

VILLAGE OF MAMARONECK/TOWN OF MAMARONECK

Now or Formerly
Salind Realty Corp.

Tax
Pcl.
725

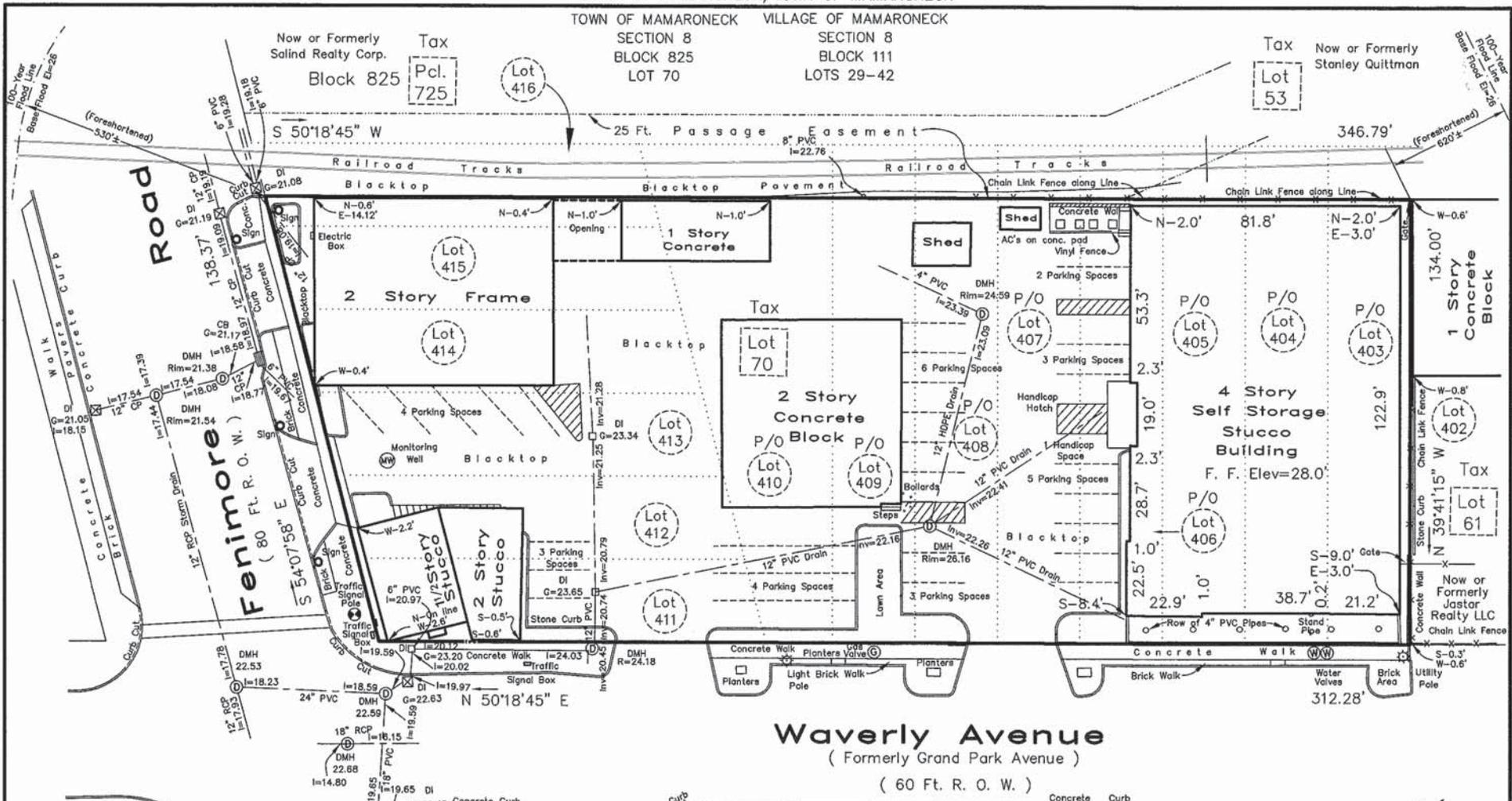
Lot
416

TOWN OF MAMARONECK
SECTION 8
BLOCK 825
LOT 70

VILLAGE OF MAMARONECK
SECTION 8
BLOCK 111
LOTS 29-42

Tax
Lot
53

Now or Formerly
Stanley Quittman



Waverly Avenue
(Formerly Grand Park Avenue)
(60 Ft. R. O. W.)

FINAL AS-BUILT SURVEY

December 19, 2008
September 30, 2014
September 22, 2015
July 12, 2018

AT 416 WAVERLY AVENUE, MAMARONECK
THE MUNSON COMPANY
9 NORTH GOODWIN AVENUE
ELMSFORD, N.Y.

[Signature]
N.Y.S. License 50054-2

DATUM: NAVD-1988

SURVEY OF LOTS 411, 412, 413, 414, 415 & PORTIONS OF LOTS 403, 404, 405, 406, 407, 408, 409, 410 & 416 AS SHOWN ON A MAP ENTITLED "WAVERLY SUBDIVISION OF GRAND PARK," FILED JULY 16, 1873 AS COUNTY CLERK MAP NO. 594.

10523
Scale 1"=30'

LOT AREA=44,156 SQ. FT.

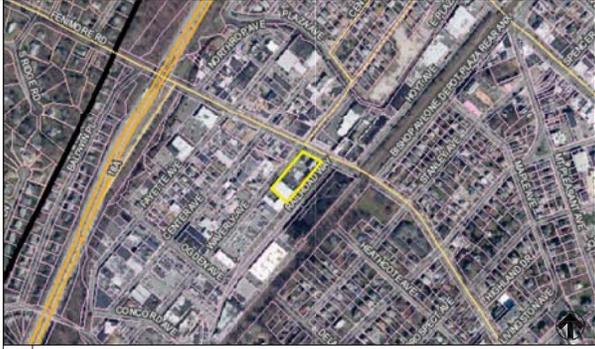
"Unauthorized alterations or additions to a survey map is a violation of section 7209, sub-division 2, of the New York State Education Law."
"Only copies of the original survey marked with the land surveyor's inked or embossed seal shall be considered a true and valid copy."



