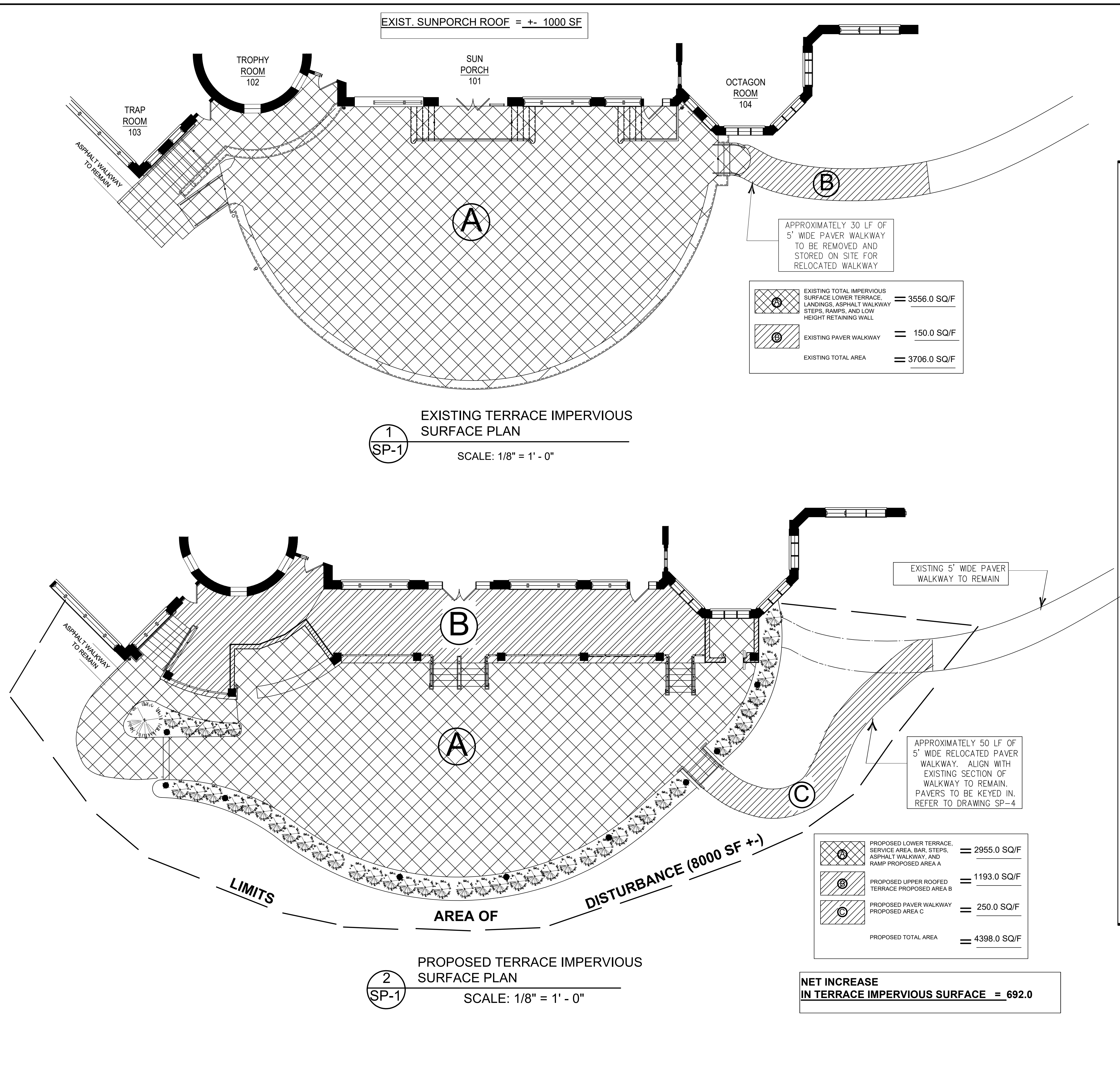


ORIENTA BEACH CLUB

TERRACE ADDITION & PATIO RENOVATION - EXTERIOR RENDERING

Studio JBD
Jefferson Group Architecture
700 School St Pawtucket, RI
401-721-0977

JBD
DESIGN
JGA
ARCHITECTURE



SURVEY INFORMATION

ALL EXISTING INFORMATION ON THIS SITE PLAN WAS TAKEN FROM SURVEYS PREPARED BY:

