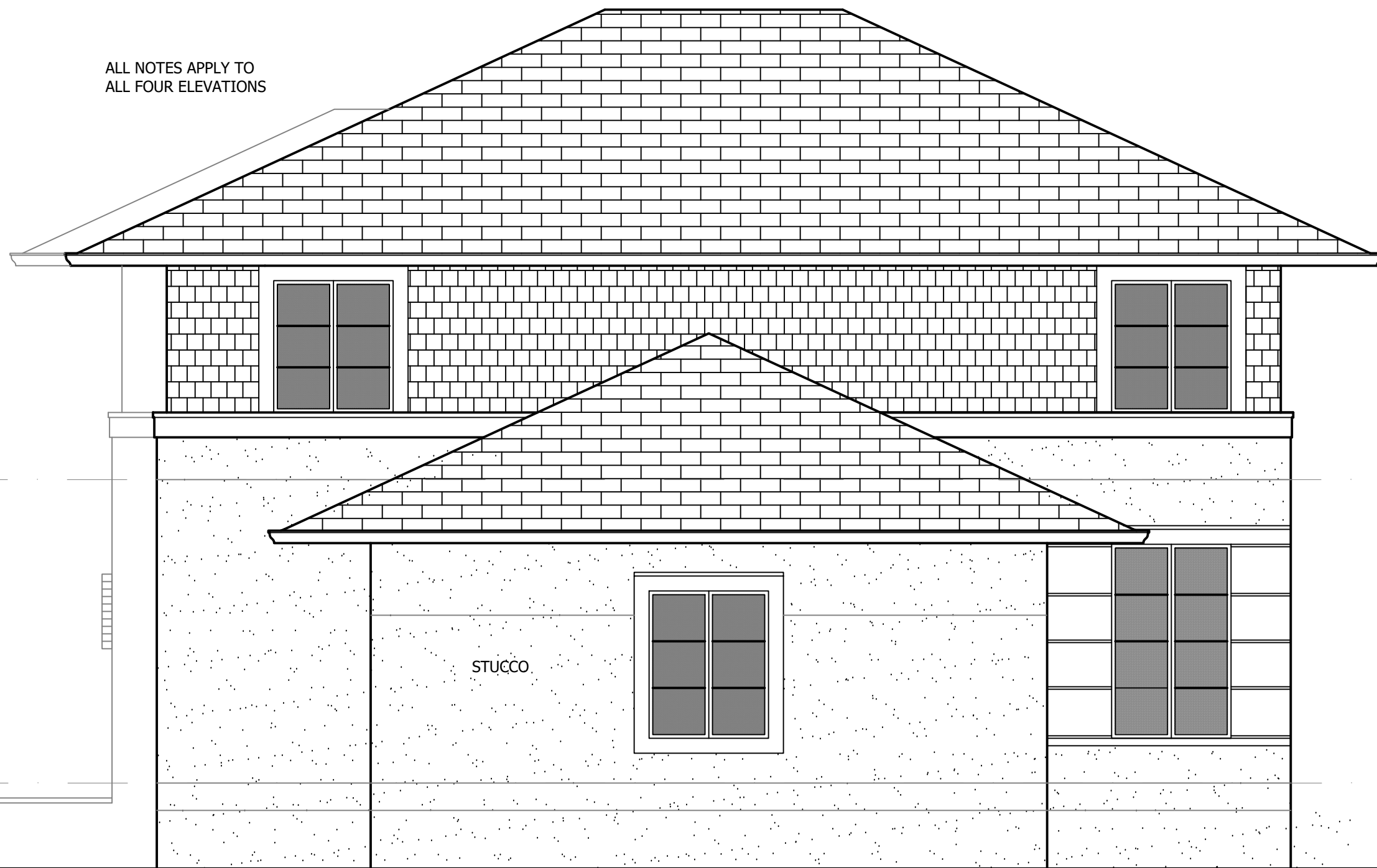
SECOND FLOOR
EL. + 10'-4"

FIRST FLOOR
EL. ± 0'-0"

1

PROPOSED LEFT ELEVATION

SCALE : 1 / 4" = 1'-0"



SECOND FLOOR
EL. + 10'-4"

FIRST FLOOR
EL. ± 0'-0"

GARAGE FLOOR
EL. -2'-10"

2

PROPOSED RIGHT ELEVATION

SCALE : 1 / 4" = 1'-0"

[illegible][illegible]