4 FENIMORE ROAD PHOTO DOCUMENTATION & SITE CONTEXT



5 WAVERLY AVENUE PHOTO DOCUMENTATION & SITE CONTEXT



1 AERIAL MAP



2 AERIAL PHOTO, FACING SOUTHWEST



3 AERIAL PHOTO, FACING NORTHEAST (TOWARD FENIMORE RD)

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MAMARONECK SELF-STORAGE
 416 WAVERLY AVENUE
 MAMARONECK, NY 10543
 for East Coast North Properties, LLC

REVISION/SUBMISSION NOTES	
1 PERMIT FILING	12/14/17
2 MUNICIPAL APPRV	01/19/18
3 SPA SUBMISSION	02/08/18
4 ZBA FILING	06/19/18

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project:	0329.00
date:	12/06/17
scale:	AS NOTED

drawing title:
SITE AND NEIGHBORHOOD PHOTO DOCUMENTATION

drawing number:
A-203

East Coast Properties: 416 Waverly Avenue



East Coast Properties: 416 Waverly Avenue



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East Coast Properties: 416 Waverly Avenue

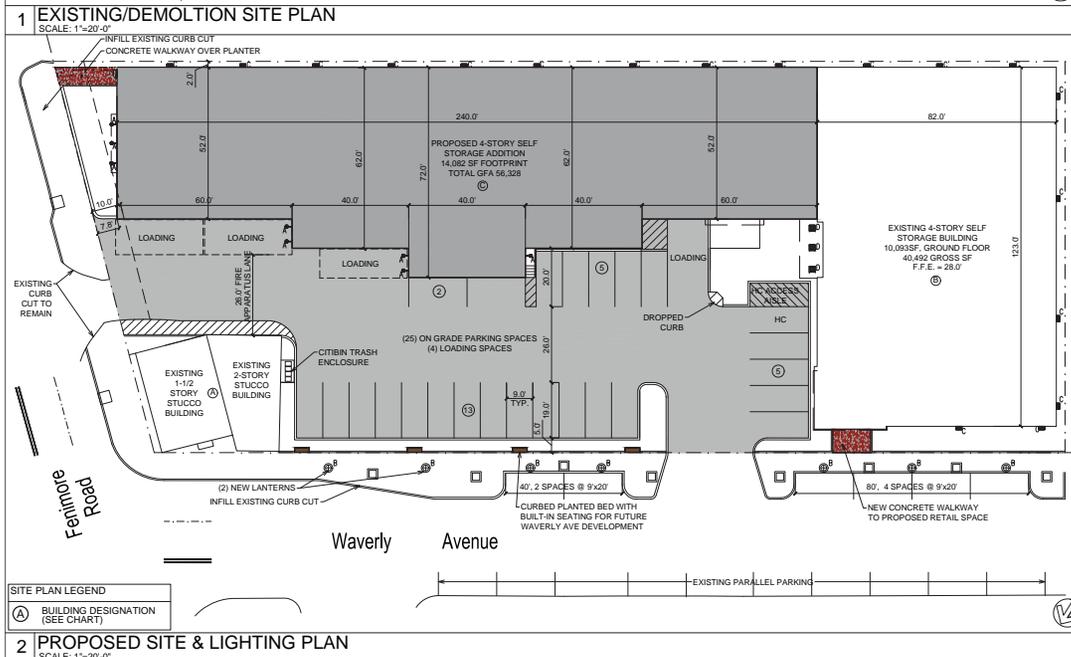
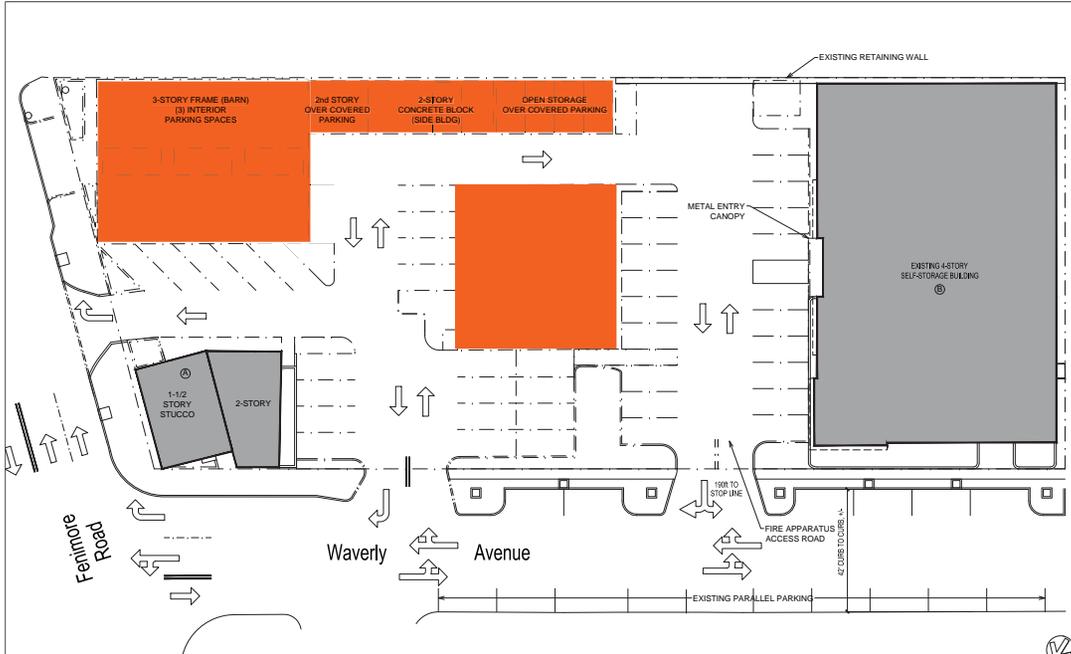