MICHAEL W. FINKBEINER
EARTH IMAGE DOT NET, LLC

DATED: APRIL 16, 2009 AND MAY 1, 2008

ENGINEER IS NOT RESPONSIBLE FOR ACCURACY OF EXISTING CONDITIONS

ORIENTA BEACH CLUB – REAR TERRACE PROJECT
STORMWATER DESIGN IN ACCORDANCE WITH CHAPTER 294 OF THE VILLAGE CODE
(STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL)

1. **METHODOLOGY:**

- **Design for 25 Year Storm Water Quantity Attenuation:** (Rainfall Intensity = 6.41 inches/day).
- **USDA Soil classification:** (Urban land-Charlton-Chaffield complex – (UIC - Hydrologic Soil Group B)
- **Design modifications due to field conditions:** Will be submitted to the Village of Mamaroneck for approval.
- **Area of Disturbance:** Refer to drawing SP-1 (approximately 8000 sf disturbance area).

2. **PRE- DEVELOPMENT CONDITION:**

The pre-development site condition has been taken as the existing rear terrace, exterior stairs, walkways, ramps, And existing planting and lawn areas (refer to tabulation of existing impervious surfaces on 1/SP-1).

3. **POST- DEVELOPMENT CONDITION:**

The post-development site condition has been taken as the construction of the roofed upper terrace (over the existing lower terrace), lower terrace extension, new exterior stairs, and reconfigured walkways and ramps (refer to tabulation of proposed impervious surfaces on 2/SP-1). As noted in the impervious surface tabulation the actual net increase in impervious surfaces is 692 sf. However, the design will also include approximately 50% of the new upper terrace roof (600 sf of the 1193 sf roof) for a total impervious increase of 1292 sf. Approximately 50% of the upper terrace roof is taken to existing drywells at the rear of the property. Two of the replacement roof leaders are to be reconnected to the existing drywell piping system to remain.

4. **AREA OF DISTURBANCE:** (Approximately 5,000 sf refer to 1/SP-2)

5. **SOIL PERCOLATION RATE:** (See percolation test and deep test data for test on June 12, 2020 on drawing SP-2).

Time of Percolation (t) = 54 min. for 3 inch drop
Percolation Time (t) = 18 min./inch
Cylinder Diameter (d) = 12 inches
Average Height (h_{avg}) = 9 inches

Cylinder Surface Area = A_c = π x d x h = 2.36 sf
Cylinder Bottom Area = A_b = π x r² = 0.79 sf
Percolation Area = A_p = A_c + A_b = 3.14 sf
Percolation Volume = V_p = Δh x A_b = 0.20 cf

Soil Percolation Rate (S_p)
S_p = V_p/A_p x t
= 0.20/3.14/18 = 3.53 x 10⁻³ cfs/sf/min = 5.10 cfs/sf/day
S_{mod} = S_p less 25% clogging = 3.82 cfs/sf/day

6. **CALCULATE DETENTION VOLUME REQUIRED:** (No net increase for the 25 year storm)

	Impervious Surface (sf)	Pervious Surface (sf)	Runoff No. CN
Pre-development Condition (rear terrace area)	3706.00	692.00	75.00
Post-Development Condition (rear terrace area)	4398.00	0.00	98.00
Net Increase of Impervious Surface	+ 692.00		

Note: The design will be for a net increase in impervious surface of 692.00 sf plus 600.00 sf (50%) of the new upper terrace roof = total impervious design area of **1292.00 sf**