ROOM FINISH SCHEDULE

ROOM NAME	FLOOR		WALL		CEILING		MOULDING			REMARKS
	MAT'L	FIN.	MAT'L	FIN.	MAT'L	FIN.	BASE	WALL	CROWN	
BASEMENT										
CELLAR	WD	ST/POLY	GWB	PTD	GWB	PTD	M-1	-	-	
CRAWLSPACE	CONC	ST/POLY	GWB	-	GWB	PTD				
STAIR	WD	ST/POLY	GWB	PTD	GWB	PTD	M-1		M-2	TYPE "X" DRYWALL (UNDER)
CLOSET	WD	ST/POLY	GWB	PTD	GWB	PTD	M-1		M-2	TYPE "X" DRYWALL (UNDER)
FIRST FLOOR										
SUNROOM/OFFICE										
LIVING										
DINING										
FOYER										
POOL WC										
HALL										
VESTIBULE										
CLOSET										
STAIR										
KITCHEN										
PANTRY										
FAMILY										
GREAT ROOM										
MUDROOM										
GARAGE										
SECOND FLOOR										
MASTER BEDROOM	WD	ST/POLY	GWB	PTD	GWB	PTD	M-1	-	-	
MASTER BATH	MAR	SEAL	MAR / GWB	PTD	GWB	PTD	M-1	-	-	
	WD	ST/POLY	GWB	PTD	GWB	PTD	M-1	-	-	
PLAY LOFT	WD	ST/POLY	GWB	PTD	GWB	PTD	M-1	-	-	
BEDROOM 1	WD	ST/POLY	GWB	PTD	GWB	PTD	M-1	-	-	
BEDROOM 2	WD	ST/POLY	GWB	PTD	GWB	PTD	M-1	-	-	
BATH 2	PT		CT / GWB	PTD	GWB	PTD	M-1	-	-	
BEDROOM 3	WD	ST/POLY	GWB	PTD	GWB	PTD	M-1	-	-	
BATH 3	PT		CT / GWB	PTD	GWB	PTD	M-1	-	-	
STAIR3	WD	ST/POLY	GWB	PTD	GWB	PTD	M-1	-	-	
LAUNDRY	PT		CT / GWB	PTD	GWB	PTD	M-1	-	-	
	WD	ST/POLY	GWB	PTD	GWB	PTD	M-1	-	-	TYPE "X" DRYWALL (UNDER)
ROOM FINISH LEGEND:										
BB	BEAD BOARD									
CONC	CONCRETE									
CT	CERAMIC WALL TILE									
CPT	CARPET									
EXIST	EXISTING MATERIAL									
GWB	GYPSUM WALL BOARD									
M-1	BASE MOULDING - 6" PAINTED									
M-2	CROWN MOULDING - 5" MIN. (PROVIDE 3 OPTIONS FOR OWNER)									
M-3	NOT USED									
MAR	MARBLE									
PTD	PAINTED (PRIMER PLUS TWO COATS OF PAINT)									
PT	PORCELAIN TILE									
REF	SAND, STAIN AND SEAL WITH TWO COATS OF OIL BASED BASED POLYURETHANE									
SEAL	SEAL STONE AS REQUIRED BY MANUFACTURER									
ST/POLY	SAND, STAIN AND SEAL WITH TWO COATS OF OIL BASED POLYURETHANE									
WD	4" X 3/4" WHITE OAK FLOORING - SAND, STAIN AND SEAL WITH TWO COATS OF OIL BASED POLYURETHANE. (MINIMIZE SHORT PIECES)									
HVAC NOTES:										
1. PROVIDE SAMPLE DIFFUSERS FOR OWNER REVIEW PRIOR TO INSTALLATION.										
2. REVIEW PROPOSED DIFFUSER LOCATIONS WITH OWNER PRIOR TO CUTTING FLOORS, WALLS OR CEILINGS.										
3. PROVIDE CODE REQUIRED DUCTWORK FOR EXHAUST FANS.										
4. PROVIDE 4" APRILAIRE FILTER SYSTEM										
5. GC TO PROVIDE DUCT LAYOUT DIAGRAM AND AC CALCULATIONS FOR OWNER'S REVIEW PRIOR TO INSTALLATION.										
6. ALL TRUNKS TO BE SHEET METAL DUCTS.										
ROOM FINISH GENERAL NOTES:										
1. THE GENERAL CONTRACTOR IS TO PROVIDE SAMPLES OF ALL ROOM FINISH MATERIAL AND PAINT FOR APPROVAL BY THE OWNER PRIOR TO PURCHASING.										
2. TAPE AND FINISH DRYWALL SEAMS AND PROVIDE A LEVEL 4 FINISH ON ALL EXPOSED DRYWALL SURFACES.										
3. SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.										
4. FINISH ALL CLOSETS/LINEN CLOSETS AS PER THE ADJACENT ROOM EXCLUDING CROWN MOULDING.										
5. PROVIDE MOLD RESISTANT GWB AT ALL WET AREAS (GREENBOARD) AND CEMENT BOARD BEHIND ALL TILE LOCATIONS. SEE INTERIOR ELEVATIONS FOR MORE INFORMATION.										
6. PROVIDE WINDOW AND DOOR TRIM AT ALL NEW WINDOWS, DOORS AND ALL OPENINGS BETWEEN ROOMS (OPENINGS WITH DRYWALL RETURNS ARE NOT ALLOWED)-MATCH EXISTING TRIM.										
7. PROVIDE NEW PAINTED 3 / 4" QUARTER ROUND AT NEW AND REFINISHED WOOD FLOORS.										
8. PROVIDE MATCHING TRIM, CROWN OR BASE AT ALL NEW WALLS OR CONSTRUCTION.										

<div><div><div></div></div><div><div></div></div></div> <div><div><div></div></div><div><div></div></div></div>	
LEWIS + LEWIS ARCHITECTS	
753 FOREST AVENUE LARCHMONT, NY 10538 914.315.6323 LEWISANDLEWISARCHITECTS.COM	
© COPYRIGHT 2021 UNAUTHORIZED ADDITION OR ALTERATION OF THESE DRAWINGS IS A VIOLATION OF SECTION7209(2) OF THE NEW YORK STATE EDUCATION LAW.	
THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT UNLESS ORIGINALLY SIGNED AND SEALED BY ARCHITECT. BLUEPRINTS OR PHOTOCOPIES OF SEAL AND SIGNATURE ARE INVALID. THESE PLANS ARE FOR CONSTRUCTION OF ONE BUILDING ONLY BY THE PERSON WHOSE NAME APPEARS ON THE PLANS.	
ISSUED / REVISIONS	
DESCRIPTION	DATE
ISSUED FOR ARCHITECTURAL REVIEW BOARD	04/29/2021
BAR MEETING	05/20/2021
OAKHURST LLC	
NEW HOUSE	
530 Oakhurst Road Mamaroneck New York 10543	
NOTES	
	
SHEET DESCRIPTION:	
SCHEDULES	
SHEET No.	
A-8	
PHASE:	

SITE WORK

- SITE WORK INCLUDES ALL DEMOLITION, SITE CLEARING, EXCAVATION, FILLING, GRADING DRAINAGE, AND RELATED ITEMS NECESSARY TO COMPLETE THE WORK INDICATED ON DRAWINGS.
- BUILDER SHALL INVESTIGATE SITE DURING CLEARING AND EARTH WORK OPERATIONS FOR FILLED EXCAVATIONS OR BURIED STRUCTURES SUCH AS CESS POOLS, CISTERNS, FOUNDATIONS, ETC. IF ANY SUCH ITEMS ARE FOUND OWNER SHALL BE NOTIFIED IMMEDIATELY.

FOUNDATIONS

- FOOTINGS MAY NOT BE POURED NEAT AGAINST SIDES OF EXCAVATIONS. CONCRETE FORMS SHALL BE USED FOR ALL FOOTINGS.
- BUILDER SHALL BE RESPONSIBLE FOR SUPPORT OF ALL TEMPORARY EMBANKMENTS AND EXCAVATIONS
- MINIMUM SOIL BEARING CAPACITY SHALL BE 3000 PSF. IF BEARING CAPACITY IS LESS THAN 3000 PSF ARCHITECT SHALL BE NOTIFIED BEFORE PROCEEDING WITH CONSTRUCTION OF FOUNDATION.
- USE SILL SEALER BETWEEN WOOD AND CONCRETE
- ALL COPPER PIPES PENETRATING CONCRETE SLAB SHALL BE PROTECTED BY "AMORFLEX" PIPE INSULATION OR EQUIVALENT
- MASON CONTRACTOR SHALL INSTALL ALL SLEEVES FOR WATER AND SEWER LINES PRIOR TO POURING WALLS
- INSTALL ANCHOR BOLTS WITHIN 8" OF CORNERS & WITHIN 12" OF END OF EACH PIECE AT MAXIMUM SPACING OF 6'-0" O.C. TOP OF BOLTS TO BE 3/4" ABOVE TOP OF WALL & 3" FROM OUTSIDE EDGE OF WALL. ANCHOR BOLT TO BE MINIMUM OF 1/2" DIAMETER & EXTEND 7" INTO CONCRETE.
- EXCAVATION CONTRACTOR SHALL APPLY ASPHALT BASED WATERPROOFING BEGINNING 8" BELOW FINAL GRADE LINE, AND EXTEND TO LOWEST VERTICAL POINT OF FOOTING.
- FOUNDATION WALL SHALL EXTEND ABOVE FINISHED GRADE A MINIMUM OF 4" (8" PREFERABLE).