East Coast Properties: 416 Waverly Avenue



East Coast Properties: 416 Waverly Avenue





ZONING COMPLIANCE SCHEDULE

Zoning District: R1

Category	Required/Permitted	Existing	Proposed	Variance Required
Minimum Lot Area (SF)	<= 10,000	42,100	42,100	-
Minimum Lot Width & Frontage (Ft)	50	134	134	-
Building Coverage	Area: 10%	22,081	25,834	3,754
Percentage	50%	49%	56%	9%
Maximum Floor Area Ratio	1.0	1.34	1.28	-
Maximum Gross Floor Area	44,156	59,081	66,805	15,849
Impervious Surface Coverage	Area: 10%	N/A	41,653	40,389
Area: 10%	N/A	N/A	31.5%	-
Maximum Building Height (Note 1)	35'	45'	45'	-
Stories	3	4	4	1-story
Front (Waverly Avenue)	Note 2	0'	0'	N/A
Minimum Yard Requirements (Ft)	Note 3	0'	0'	N/A
Front (Waverly Avenue)	Note 3	0'	0'	7.5-foot proposed at addition
Rear (Southwest)	None	0'	0'	-
Rear (Southeast)	None	0'	0'	-
Off-Street Loading (Notes 4 & 5)	None	0'	0'	-
Off-Street Parking	140	0	4	4
On-Street Parking	0	25	25	115

Note 1: HEIGHT - BUILDING: The vertical distance to the highest level of the highest point of the roof if the roof is flat or mansard or to the mean level between the eaves and the highest point of the roof if the roof is of any other type, measured from the average level of the existing grade prior to construction adjacent to the exterior walls of the building.

Note 2: In the case of corner lots, the Planning Board shall establish reasonable setbacks from the street under the provisions of § 342-76.

Note 3: Front yard setback from Fennimore Road as an existing, non-conforming condition. Addition of Fennimore Road as proposed within 10-foot yard setback.

Note 4: Existing off-street parking associated with site buildings to remain shall not be reduced in accordance with Zoning Section 342-55, Existing Uses, and shall be required to comply with current off-street parking requirements.

PROPERTY USAGE ANALYSIS

EXISTING	Bldg #	Building Description	Floor	Occupant & Usage	GFA	Employees	SF/Parking Space (Notes 2 & 3)	Calculated Required Parking	Provided & Assigned Parking	Hours of Operation
EXISTING	A	Front Building	1	Murphy Brothers, Storefront (Note 1)	300	0	750	N/A (Unoccupied)	0	7am-4:30pm, M-F + Sat Office Use
		Rear Building	2	MBC General Contractor, Warehouse (Note 2)	1,185	2	750	4	4	7am-4:30pm, M-F + Sat Office Use
NEW	B	Self Storage	4 fls.	Self Storage, 95% of GFA (Note 4)	38,457	1	750	52	5	8am-5pm, Staffed
		Self Storage	4 fls.	Consultation & Mechanical Rooms, 5% of GFA	2,025	1	750	3	0	8am-5pm, Staffed
NEW	C	Self Storage ADDITION	4 fls.	Self Storage, 90% of GFA (Note 4)	51,849	1	750	70	8	8am-5pm, Staffed
		Self Storage ADDITION	4 fls.	Consultation & Mechanical Rooms, 5% of GFA	2,729	0	750	4	0	8am-5pm, Staffed
TOTALS					99,895	4	3,000	149	25	

Note 1: Murphy Bros. Storefront is composed of (2) bulk-in display areas for occupancy of seasonal marketing installations.

Note 2: Warehousing provided @ 1 space/750sf shall be permitted to include wholesaling storage & publishing, manufacturing, assembling, converting, altering, finishing, cleaning or other processing.

Note 3: Parking provided @ 1 space/250sf shall be permitted to include retail or service business.

Note 3A: Retail Parking Required as follows: 1 for each 300 square feet of gross floor area of a building with not more than 3,000 square feet.

Note 4: Self Storage facilities have been evaluated by the American Planning Association (APA), and found to have much lower parking requirements. The parking requirement recommended by the APA for self-storage facilities is one space per 40 - 45 storage units plus one space per facility manager or one per employee in the facility's largest shift.

Note 5: Existing off-street parking associated with site buildings to remain shall not be reduced in accordance with Zoning Section 342-55 and shall not be required to comply with current off-street parking requirements as follows: 342-55 Existing Uses, (Amended 3/25/17A, effective 4/3/17A) Structures and land uses in existence on or for which building permits shall have been approved prior to April 1, 1958, shall not be subject to the requirements for off-street parking spaces set forth herein, provided that any parking facilities now existing to serve such structures or uses shall not in the future be reduced or converted to any other purpose, except to the extent that they may exceed such requirements. Any building permit for the enlargement or extension of any such structure or use shall be conditioned upon the provision of all parking spaces required for such enlargement or extension.