V_s = QA Q = $\frac{(P - 0.2S)^2}{(P + 0.8S)}$ S = $\frac{1,000.00}{CN} - 10$

Q_{PRE} = 3.6 inches Q_{POST} = 6.56 inches
V_{s,PRE} = Q X A = 387.6 cf V_{s,POST} = Q X A = 690.2 V_{s,NET} = V_{s,POST} - V_{s,PRE} = 302.4 cf
Volume Required = 302.4 cf

However, using a more conservative design approach detention will be provided for the 1292.00 sf impervious area without taking the difference between pre-development and post development CN runoff values. The design for storage volume will use the 6.41 in (25 Year Storm Intensity) over the 1292.00 sf impervious surface.

Therefore, V_s = (6.41 inches x 1292 sf) / 12 = 690.2 cf

CALCULATE VOLUME TO BE PROVIDED:

Use 330XLHD Culcete chambers
Volume per Chamber (V_c)
V_c = 79.26 cf per unit (based on manufacturer's data w/ 6" gravel and 40 % voids)
Volume for Percolation for bottom (V_p) per unit (dimensions L = 7 ft, W = 4.33 ft)
V_p = L x W x S_{mod}
= 7 x 4.33 x 3.82 = 115.8 cf per unit
Total Volume provided per unit (V_{unit})
V_{unit} = V_c + V_p
= 79.26 + 115.8 = 195.06 cf
of Chambers Required for Detention = Volume Required / Volume per Culcete Unit
= 690.2 / 195.06
= 3.54 units; Use 4 units
Volume Provided = 4 units x 195.06 cf/unit
Volume Provided 780.25 cf > 690.2 cf **OK**

Use (4) 330XLHD Culcete Units for Storage

7. **CALCULATE WATER QUALITY VOLUME:** (Per Chapter 4 of the NYSDEC Design Manual)

WQ_v = [(P)(R_v)(x)(A)]/12 P = 1.5 inches
R_v = 0.05 + 0.009(I) = 0.95
A = 0.03 acres
I = 100%

WQ_v = 0.0036 acre-ft = 155.20 cf

of Chambers Required for Water Quality = Volume Required / Volume per Culcete Unit
= 155.2 / 195.06
= 0.80 units; Use 1 unit
Volume Provided = 4 units x 195.06 cf/unit
Volume Provided 780.25 cf > 155.2 cf **OK**