BACKFILL

- BACKFILL SHALL BE PLACED IN 6" MAXIMUM LIFTS AND COMPACTED TO A MINIMUM DENSITY OF 95% (UNDER SLABS ON GRADE) AND 90% (ELSEWHERE) OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY AASHO STANDARD T99.
- BACKFILL SHALL CONSIST OF NON-EXPANSIVE FREE DRAINING, PREDOMINANTLY GRANULAR MATERIAL, FREE OF DEBRIS AND ORGANIC MATERIAL.
- BACKFILL SHALL NOT BE PLACED AGAINST BASEMENT RETAINING WALLS UNTIL CONCRETE OR MASONRY GROUT HAS REACHED ITS SPECIFIED 28 DAY STRENGTH AND STRUCTURAL FLOOR FRAMING (INCLUDING PLYWOOD SUB-FLOOR) REQUIRED TO STABILIZE WALLS IN COMPLETE AND FULLY NAILED AND ANCHORED.
- LOTS SHALL BE GRADED AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10' FROM THE FOUNDATION. IF PHYSICAL BARRIERS PROHIBIT REQUIRED FALL, DRAINS OR SWALES SHALL BE PROVIDED.

FOOTINGS

- FOOTINGS ARE SIZED FOR A MINIMUM TOTAL LOAD BEARING PRESSURE OF 2000 PSF, EXCEPT AS SHOWN OTHERWISE ON DRAWINGS.
- FOOTINGS SHALL BE PLACED AT A MINIMUM DEPTH OF 48" BELOW FROST LINE.
- FOOTINGS SHALL BE FOUNDED ON FIRM, UNDISTURBED, NATIVE, FREE DRAINING SOILS. CONDITIONS FOUND TO BE OTHERWISE SHALL BE REPORTED TO OWNER, BUILDING OFFICIAL AND ARCHITECT.
- BOTTOM SURFACE OF FOOTINGS SHALL NOT SLOPE MORE THAN 1" VERTICAL TO 10" HORIZONTAL.
- NO EXCAVATION SHALL BE MADE LOWER AND CLOSER TO TO ANY FOOTING THAN 1" VERTICAL TO 3" HORIZONTAL.
- ALL GROUND OVER WHICH FOOTINGS AND SLABS ON GRADE ARE TO BE PLACED SHALL BE FREE OF EXPANSIVE OR COMPRESSIBLE DEBRIS AND ORGANIC MATERIAL. FOOTINGS SHALL NOT BE PLACED ON FROZEN GROUND
- ALL FOOTING DRAINS SHALL RUN TO DAYLIGHT OR INTO A SEEPAGE PIT AT A MINIMUM PITCH OF 1/8" PER FOOT, NOT TOWARD A WELL OR WASTE WATER DISPOSAL SYSTEM.
- STEP FOOTINGS 12" VERTICALLY AND 36" HORIZONTALLY PER STEP.

CONCRETE

- CONCRETE CONSTRUCTION SHALL CONFORM TO "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 301), "RECOMMENDED PRACTICE FOR CONCRETE FRAME WORK" (ACI 347), "RECOMMENDED PRACTICE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE" (ACI 304).
 - CONCRETE SHALL HAVE A MIN. 28 DAY FIELD CURED COMPRESSIVE STRENGTH OF:
-2500 PSI (F_C=2500) FOR BASEMENT WALLS, FOUNDATION, BASEMENT & INTERIOR SLABS
-3000 PSI (F_C=3000) FOR ALL CONCRETE WORK EXPOSED TO WEATHER INCLUDING EXTERIOR, FOUNDATION OR BASEMENT WALLS
-3500 PSI (F_C=3500) FOR PORCHES, EXTERIOR STEPS & GARAGE FLOOR SLABS
 - USE AIR ENTRAINING ADMIXTURE IN ALL CONCRETE, PROVIDING NOT LESS THAN 4% & NO MORE THAN 8% ENTRAINED AIR FOR CONCRETE EXPOSED TO FREEZING AND THAWING AND FROM 2% TO 4% FOR OTHER CONCRETE.
 - MATERIALS FOR CONCRETE:
-PORTLAND CEMENT ASTM C150 TYPE AS REQUIRED
-AGGREGATES - ASTM C33
-WATER-POTABLE, CLEAN, FREE OF OILS, ACIDS, ALKALI, AND ORGANIC MATTER
-AIR ENTRAINING ADMIXTURE - ASTM C260
-WATER REDUCING ADMIXTURE - ASTM C494 TYPE A
 - FORM MATERIALS:
-EXPOSED CONCRETE SURFACES- PANEL TYPE TO PROVIDE CONTINUOUS, STRAIGHT, SMOOTH FINISH. USE LARGEST PRACTICAL SIZES TO MINIMIZE FORM JOINTS
-UNEXPOSED CONCRETE SURFACES- SUITABLE MATERIAL DRESSED ON AT LEAST TWO EDGES, AND ONE SIDE FOR TIGHT FIT.
 - CONCRETE SHALL BE OF "READY MIXED CONCRETE" AND SHALL CONFORM TO ASTM C94. MIX DESIGN ALTERNATE #2. AT TIME OF PLACEMENT, CONCRETE SHALL HAVE A SLUMP OF 4" MINIMUM (PER ASTM C143).
 - CONCRETE WHEN PLACED SHALL HAVE A TEMPERATURE BETWEEN 50°F AND 70°F. TEMPERATURE OF CONCRETE DURING MIXING OR TRANSPORTATION SHALL NEVER BE LOWER THAN 40°F NOR HIGHER THAN 90°F.
 - CONCRETE SHALL BE CONVEYED AND DEPOSITED IN ACCORDANCE WITH RECOMMENDATIONS OF ACI 304.
 - MEMBRANE CURING COMPOUND SHALL BE PROVIDED ON ALL HORIZONTAL SLAB SURFACES. CURING COMPOUND SHALL CONFORM TO ASTM C639 AND SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURERS PRINTED INSTRUCTIONS.
 - DESIGN FABRICATION, INSTALLATION, AND REMOVAL OF CONCRETE FORM WORK IS SOLELY THE RESPONSIBILITY OF BUILDER.
 - FORMWORK AROUND CONCRETE MUST REMAIN IN PLACE UNTIL THE CONCRETE IS SELF-SUPPORTING. FOLLOW ACI 347 FOR STANDARDS WHICH STATE THAT FOOTINGS AND FOUNDATION WALL FORMWORK SHALL NOT BE STRIPPED FOR A MIN. OF 12 HOURS.
 - CONCRETE PLACEMENT COMPLY WITH ACI 304, PLACING CONCRETE, AND ACI 304.2R, PLACING CONCRETE BY PUMPING METHOD
- MASONRY - IF APPLICABLE
- MASONRY UNITS
 - ALL HOLLOW CONCRETE UNITS SHALL BE AT LEAST 7-⁵/₈"X7-⁵/₈"X15-⁵/₈" AND SHALL PROVIDE MINIMUM UNOBSTRUCTED VERTICAL CORES WITH A LEAST DIMENSION OF 3-¹/₂" WHEN LAID UP IN RUNNING BOND. UNLESS OTHERWISE SPECIFIED ON DRAWINGS.
 - MOISTURE CONTENT OF HOLLOW CONCRETE UNITS PER ASTM C90 AT TIME OF LAYING SHALL NOT EXCEED 30% OF TOTAL ABSORPTION.
 - ALL CONCRETE BLOCK SHALL BE TYPE "N" LOAD BEARING MASONRY UNITS AND ALL MORTAR SHALL BE TYPE "M" HAVING A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI.
 - PROPER UNITS SHALL BE USED TO PROVIDE FOR ALL WINDOWS, DOORS, BOND BEAMS, LINTELS, PILASTERS, ETC. WITH A MINIMUM OF CUTTING.
 - LAY MASONRY IN RUNNING BONDS EXCEPT AS DESIGNATED OTHERWISE ON DRAWINGS, PROVIDE MASONRY BONDS AT ALL CORNERS AND INTERSECTIONS.