Note 6: Parking Spaces are 9'x18', typical; loading spaces are 14' x 30'

Storage Unit Mix (Existing)

Unit Size	# of Units	% of Units	Sq. Ft.	Total SF	% of SF	Units/Ground Floor	Units/Floor(2-4)	Totals, Floors (2-4)
6x5	18	7.56%	55	415	1.73%	4	5	15
6x6	11	4.54%	50	800	4.05%	4	3	12
6x8	18	7.56%	50	800	3.94%	4	4	12
7x10	21	8.26%	100	2,400	11.95%	12	12	24
7x12	19	7.46%	100	2,400	11.95%	12	12	24
10x15	68	26.64%	150	9,900	49.17%	12	18	54
10x20	19	7.46%	200	3,600	17.82%	1	5	15
10x24	19	7.46%	200	3,600	17.82%	1	5	15
Subtotal	229	100.00%	-	28,100	100.00%	68	71	213

Storage Unit Mix (Addition)

Unit Size	# of Units	% of Units	Sq. Ft.	Total SF	% of SF	Units/Ground Floor	Units/Floor(2-4)	Totals, Floors (2-4)
6x5	0	0.00%	0	0	0.00%	0	0	0
6x6	40	14.80%	50	2,400	4.05%	12	12	24
6x8	0	0.00%	0	0	0.00%	0	0	0
7x10	10	3.60%	100	11,000	18.33%	12	12	24
7x12	10	3.60%	100	11,000	18.33%	12	12	24
10x15	68	24.56%	150	9,900	16.33%	12	18	54
10x20	19	6.96%	200	3,600	5.98%	1	5	15
10x24	19	6.96%	200	3,600	5.98%	1	5	15
Subtotal	135	100.00%	-	46,500	100.00%	69	87	261

Floor Areas - Existing

Level	Building (Gross)	Net Storage	Office	Efficiency	Sq. Ft.	6x10	10x15	7x10	10x12	10x18	10x20	10x30	Net Area
Ground Floor	11,113	7,800	0	70%	128	200	200	375	2,000	2,700	1,000	800	7,800
2nd Floor	11,113	7,800	0	70%	128	200	200	375	2,000	2,700	1,000	800	7,800
3rd Floor	11,113	7,800	0	70%	128	200	200	375	2,000	2,700	1,000	800	7,800
4th Floor	11,113	7,800	0	70%	128	200	200	375	2,000	2,700	1,000	800	7,800
Total	44,452	31,200	0	70%	474	800	800	1,425	7,600	10,800	4,000	3,200	31,200

Floor Areas - Proposed

Level	Building (Gross)	Net Storage	Office	Efficiency	Sq. Ft.	6x10	10x15	7x10	10x12	10x18	10x20	10x30	Net Area
Ground Floor	14,082	9,800	0	69%	0	0	0	0	4,900	3,900	800	800	9,800
2nd Floor	14,082	9,800	0	69%	0	0	0	0	4,900	3,900	800	800	9,800
3rd Floor	14,082	9,800	0	69%	0	0	0	0	4,900	3,900	800	800	9,800
4th Floor	14,082	9,800	1,740	69%	0	0	0	0	4,900	3,900	7,800	484	13,084
Total	56,328	39,200	1,740	69%	0	0	0	0	19,600	15,600	3,200	3,084	39,200

LIGHTING SCHEDULE

Location #	Location	E-Star Partner	Brand Name	Series/Style	Model Number	Description	Additional Info
A	At Canopies & Signage	-	Security Lighting Systems	Angle Reflector Wall Sconce	RLM175PMHDBS3RW12B	Gooseneck Wall Sconce	Incandescent, med. base, 200 watt max.
B1	Waverly Avenue Walkway	DLC	Gama Sonic	Imperial II Solar Lamp	GS-97N	Solar-Powered Post Mounted Lantern	DLC Certified
B2	Waverly Avenue Walkway	N/A	Gama Sonic	Decorative Pole	DB1	Lantern Post	-
C	At Egress & South Façade	DLC	Security Lighting Systems	Trapezoidal Wall Sconce	TWLS30LEDWDB120PCEM	Wall Mounted Sconce	DLC Certified
D	At Canopy Soffit(s)	DLC	Security Lighting Systems	LED Recessed Canopy Light	ECLD365700UNV5MK5WH	Recessed	DLC Certified

3 ZONING & SCHEDULES

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MAMARONECK SELF-STORAGE
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MAMARONECK, NY 10543
for East Coast North Properties, LLC

REVISION/SUBMISSION NOTES

1 PERMIT FILING	12/14/17
2 MUNICIPAL APPROV	01/19/18
3 SPA SUBMISSION	02/08/18
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project: 0329.00
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drawing title: **SITE PLAN AND ZONING**