Use (1) 330XLHD Culcete Unit for Water Quality

Revisions

1.	5/29/2020 - Bid Addendum
2.	9/29/2020 - SWPPP submittal

Drawing North

Client Name and Address

ORIENTA BEACH CLUB
1054 WALTON AVE
MAMARONECK, NY 10543

Project Information

LOWER TERRACE IMPROVEMENTS

Situated At
1054 WALTON AVE
TOWN OF MAMARONECK
WESTCHESTER CO.
NEW YORK

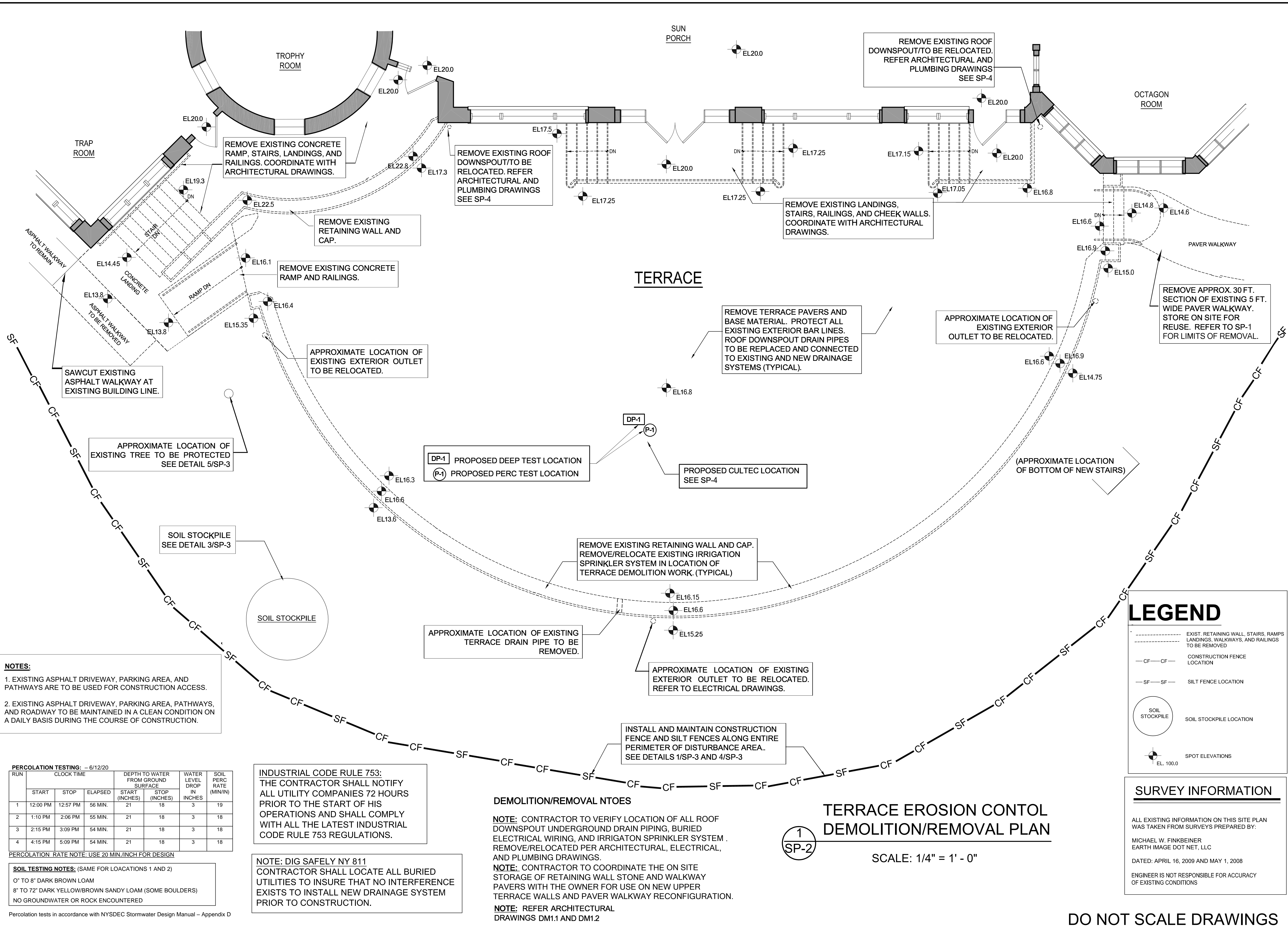
TAX INFO:
BLOCK :
LOTS :

Job No. 200424
Scale AS NOTED
Date 21 MAY 2020
Drawn By AJP
Checked By NP
Sheet

Seal & Signature

EXISTING AND PROPOSED TERRACE IMPERVIOUS SURFACE PLANS & NOTES, AND STORMWATER CALCULATIONS

DO NOT SCALE DRAWINGS



NOTES:

1. EXISTING ASPHALT DRIVEWAY, PARKING AREA, AND PATHWAYS ARE TO BE USED FOR CONSTRUCTION ACCESS.

2. EXISTING ASPHALT DRIVEWAY, PARKING AREA, PATHWAYS, AND ROADWAY TO BE MAINTAINED IN A CLEAN CONDITION ON A DAILY BASIS DURING THE COURSE OF CONSTRUCTION.