- GROUT ALL CELLS CONTAINING REINFORCEMENT, BOLTS OR INDICATED AS GROUTED.
- MASONRY SHALL BE LAID UP AND GROUTED IN LIFTS NOT EXCEEDING 4' VERTICAL. GROUT POURS SHALL BE STOPPED 1-1/2" BELOW THE TOP OF UPPER MOST UNIT. EACH BOND BEAM SHALL BE GROUTED WITH LIFT BELOW.
- ALL BEAMS AND LINTELS SHALL BE GROUTED SUCH THAT HORIZONTAL GROUT TRAVEL IS LIMITED TO TWO FEET.
- MASONRY SHALL NOT BE LAID UP OR GROUTED WHEN AMBIENT TEMPERATURE IS BELOW 40°F OR ABOVE 90°F. MASONRY SHALL BE PROTECTED FROM FREEZING TEMPERATURES FOR AT LEAST 14 DAYS AFTER LAYING. WHEN AMBIENT TEMPERATURES EXCEED 90°F. UNITS THAT HAVE PREVIOUSLY BEEN LAID UP SHALL BE GIVEN A VERY FINE, LIGHT FOG SPRAY OF WATER EVERY FOUR HOURS UNTIL 48 HOURS HAVE ELAPSED SINCE LAYING UP.
- MILD STEEL REINFORCEMENTS FOR CONCRETE AND MASONRY CONSTRUCTION SHALL BE MANUFACTURED, DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318R) AND "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI 315R, ACI SP-66) AND SHALL BE DEFORMED STEEL BARS CONFORMING TO ASTM A615, GRADE 40 TIES, STIRRUPS AND HOOPS SHALL CONFORM TO ASTM A615, GRADE 40. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185, IN AS LONG LENGTHS AS PRACTICABLE. REINFORCEMENT IN CONCRETE AND MASONRY SHALL HAVE LAP LENGTHS AS FOLLOWS, UNLESS OTHERWISE SPECIFIED ON DRAWINGS:

BAR SIZE	LENGTH IN CONCRETE	LENGTH IN MASONRY
F3	1'-6"	2'-0"
F4	2'-0"	2'-6"
F5	2'-6"	3'-3"
F6	3'-4"	3'-9"

WELDED WIRE FABRICS SHALL BE TAPPED ONE GRID WIDTH PLUS 2" REINFORCEMENT SHALL BE COLD BENT. REINFORCEMENT SHALL NOT BE WELDED.

LUMBER

- ALL LOAD BEARING DIMENSION LUMBER SHALL BE IDENTIFIED BY A GRADE MARK OF AN APPROVED INSPECTION AGENCY. ALL JOISTS, GIRDERS, INTERIOR AND EXTERIOR STUD WALLS SHALL BE SPF OR BETTER.
- ALL 2" LUMBER SHALL BE SEASONED TO 19% MAXIMUM MOISTURE CONTENT.
- ALL WOOD IN CONTACT WITH CONCRETE OR SOIL SHALL BE PRESSURE TREATED PER AWPAC1-C4, C9, C15, C18, C22-C24, C28, P1-P3
- CLUE-LAMINATED MEMBERS SHALL BE DOUGLAS FIR-LARCH OR EQUAL, CONFORMING WITH THE AITC 117-82 AND PS-56-73 FABRICATED WITH WET-USE ADHESIVE.
- ALL PLYWOOD SHALL BE IDENTIFIED BY GRADE MARK OF AN APPROVED INSPECTION AGENCY AND SHALL BE STANDARD EXPOSURE 1, D-GRADE, APA RATED UNLESS OTHERWISE SPECIFIED ON DRAWINGS.
- LIGHT TIMBER DECKING SHALL BE CONSTRUCTED WITH 2" TONGUE AND GROVE PLANK COMMERCIAL DECKING GRADE MARKED BY AN APPROVED INSPECTION AGENCY. DECKING SHALL BE LAID IN ACCORDANCE WITH SECTION 2517 (E.3) UBC.
- ALL LUMBER SHALL HAVE A MIN. F_b AND E AS FOLLOWS:

	TYP. LUMBER	- USE EQUIVALENT OR BETTER
BEAMS,GIRDERS HEADERS	(SPF #2)	
JOISTS, RAFTERS, TRIMMERS	(SPF #2)	
STUDS	(SPF #2)	
- WOOD I-JOISTS SHALL HAVE THE APA-EWS PRI TRADEMARK. CONTRACTOR TO FOLLOW ALL MANUFACTURES RECOMMENDATIONS, DETAILS, AND SPECIFICATIONS - NO EXCEPTIONS. WOOD I-JOISTS SHALL BE USED IN CONJUNCTION WITH PARTNER MATERIALS SUCH AS APA RIM BOARDS, SQUASH BLOCKS, ETC.
- LAMINATED VENEER LUMBER (LVL) BEAMS AND HEADERS ARE TO BE 2.0E WITH A BASE F_b=2850. EXCEPT FOR CUTTING TO LENGTH, LVL BEAMS ARE NOT TO BE CUT, DRILLED, OR NOTCHED EXCEPT AS NOTED IN MANUFACTURERS LITERATURE. CONTRACTOR TO FOLLOW MANUFACTURERS RECOMMENDATIONS AND DETAILS IN INSTALLATION. CONNECTIONS PER MANUFACTURER. LVL SHALL BE 1.75 INCHES.
- TRUSSES SHALL BE DESIGNED ACCORDING TO STANDARD ENGINEERING PRACTICE. TRUSS DESIGN DRAWINGS SHALL BE PREPARED BY LICENSED ENGINEER AND PROVIDED BY TRUSS MANUFACTURER TO COMPLY WITH THE RESIDENTIAL BUILDING CODE OF NEW YORK STATE.