drawing number: **SY-101**



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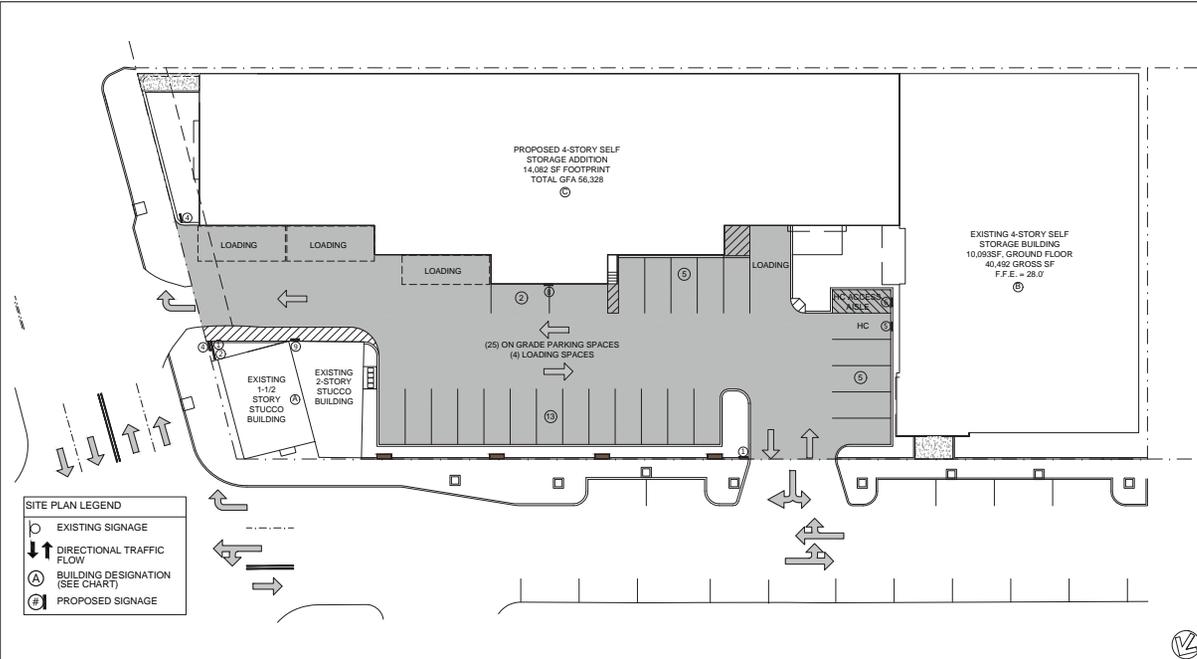
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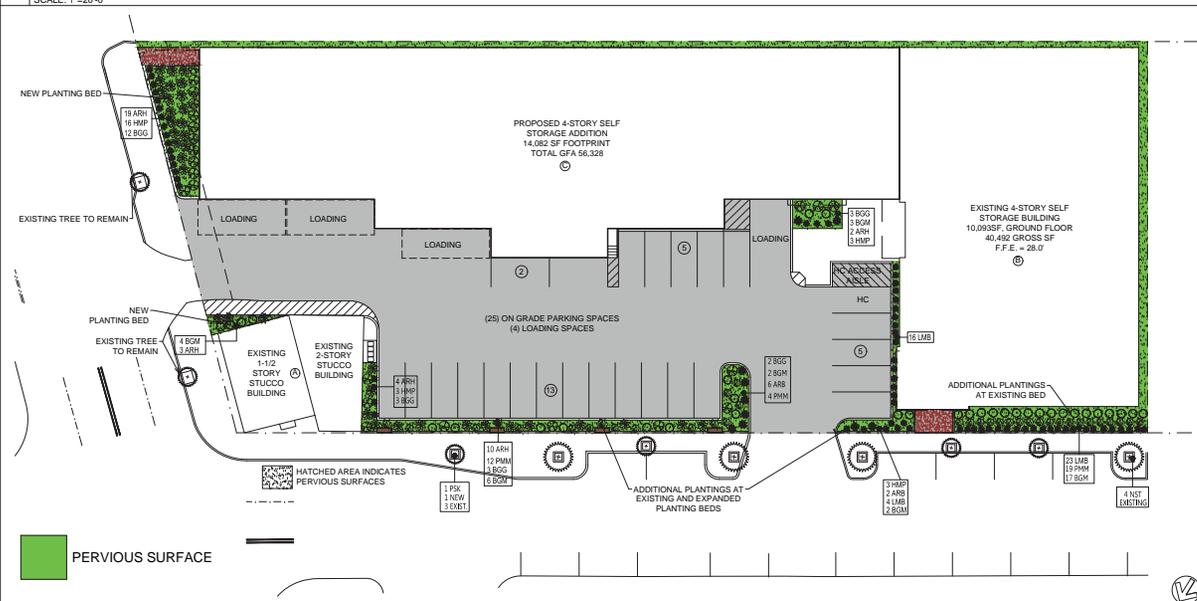
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scale:	AS NOTED

drawing title:
FACILITY OPERATIONS

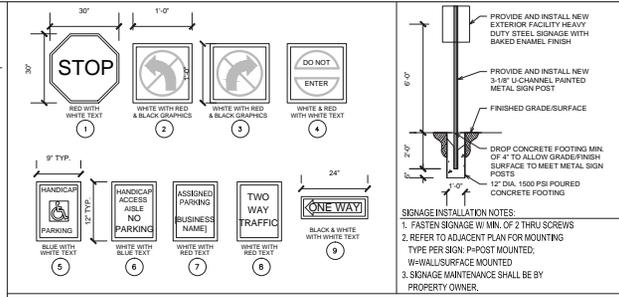
drawing number:
PHOTO-01



1 PROPOSED TRAFFIC MANAGEMENT PLAN
SCALE: 1"=20'-0"



1 PROPOSED LANDSCAPING PLAN
SCALE: 1"=20'-0"



GENERAL NOTES:

1. TRAFFIC MANAGEMENT PLAN IS PROVIDED FOR REFERENCE PURPOSES ONLY. REFER TO DRAWINGS C-1 & A-101 FOR SITE PLAN LAYOUT.
2. FOR SITE SIGNAGE DESIGNATION, SEE ADJACENT PLAN AND SIGNAGE GRAPHICS & DETAIL ABOVE THIS SHEET.
3. SEE PARKING NOTES BELOW FOR REQUIRED MARKINGS AS INDICATED IN SITE PLAN. THIS SHEET.

PARKING DESIGN & LAYOUT NOTES:

1. PARKING LINES FOR HANDICAP ACCESSIBLE SPACES AND ACCESSIBLE SHALL BE PAINTED 4" WIDE, BLUE.
2. PARKING LINES FOR ALL OTHER SPACES SHALL BE PAINTED 4" WIDE, WHITE.
3. "STOP" LINE SHALL BE 24" WIDE X 10' LONG. STOP LINE & SIGNAGE SHALL BE 48" FROM SIDEWALK, MIN.
4. FOR TWO-WAY TRAFFIC DOUBLE YELLOW TRAFFIC LINE SHALL BE PAINTED 10 FEET LONG FROM STOP SIGN LOCATION.
5. PARKING SPACE DESIGNATION IS INDICATED IN THE PROVIDED PLAN FOR EXISTING & PROPOSED USES PER THE PROVIDED SPREADSHEET OF SITE OCCUPANCY DATA. THIS SHEET.
6. PARKING SPACES INCLUDE (2) FULL SIZE HANDICAP ACCESSIBLE PARKING SPACES PER NYS BUILDING CODE SECTION 11.06.
7. NYSDOT & NYSBC COMPLIANT SIGNAGE SHALL BE PROVIDED FOR HANDICAP ACCESSIBLE SPACES AND ACCESSIBLE.