PERCOLATION TESTING: - 6/12/20							
RUN	CLOCK TIME			DEPTH TO WATER FROM GROUND SURFACE		WATER LEVEL DROP IN INCHES	SOIL PERC RATE (MIN/IN)
	START	STOP	ELAPSED	START (INCHES)	STOP (INCHES)		
1	12:00 PM	12:57 PM	56 MIN.	21	18	3	19
2	1:10 PM	2:06 PM	55 MIN.	21	18	3	18
3	2:15 PM	3:09 PM	54 MIN.	21	18	3	18
4	4:15 PM	5:09 PM	54 MIN.	21	18	3	18

PERCOLATION RATE NOTE: USE 20 MIN./INCH FOR DESIGN

SOIL TESTING NOTES: (SAME FOR LOCATIONS 1 AND 2)

0" TO 8" DARK BROWN LOAM

8" TO 72" DARK YELLOW/BROWN SANDY LOAM (SOME BOULDERS)

NO GROUNDWATER OR ROCK ENCOUNTERED

Percolation tests in accordance with NYSDEC Stormwater Design Manual - Appendix D

INDUSTRIAL CODE RULE 753:

THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS PRIOR TO THE START OF HIS OPERATIONS AND SHALL COMPLY WITH ALL THE LATEST INDUSTRIAL CODE RULE 753 REGULATIONS.

NOTE: DIG SAFELY NY 811

CONTRACTOR SHALL LOCATE ALL BURIED UTILITIES TO INSURE THAT NO INTERFERENCE EXISTS TO INSTALL NEW DRAINAGE SYSTEM PRIOR TO CONSTRUCTION.

DEMOLITION/REMOVAL NTOES

NOTE: CONTRACTOR TO VERIFY LOCATION OF ALL ROOF DOWNSPOUT UNDERGROUND DRAIN PIPING, BURIED ELECTRICAL WIRING, AND IRRIGATION SPRINKLER SYSTEM. REMOVE/RELOCATED PER ARCHITECTURAL, ELECTRICAL, AND PLUMBING DRAWINGS.

NOTE: CONTRACTOR TO COORDINATE THE ON SITE STORAGE OF RETAINING WALL STONE AND WALKWAY PAVERS WITH THE OWNER FOR USE ON NEW UPPER TERRACE WALLS AND PAVER WALKWAY RECONFIGURATION.

NOTE: REFER ARCHITECTURAL DRAWINGS DM1.1 AND DM1.2

1
SP-2

**TERRACE EROSION CONTOL
DEMOLITION/REMOVAL PLAN**

SCALE: 1/4" = 1' - 0"

LEGEND

- EXIST. RETAINING WALL, STAIRS, RAMPS, LANDINGS, WALKWAYS, AND RAILINGS TO BE REMOVED
- CONSTRUCTION FENCE LOCATION
- SILT FENCE LOCATION
- SOIL STOCKPILE LOCATION
- SPOT ELEVATIONS

SURVEY INFORMATION

ALL EXISTING INFORMATION ON THIS SITE PLAN WAS TAKEN FROM SURVEYS PREPARED BY:

MICHAEL W. FINKBEINER
EARTH IMAGE DOT NET, LLC

DATED: APRIL 16, 2009 AND MAY 1, 2008

ENGINEER IS NOT RESPONSIBLE FOR ACCURACY OF EXISTING CONDITIONS

DO NOT SCALE DRAWINGS

**MASTROGIACOMO
ENGINEERING, P.C.**
10 MIDLAND AVENUE, SUITE 204A
PORT CHESTER, NEW YORK 10573
TEL: 914.920.6372
FAX: 206.888.6226
WWW.MASENGPC.COM
LICENSED IN NEW YORK & CONNECTICUT

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Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from these dimensions and conditions shown hereon in writing.