FRAMING

- ALL STUD WALLS SHOWN ON DRAWINGS SHALL HAVE 2x4 STUDS INTERIOR, 2x6 EXTERIOR, PLACED 16" O.C. EXCEPT WHERE SHOWN
- TOP PLATES SHALL BE DOUBLED ON ALL STUD WALLS. END JOINTS IN TOP PLATES SHALL BE OFFSET MIN. 24". STUDS SHALL HAVE FULL BEARING ON 2X OR LARGER PLATE OR SILL HAVING GREATER THAN 10" EQUAL TO WIDTH OF STUDS.
- BEAMS, GIRDERS, AND JOISTS SUPPORTING BEARING WALLS OR OTHER CONCENTRATED LOADS SHALL NOT BE NOTCHED. JOISTS, EXCEPT AS ABOVE, MAY BE NOTCHED NO DEEPER THAN 1/4 THE DEPTH, AT TOP EDGE ONLY, PROVIDED THE DEPTH IS LOCATED WITHIN 1/8 TO 1/4 OF SPAN. SUPPORT OR SUPPORTS SAVOUTS FOR NOTCHES SHALL NOT OVERRUN DEPTH OF NOTCH. HOLES IN JOISTS, BEAMS AND GIRDERS SHALL NOT BE LARGER IN DIAMETER THAN 1/10 THE DEPTH OF THE MEMBER AND SHALL BE LOCATED WITHIN CENTER HALF OF THE SPAN. ALL HOLES SHALL BE CENTERED WITHIN DEPTH OF MEMBER. HOLES AND NOTCHES IN STUDS SHALL BE LOCATED WITHIN 1/2 OF HEIGHT FROM EITHER TOP OR BOTTOM BUT NO CLOSER THAN 8" FROM PLATES. HOLES & NOTCHES IN STUDS SHALL NOT EXCEED 1" IN DIAMETER OR DEPTH. STUDS IN EXTERIOR WALLS SHALL NOT BE NOTCHED.
- INSTALL ALL HORIZONTAL MEMBERS WITH CROWN UP.
- ALL RAFTERS SHALL BE NOTCHED FOR FULL BEARING AT ALL SUPPORTS. THE ENDS OF EACH RAFTER OR CEILING JOIST SHALL HAVE MINIMUM BEARING 1 1/2" ON WOOD OR 3" ON CONCRETE OR MASONRY.
- ALL JOISTS SHALL HAVE MINIMUM OF 2" BEARING AT WOOD SUPPORTS. LAPING JOISTS SHALL HAVE 6" LAPS CENTERED OVER INTERIOR SUPPORTS. ALL SUPPORTS ON CONCRETE OR MASONRY NOT BE LESS THAN 3".
- LEDGERS AND STUD WALL FOUNDATION SILL PLATES SHALL BE BOLTED TO CONCRETE WITH ANCHOR BOLTS.
- PROVIDE SOLID WOOD BLOCKING BELOW ALL HEADERS, BEAMS LINTELS, ETC. PROVIDE 3/8" DIA. LAG BOLTS 2 O.C. AT ALL DECK LEDGES OF ADEQUATE LENGTHS TO EMBED 3" MIN. INTO STRUCTURAL FRAMING
- IF CONVENTIONAL ROOF FRAMING IS USED, 2X6 COLLAR TIES WILL BE PROVIDED 32" O.C.
- A DOUBLE JOIST SHALL BE PROVIDED ABOVE EACH COLUMN AND BELOW ALL PARTITIONS PARALLEL TO FLOOR JOISTS
- PROVIDE CROSS BRACING BETWEEN ALL JOISTS IN SPANS EXCEEDING 8 FEET.
- ALL HEADERS SHALL BE (2) 2x10 WITH MINIMUM 2 JACK STUDS EACH SIDE UNLESS OTHERWISE SPECIFIED ON DRAWINGS.
- CONTRACTOR SHALL PROVIDE ADEQUATE BRACING OR OTHERWISE SUPPORT ALL PORTIONS OF THE STRUCTURE UNTIL ALL MEMBERS HAVE BEEN PERMANENTLY CONNECTED TOGETHER.
- FRAMING CONTRACTOR SHALL INSTALL BLOCKING FOR RAILINGS, CABINETS, LADDERS FOR INSULATION AT INTERSECTING WALLS, STRONGBACKS IN CEILINGS OF GABLE AND HIP ROOFS, AND SHIM BETWEEN STAIR STRINGERS.
- INSTALL FIRE STOPPING BETWEEN FLOOR JOISTS AT 10' INTERVALS AND IN WALLS AT 8' INTERVALS
- DRILLING & NOTCHING REQUIREMENTS SHALL FOLLOW SPECIFICATIONS LAID OUT IN THE RESIDENTIAL CODE OF NYS.

- STRUCTURAL FLOOR MEMBERS (SECTION R602.8.1) - NOTCHES IN SOLID LUMBER JOISTS, RAFTERS AND BEAMS SHALL NOT EXCEED 1/4 THE DEPTH OF THE MEMBER, NOT LONGER THAN 1/4 OF THE DEPTH OF THE MEMBER, AND SHALL NOT BE LOCATED IN THE MIDDLE 1/2 OF THE SPAN. NOTCHES AT THE ENDS OF THE MEMBER SHALL NOT EXCEED 1/4 OF THE DEPTH OF THE MEMBER. THE TENSION SIDE OF MEMBERS 4" OR GREATER IN NOMINAL THICKNESS SHALL NOT BE NOTCHED EXCEPT AT THE ENDS OF THE MEMBERS. THE DIA. OF HOLES BORED OR CUT INTO MEMBERS SHALL NOT EXCEED 1/4 THE DEPTH OF THE MEMBER. HOLES SHALL NOT BE CLOSER THAN 2" TO THE TOP OR BOTTOM OF THE MEMBER, OR TO ANY OTHER HOLE LOCATED IN THE MEMBER. WHERE THE MEMBER IS ALSO NOTCHED, THE HOLE SHALL NOT BE CLOSER THAN 2" TO THE NOTCH.

- WALLS (SECTION R602.6) - ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NON-LOAD BEARING PARTITIONS MAY BE NOTCHED TO A DEPTH NOT EXCEED 40% OF A SINGLE STUD WIDTH. ANY STUD MAY BE BORED OR DRILLED, PROVIDED THAT THE DIA. OF THE RESULTING HOLE IS NOT GREATER THAN 40% OF THE STUD WIDTH, THE EDGE OF THE HOLE IS NO CLOSER THAN 1/4 TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. EXCEPTION - 1. A STUD MAY BE BORED TO A DIA. NOT EXCEEDING 60% OF ITS WIDTH, PROVIDED THAT SUCH STUDS LOCATED IN EXTERIOR WALLS OR BEARING PARTITIONS ARE DOUBLED AND THAT NOT MORE THAN 2 SUCCESSIVE STUDS ARE BORED. 2. APPROVED STUD SHOES MAY BE USED WHEN INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.

DRILLING AND NOTCHING WALL TOP PLATES - WHEN PIPING OR DUCTWORK IS PLACED IN OR PARTLY IN AN EXTERIOR WALL OR INTERIOR LOAD-BEARING WALL, NECESSITATING CUTTING, DRILLING OR NOTCHING OF THE TOP PLATE BY MORE THAN 50% OF ITS WIDTH, A GALVANIZED FOOT TIE OF NOT LESS THAN 0.054" (16 GA) AND 1 1/2" WIDE SHALL BE FASTENED TO EACH PLATE ACROSS AND TO EACH SIDE OF THE OPENING WITH NOT LESS THAN (8) 16d NAILS AT EACH SIDE OR EQUIVALENT.