SITE INGRESS/EGRESS TRAFFIC NOTES:

1. ONE (1) TWO-WAY, SITE ACCESS CURB CUTS TO BE MAINTAINED AT WAVERLY AVENUE.
2. ONE (1) EXISTING EGRESS & RIGHT TURN ONLY CURB CUT TO BE MAINTAINED AT FENIMORE ROAD.
3. CIRCULATION WITHIN THE ON-SITE PARKING LOT IS TWO-WAY, EXCEPT AT PARKING AREA LEADING TO & EGRESS AT FENIMORE ROAD.

2 SIGNAGE NOTES AND DETAILS
SCALE: NTS

PLANT SCHEDULE		BOTANICAL NAME				ADDITIONAL DATA	
TYPE	DESIGNATION	GENUS	SPECIES	CULTVAR	COMMON NAME	SIZE @ PLANTING	SIZE @ MATURITY
TREE	PSK	PRUNUS	SERRULATA	KANZAN	FLOWERING CHERRY	8-10 FEET	15-25 FEET
TREE	NST	NYSSA	SILVATICA	TELUPO	BLACK GLIM	12 FEET	30-50 FEET
PERENNIALS	LMB	LIRIODE	MUSCARI	BIG BLUE	LILY TURF	1.5 FEET	1.5 FEET
PERENNIALS	HMP	HEMEROCALLIS	MIDDENDORFFII	PRAIRIE BLUE EYES	DAVILY	2-3 FEET	2-3 FEET
SHRUBS	ARB	AZALEA	RHOODENDRON	BLAUW'S PINK	EVERGREEN AZALEA	2 FEET	2-4 FEET
SHRUBS	ARH	AZALEA	RHOODENDRON	HERBERT	EVERGREEN AZALEA	2 FEET	2-3 FEET
SHRUBS	PMM	PINES	MUGO	MOPS	DWARF MOUNTAIN PINE	2-3 FEET	3-4 FEET
SHRUBS	BGM	BUXUS	GREEN MOUNTAIN	BUXACEAE (HYBRID)	BOXWOOD	2-3 FEET	3-5 FEET
SHRUBS	BGG	BUXUS	GREEN GEM	MICROPHYLLA var. KOREANA x SEMPERVIRENS	BOXWOOD	2-3 FEET	3-5 FEET

1. SUBSTITUTIONS ARE ALLOWED DUE TO AVAILABILITY AND HEALTH OF PLANTS.
2. ALL SUBSTITUTIONS SHALL BE APPROVED BY PROPERTY OWNER.
3. ALL PLANTS TO BE NURSERY STOCK.
4. ALL SHRUBS & PERENNIALS TO BE INSTALLED IN PLANT BED WITH 4" PINE BARK MULCH. PROVIDE SHOVEL EDGE ON BED @ MINIMUM.
5. STREET TREES SHALL BE PLANTED IN A SURROUNDED BY A SILVA CELL MODULAR SUSPENDED PAVEMENT SYSTEM ALLOWING FOR ROOT GROWTH & STORMWATER MANAGEMENT INFRASTRUCTURE WHERE EXISTING UTILITIES PERMIT.
6. TREE GRATES SHALL BE INSTALLED AT ALL PROPOSED TREES ALONG WAVERLY AVENUE TO MATCH EXISTING GRATES AT FENIMORE ROAD.
7. DO NOT OVER MULCH TREE PLANTING. USE PINE BARK MULCH ONLY.
8. ALL MATERIAL, PLANTS, SOIL & GROWING MEDIUM MUST BE FREE OF INVASIVE SPECIES.

4 LANDSCAPE SCHEDULE AND LEGEND
SCALE: NTS

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drawing title:
TRAFFIC MANAGEMENT & LANDSCAPE PLANS