FRAMING CONNECTIONS

- ANCHOR ALL STUDS AT DOOR OPENINGS, ENDS AND CORNERS OF WALLS WHICH ARE SHEATHED WITH PLYWOOD AND OR GYPSUM BOARD TO BOTTOM PLATE WITH 2 SIMPSON A-35 FRAMING ANCHORS
- ALL MANUFACTURED CONNECTION HARDWARE SHALL BE INSTALLED AND FULL NAILED IN CONFORMANCE TO MANUFACTURERS INSTRUCTIONS AND APPLICABLE ICBO APPROVALS
- ALL STEEL CONNECTION ASSEMBLIES DETAILED ON DRAWINGS SHALL BE FABRICATED FROM ASTM A36 STEEL IN CONFORMANCE WITH APPLICABLE REQUIREMENTS OF AISI "SPECIFICATIONS FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" WELDING SHALL CONFORM TO AWS D1.1
- INSTALL LAG SCREW IN DRILLED LEAD HOLES WITH A DIAMETER EQUAL TO 3/4 OF THE SHANK DIA. (LAG SCREW SHALL NOT BE HAMMERED IN) WAX OR SOAP LAG SCREWS. PROVIDE WASHERS UNDER HEADS BEARING ON WOOD. HOLES SHALL BE PROPERLY ALIGNED.
- BOLT HOLES SHALL BE DRILLED 1/16" LARGER THAN BOLT DIAMETER. PROVIDE WASHERS UNDER ALL BOLT HEADS AND NUTS BEARING ON WOOD. HOLES SHALL BE PROPERLY ALIGNED. IN NO CASE SHALL MISALIGNMENT BE ALLOWED. BOLTS SHALL BE A307 BOLTS. NUTS SHALL BE TIGHTENED SNUG.

WINDOWS AND DOORS

- EXTERIOR DOORS TO BE FOAM CORE INSULATED DOORS, UNLESS OTHERWISE NOTED.
- FRAMING CONTRACTOR SHALL INSTALL FIELD MADE FLASHING UNDER DOORS AND SHALL CAULK SILLS AND FLANGES WHEN INSTALLING.
- ALL WINDOWS AND DOORS CAN BE ADJUSTED TO ACCOMMODATE TRIM.
- ALL DOORS AND WINDOWS SHALL BE INSTALLED ACCORDING TO MANUFACTURERS' INSTRUCTIONS.
- INSTALL FIELD BENT DRIP EDGE ABOVE ALL DOORS AND WINDOWS. CAULK BETWEEN ALL CHANNELS AND ADJUST DOOR AND WINDOW FRAMES.
- ALL SOURCES OF AIR LEAKAGE AROUND WINDOWS AND DOORS MUST BE CAULKED, GASKETED, OR HAVE WEATHERSTRIPPING.

SHEATHING

- ALL PLYWOOD WALL SHEATHING SHALL BE APPLIED AS FOLLOWS: CENTER VERTICAL JOINTS OVER STUDS AND CENTER HORIZONTAL JOINTS OVER 2" BLOCKING OR PLATE. NAIL TOP OF PANELS TO DOUBLE TOP PLATE AND NAIL BOTTOM OF PANELS TO ANCHORED SILL PLATE. APPLY GYPSUM BOARD SO THAT END JOINTS OF ADJACENT COURSES DO NOT OCCUR OVER THE SAME STUD.
- PLYWOOD SUB-FLOOR AND ROOF SHEATHING: INSTALL WITH FACE GRAIN AT RIGHT ANGLES TO SUPPORTS, CONTINUOUS OVER TWO (2) OR MORE SPANS). ALLOW MINIMUM SPACE 1/16" BETWEEN.
- UNDERLAYMENT SHALL BE INSTALLED IN ACCORDANCE WITH CODE AND AS RECOMMENDED BY MANUFACTURER. ROSIN COATED.

5/16" TO 1/2" 6d COMMON (8d FOR ROOF) OR 1-1/2" RING SHANK NAILS 6" O.C. @ EDGES AND 8" O.C. EACH WAY IN FIELD
5/8" TO 3/4" 8d COMMON OR 1-1/2" RING SHANK NAILS 6" O.C. @ EDGES & 8" O.C. EACH WAY IN FIELD

- BUILDING FELT -

- COVER SURFACES BEHIND SIDING, SHINGLES, AND WHERE INDICATED ON DRAWINGS WITH ASPHALT SATURATED, NON-PERFORATED FELT WITHOUT WRINKLES OR BUCKLES. LAP HORIZONTAL JOINTS 3", 6" AT VERTICAL JOISTS AND CARRY INTO OPENINGS, UP WALLS 12" AND DOWN SIDES 6" MINIMUM. LOCATE END LAPS AT LEAST 18" FROM INTERNAL AND EXTERNAL CORNERS. (ALTERNATE IS "TVVCK")
- ALL ROOFS WITH ASPHALT SHINGLES AND SLOPES BETWEEN 3/4 AND 1/2 SHALL HAVE DOUBLE UNDERLAYMENT APPLICATION.

INSULATION

- COLD WALLS: PORTION OF BUILDING BETWEEN LIVING SPACE AND UNHEATED GARAGE, STORAGE ROOM AND PORTION OF WALL ABOVE CEILING OF AN ADJACENT SECTION OF A SPLIT-LEVEL DWELLING TO BE INSULATED SAME AS ROOF, WALLS, OR FLOOR OF DWELLING.
- VAPOR BARRIERS: EITHER "A", "B", OR "C", "D" IS MANDATORY.
 - ALL WALLS AND CEILINGS TO BE PAPER-BACKED ONE SIDE INSULATION.
 - FOIL-BACKED GYPSUM BOARD ON THE INSIDE SURFACE OF EXTERIOR WALLS WITHOUT FOIL-BACKED INSULATION
 - POLYETHYLENE APPLIED ACROSS THE END OF STUDS WITHOUT FOIL-BACKED INSULATION.
- IN CRAWL SPACES PROVIDE 6 MIL BACK POLYETHYLENE SHEETS OR "MOISTOP" OVER ENTIRE GROUND AREA AND UP THE EXTERIOR FOUNDATION WALLS TO THE MUDBILLS. WALL INSULATION (IF SHOWN ON DRAWINGS) TO BE APPLIED OVER THE POLYETHYLENE VAPOR BARRIER. PROVIDE 12" MIN LAPS BETWEEN TWO SECTION OF VAPOR BARRIER AND TAPE TIGHT.
- AIR BARRIERS
 - GENERAL REQUIREMENTS: EXTERIOR THERMAL ENVELOPE TO CONTAIN CONTINUOUS AIR BARRIER. ALL BREAKS OR JOINTS IN AIR BARRIER SHALL BE SEALED.
 - CEILING/ATTIC: AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SEALED. ALL ACCESS OPENINGS, DROP DOWN STAIRS OR KNEE WALL DOORS TO UNCONDITIONED SPACES SHALL BE SEALED.
 - WALLS: JUNCTION OF FOUNDATION AND SILL PLATE SHALL BE SEALED. JUNCTION OF TOP PLATE AND TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED. WINDOWS/SKYLIGHTS/DOORS: SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING, AND SKYLIGHTS SHALL BE SEALED.
 - RIM JOISTS: RIM JOISTS SHALL INCLUDE THE AIR BARRIER & SHALL BE INSULATED.
 - FLOORS: AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.
 - CRAWL SPACE WALLS: EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH CLASS 1 VAPOR RETARDER WITH OVERLAPPING JOINTS, TAPED.
 - SHAFTS/PENETRATIONS: DUCT SHAFTS, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.
 - GARAGE: AIR SEALING SHALL BE PROVIDED BETWEEN GARAGE AND CONDITIONED SPACES.
 - RECESSED LIGHTING: RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL, AIR TIGHT AND IC RATED.
 - SHOWER/TUB ON EXTERIOR WALL: AIR BARRIER TO SEPARATE SHOWERS/TUBS & EXTERIOR WALLS.
 - ELECTRICAL/PHONE BOX ON EXTERIOR WALL: AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR PHONE BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.
 - HVAC REGISTER BOOTS: HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO SUBFLOOR OR DRYWALL.
- FIRE HAZARDS: WHEN PLASTIC FOAMS ARE USED IN ANY INTERIOR APPLICATIONS A FIRE BARRIER MUST BE APPLIED OVER THE UNPROTECTED FOAM SURFACES. COVERINGS USED FOR PROTECTION SHOULD BE CHOSEN FOR THEIR FIRE PROTECTION OF THE FOAM, I.E. GYPSUM WALLBOARD
- FRAMING MEMBERS: IT MAY BECOME NECESSARY IN INCREASE DEPTH OF FRAMING MEMBERS TO ACCOMMODATE THICKER INSULATION MATERIALS THAN SHOWN ON DRAWINGS

GYPSUM DRYWALL

- GYPSUM BOARD WORK AND MATERIALS SHALL MEET ALL REQUIREMENTS OF ANSI A97-1 FOR THE "APPLICATION AND FINISHING OF WALLBOARD" JOINT COMPOUND SYSTEM MIXED, APPLIED AND FINISHED IN COMPLIANCE WITH MANUFACTURERS PRINTED DIRECTIONS, TO BE INVISBLE AFTER FINISHED, INCLUDING ALL METAL CORNER BEADS AND TRIM.
- GYPSUM WALLBOARD ON STUD WALLS: COOLER NAILS AT 7" O.C. ALL STUDS, PLATES AND BLOCKING, USE 5d NAILS WITH 1/2" WALLBOARD AND 6d NAILS WITH 1/2" WALLBOARD. SCREWS SHALL BE TYPE W OR S AND SHALL PENETRATE THE WOOD NOT LESS THAN 3/4"
- GARAGE AND UTILITY ROOMS TO HAVE 1/2" TYPE X FIRE RATED GYPSUM BOARD THROUGHOUT AND 1/2" TYPE X FIRE RATED GYPSUM BOARD ON OPPOSITE SIDE OF COMMON WALL. FOR GARAGE CEILINGS BENEATH HABITABLE ROOM GYPSUM WALLBOARD SHALL BE INSTALLED PERPENDICULAR TO FRAMING AND FASTENED AT MINIMUM 6" O.C. BY 6d COATED NAILS.
- TUB AND SHOWER ENCLOSURES TO HAVE 1/2" WATER RESISTANT CEMENT BOARD.
- GYPSUM WALLBOARD UTILIZED AS BACKER BOARD FOR ADHESIVE APPLICATION OF CERAMIC TILE SHALL BE PERMITTED ON CEILINGS WHERE FRAMING SPACING = 12" O.C. FOR 1/2" THICK GWB OR 16" O.C. FOR 1/2" THICK GWB. ALL CUT OR EXPOSED EDGES SHALL BE SEALED BY MANUFACTURERS RECOMMENDATIONS.
- ALL TOILET ROOMS ARE TO HAVE MILDEW RESISTANT GREEN BOARD ON WALLS AND CEILINGS.

GLAZING

- TEMPERED GLASS SHALL COMPLY WITH FEDERAL STANDARDS 16 CFR 1201.
- TUB AND SHOWER ENCLOSURES TO HAVE EITHER A SHOWER CURTAIN OR SAFETY GLAZED GLASS.