drawing number:
SY-102

MAMARONECK SELF-STORAGE
 416 WAVERLY AVENUE
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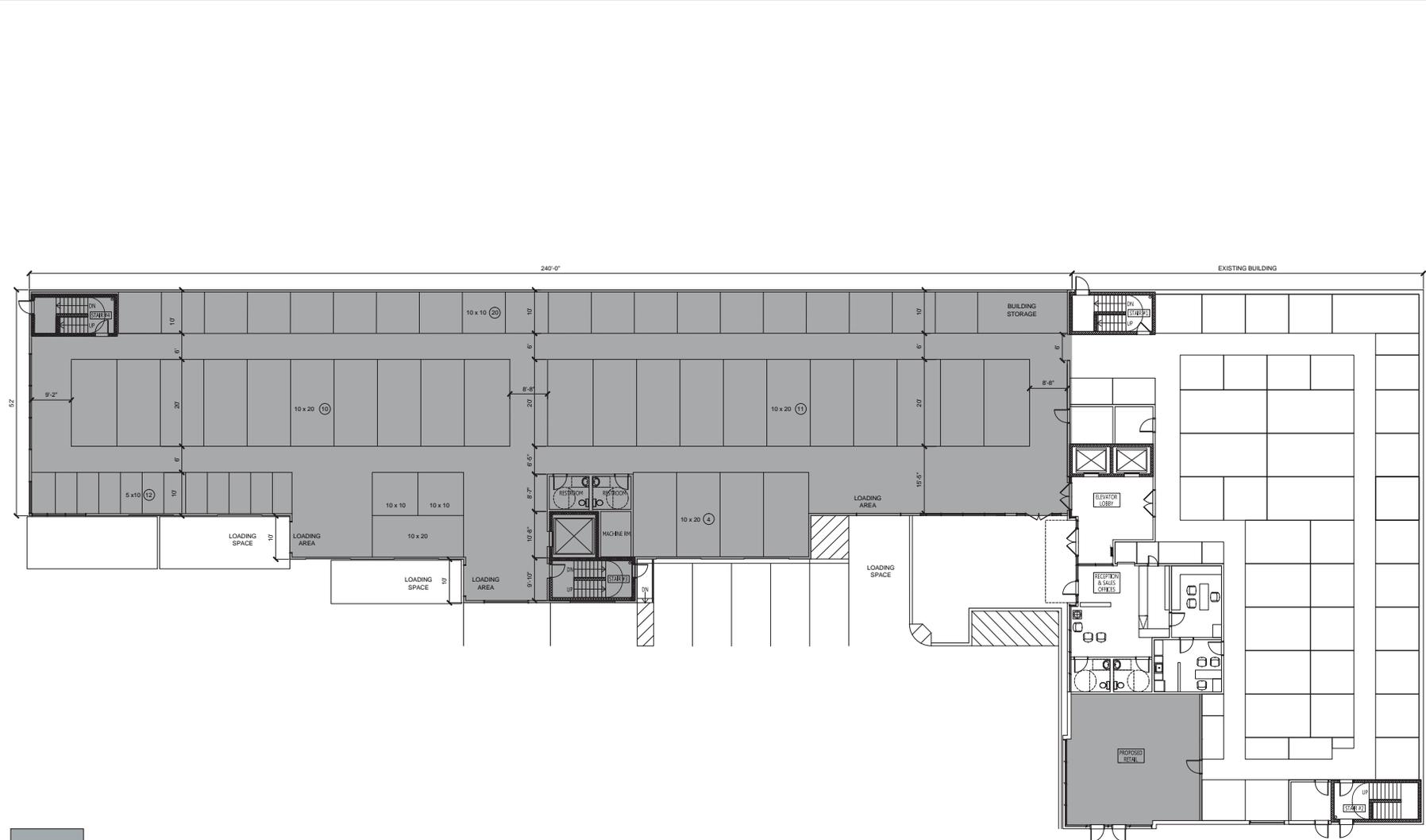
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drawing title:
FIRST FLOOR PLAN