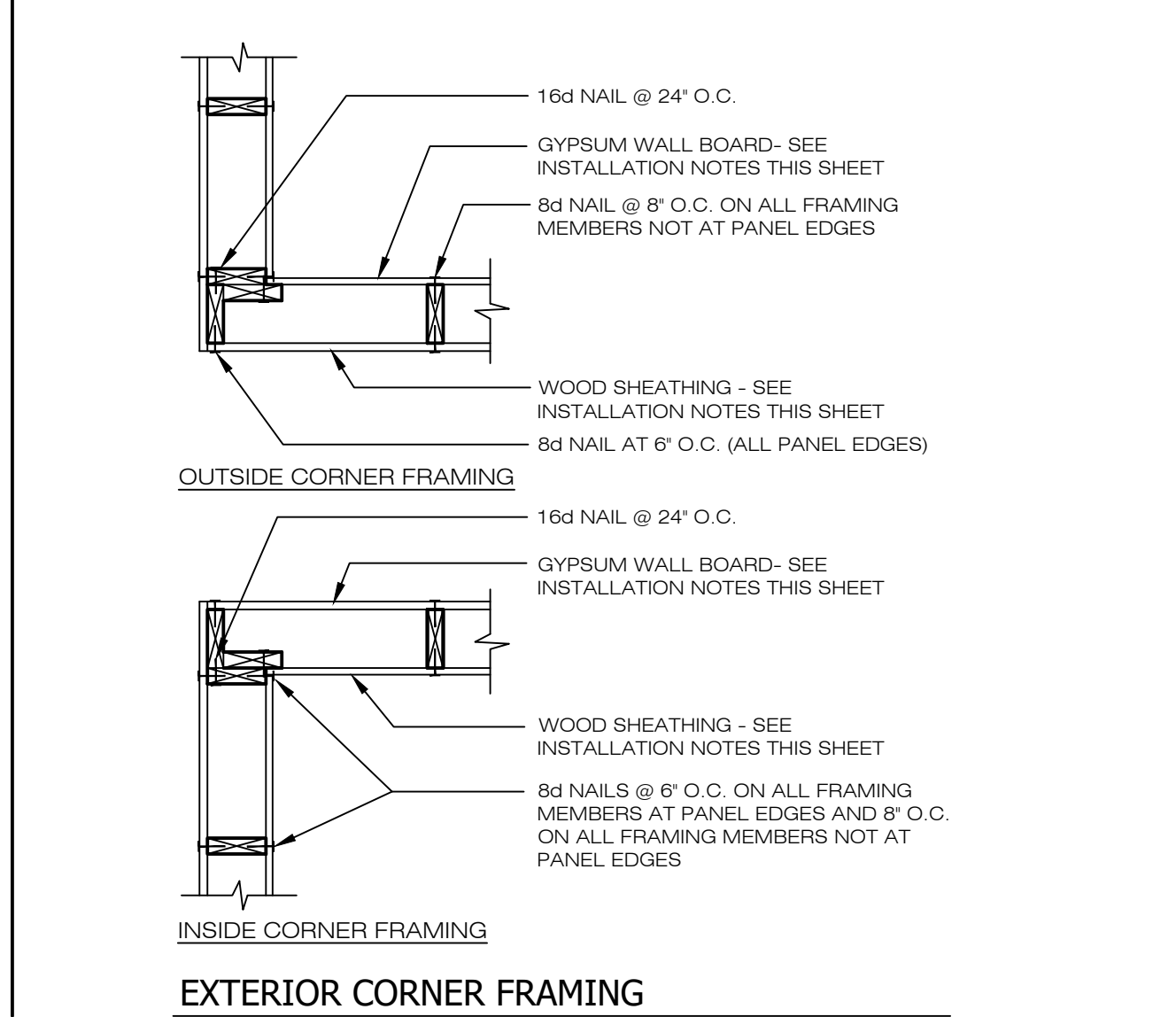
VENTILATION

- ALL BATHROOMS SHALL BE VENTED DIRECTLY TO THE EXTERIOR WITH A MINIMUM OF 50 CFM INTERMITTENT MECHANICAL VENTILATION FAN.
- THE UNDER-FLOOR SPACE BETWEEN THE BOTTOM OF FLOOR JOIST AND EARTH SHALL BE VENTILATED WITH A MINIMUM NET AREA OF ONE SQUARE FOOT FOR EACH 150 SF OF UNDER-FLOOR AREA.
- ATTIC VENTILATION SHALL BE PROVIDED AT A RATE OF 1 SF TO 150 SF OF THE TOTAL AREA TO BE VENTILATED.
- AT EAVE VENTS, A MINIMUM OF 1" SPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING.

FASTENER SCHEDULE FOR STRUCTURAL MEMBERS		
DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER a,b,c,d	SPACING OF FASTENERS
Joist to sill or girder, toe nail	3-8d	
1"x6" subfloor or less to each joist, face nail	2-8d 2 staples, 1 3/4"	
2" subfloor to joist or girder, blind and face nail	2-16d	
Sole plate to joist or blocking, face nail	16d	16" o.c.
Top or sole plate to stud, end nail	2-16d	
Stud to sole plate, toe nail	3-8d or 2-16d	
Double stud, face nail	10d	24" o.c.
Double top plates, face nail	10d	24" o.c.
Sole plate to joists or blocking at braced wall panels	3-16d	16" o.c.
Double top plates, min. 48" offset of end joints, face nail in lapped area	8-16d	
Blocking between joists or rafters to top plate, toe nail	3-8d	
Rim joist to top plate, toe nail	8d	6" o.c.
Top plates, laps at corners and intersections, face nail	2-10d	
Built-up header, two pieces with 12" spacer	16d	16" o.c. along each edge
Continued header, two pieces	16d	16" o.c. along each edge
Ceiling joists to plate, toe nail	3-8d	
Continuous header to stud, toe nail	4-8d	
Ceiling joist, laps over partitions, face nail	3-10d	
Ceiling joist to parallel rafters, face nail	3-10d	
Rafter to plate, toe nail	2-16d	
1" brace to each stud and plate, face nail	2-8d 2 staples, 1 3/4"	
1"x6" sheathing to each bearing, face nail	2-8d 2 staples, 1 3/4"	
1"x8" sheathing to each bearing, face nail	2-8d 3 staples, 1 3/4"	
Wider than 1"x8" sheathing to each bearing, face nail	3-8d 4 staples, 1 3/4"	
Built-up corner studs	10d	24" o.c.
Built-up girders and beams, 2-inch lumber layers	10d	Nail each layer as follows: 32" o.c. at top & bottom & staggered. Two nails at ends & at each splice.
2" planks	2-16d	at each bearing
Roof rafters to ridge, valley or hip rafters: toe nail face nail	4-16d 3-16d	
Rafter ties to rafters, face	3-8d	

WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND WALL SHEATHING TO FRAMING, & PARTICLEBOARD WALL SHEATHING TO FRAMING			
Description of Building Materials	Description of Fastener b,c,d,e	Spacing of fasteners	
		Edges (inches)	Intermediate supports (inches)c,f
5/16 - 1/2	6d common nail (subfloor, wall) 8d common nail (roof)	6	12 g
19/32 - 1	8d common nail	6	12 g
1 1/8 - 1 1/4	10d common nail or 8d deformed nail	6	12
OTHER WALL SHEATHING h			
1/2" regular cellulose fiberboard sheathing	1 1/2" galvanized roofing nail 6d common nail staple 16 ga. 1 1/2" long	3	6
1/2" structural cellulose fiberboard sheathing	1 1/2" galvanized roofing nail 8d common nail staple 16 ga. 1 1/2" long	3	6
25/32" structural cellulose fiberboard sheathing	1 3/4" galvanized roofing nail 8d common nail staple 16 ga. 1 3/4" long	3	6
1/2 gypsum sheathing	1 1/2 galvanized roofing nail, 6d common nail, staple galvanized, 1 1/2" long, 1 1/4 screws, type W or S	4	8
5/8 gypsum sheathing	1 3/4 galvanized roofing nail, 8d common nail, staple galvanized, 1 5/8" long, 1 5/8 screws, type W or S	4	8
WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING			
3/4 and less	6d deformed nail or 8d common nail	6	12
7/8 - 1	8d deformed nail or 8d common nail	6	12
1 1/8 - 1 1/4	8d deformed nail or 10d common nail	6	12

- For Sill: 1 inch=25.4mm, 1 foot=304.8mm, 1 mile per hour = 1.609km/h
- All nails are smooth-shank, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connection shall have min. average bending yield strengths as follows: 80 ksi (551 Mpa) for shank diameter of 0.182" (50d) common nail, 90 ksi (620 Mpa) for shank diameters larger than 0.142" but not larger than 0.177", and 100 ksi (689 Mpa) for shank diameters 0.142" or less.
 - Staples are 16 gage wire and have a min. 1/2" on diameter crown width.
 - Nails shall be spaced at not more than 6" o.c. at all supports where spans are 48" or greater.
 - 4"x8" or 4"x6" panels shall be applied vertically.
 - Spacing of fasteners not included in this table shall be based on Table R602.3(1).
 - For regions having basic wind speed of 110 mph or greater, 8d deformed nails shall be used for attaching plywood and wood structural panel roof sheathing to framing within min. 48" distance from gable end walls, if mean roof height is more than 25 feet, up to 35 feet maximum.
 - For regions having basic wind speed of 100 mph or less, nails for attaching wood structural panels roof sheathing to gable end wall framing shall be spaced 6" o.c. on center. When basic wind speed is greater than 100 mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6" o.c. for min. 48" distance from ridges, eaves and gable end walls, and 4" o.c. to gable end framing.
 - Gypsum sheathing shall conform to ASTM C 79 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to ASTM C 208.
 - Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and at all perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and at all roof plane perimeters. Blocking of roof or floor sheathing panel edges perpendicular to the framing members shall not be required except at intersection of adjacent roof planes. Floor and roof perimeter shall be supported by framing members or solid blocking.





LEWIS + LEWIS
ARCHITECTS

753 FOREST AVENUE
LARCHMONT, NY 10538
914.315.6323
LEWISANDLEWISARCHITECTS.COM

© COPYRIGHT 2021

UNAUTHORIZED ADDITION OR ALTERATION OF THESE DRAWINGS IS A VIOLATION OF SECTION7209(2) OF THE NEW YORK STATE EDUCATION LAW.

THESE PLANS ARE NOT VALID FOR A BUILDING PERMIT