drawing number:
A-101



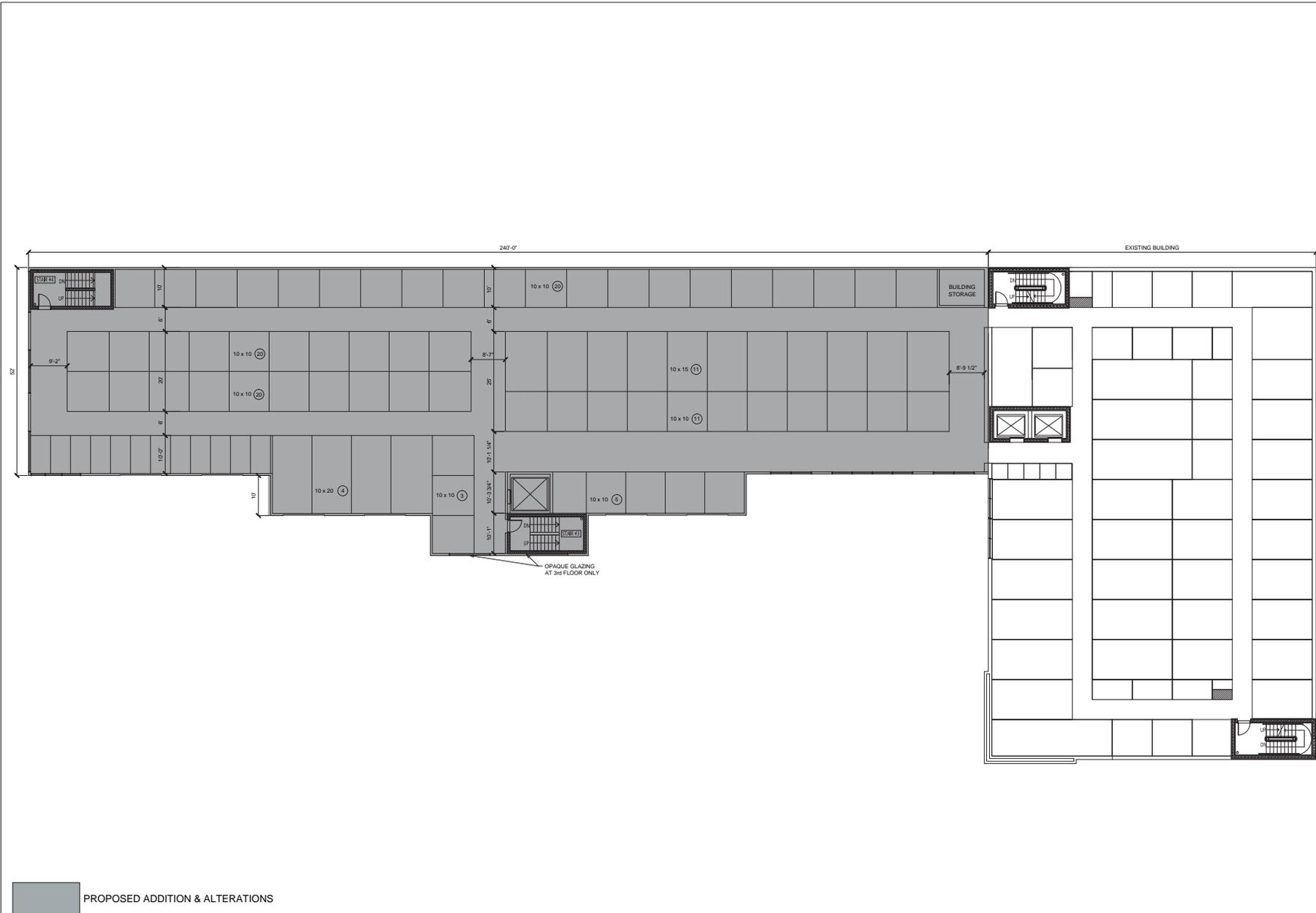
PROPOSED ADDITION & ALTERATIONS

Occupancy Calculations and Minimum Plumbing Facility Requirements (2015 International Building Code Table 2902.1)

Location	Gross S.F.	Calculated Occupancy	Water Closets		Urinals	Lavatories	Service Sink		Water Fountain	
			Male	Female	Male (Note 1)	Per Bathroom	Per Area/Occupancy	Per Area/Occupancy	Per Area/Occupancy	Per Area/Occupancy
Office (Occupancy: B, Business)	200	2	1 per 75 occupants=1 (50% male occupancy)	1 per 75 occupants=1 (50% female occupancy)	Note 1	1 per 200 occupants	1		1	
Accessory Areas (N/A as occupancy)	3000	10	N/A	N/A	Note 1	N/A	N/A	N/A	N/A	
Self-Storage (Occupancy: S-1, Warehouse)	9300	187	1/100	1/100	Note 1	1/100	1/1000		1/1000	
Required (calculated based on maximum occupancy & weights)			2	2	0	4	1	1	1	
Total/Provided	96,500	199	4 urinals	4 urinals	0	4	1 @ ground floor	1 @ ground floor	1 @ ground floor	

Note 1 Urinals may be proposed in lieu of water closets per IPC 419.2 for not more than 67% of required fixtures.

1 FIRST FLOOR PLAN
 SCALE: 3/32"=1'-0"



1 2ND TO 4TH FLOOR PLANS

SCALE: 3/32"=1'-0"

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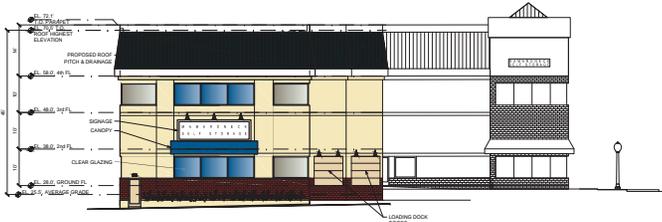
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2ND TO 4TH FLOOR PLAN

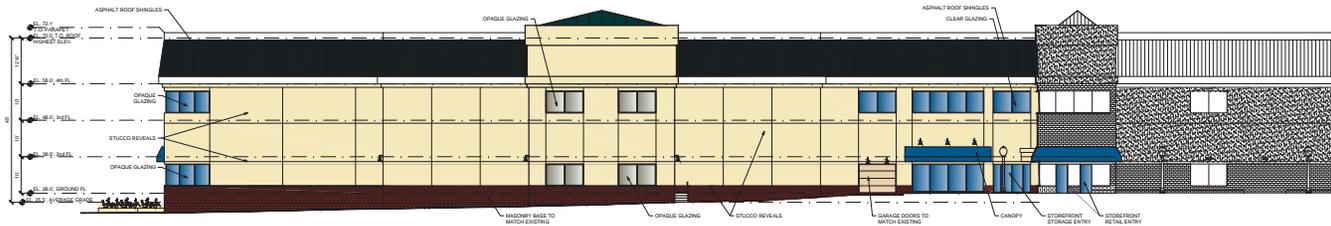
drawing number:
A-102



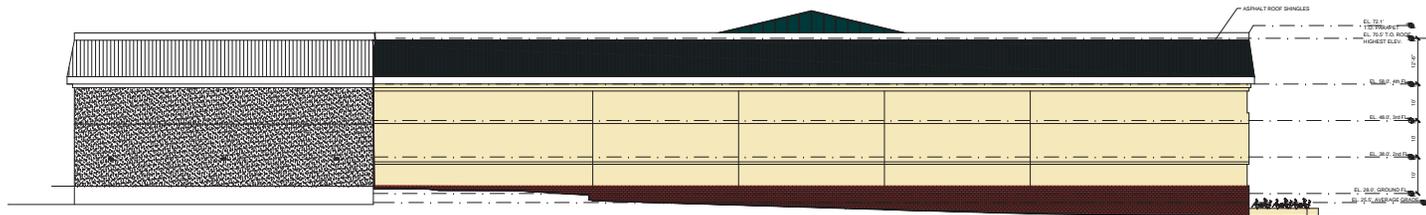
1 FENIMORE ROAD ELEVATION
SCALE: 1/16"=1'-0"



2 ADDITION PROFILE ADJACENT TO EXISTING FACADE
SCALE: 1/16"=1'-0"



3 WAVERLY AVENUE ELEVATION
SCALE: 1/16"=1'-0"



4 REAR ELEVATION
SCALE: 1/16"=1'-0"

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416 WAVERLY AVENUE
MAMARONECK, NY 10543
for East Coast North Properties, LLC

REVISION/SUBMISSION NOTES	
1 PERMIT FILING	12/14/17
2 MUNICIPAL APPRV	01/19/18
3 SPA SUBMISSION	02/08/18
4 ZBA FILING	06/19/18

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project:	0329.00
date:	12/06/17
scale:	AS NOTED

drawing title:
EXTERIOR ELEVATIONS

drawing number:
A-201