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Revisions

1.	5/29/2020 - Bid Addendum
2.	9/29/2020 - SWPPP submittal

Drawing North

Client Name and Address

**ORIENTA
BEACH
CLUB**

1054 WALTON AVE
MAMARONECK, NY 10543

Project Information

**LOWER
TERRACE
IMPROVEMENTS**

Situated At
1054 WALTON AVE
TOWN OF MAMARONECK
WESTCHESTER CO.
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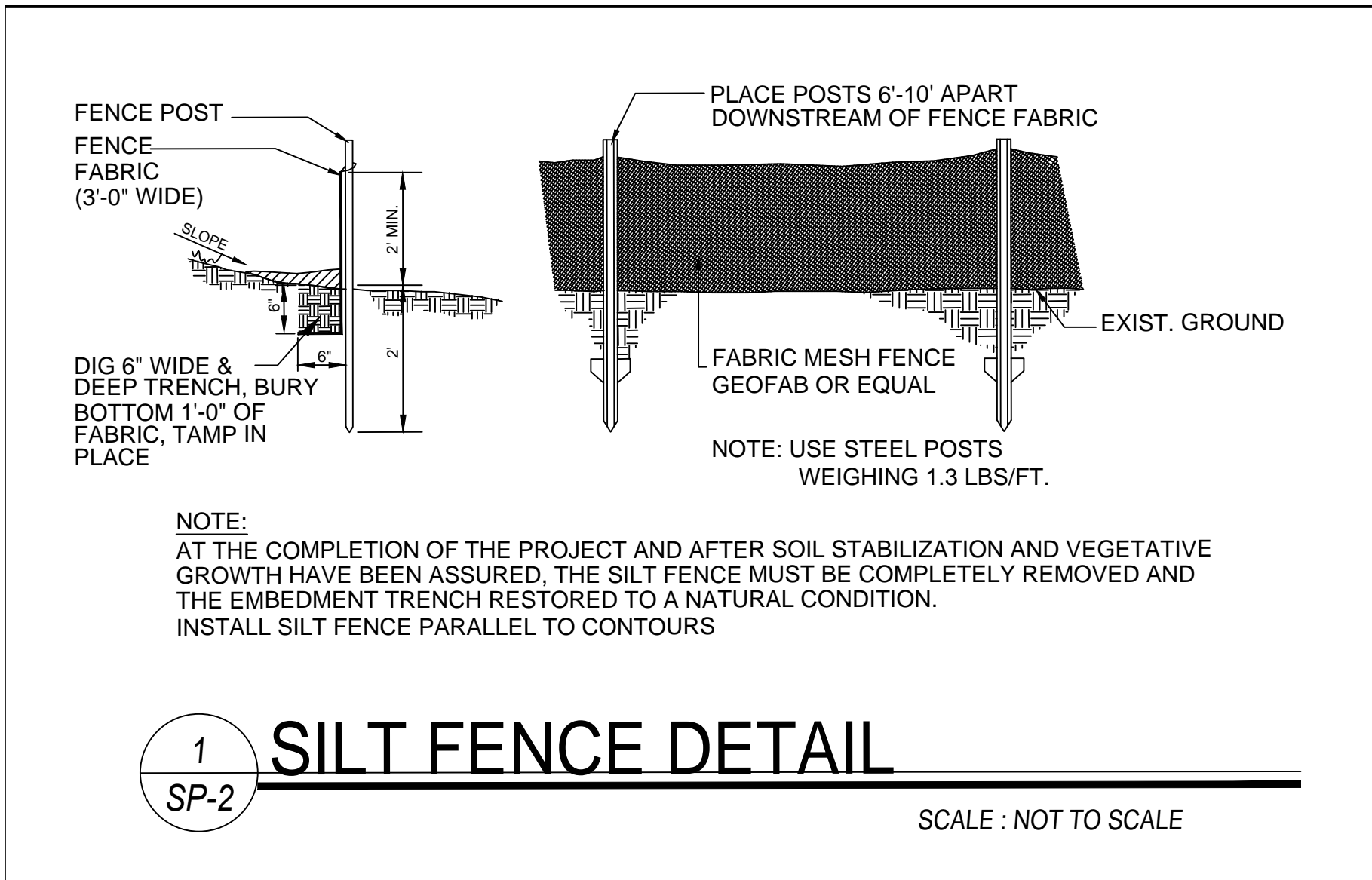
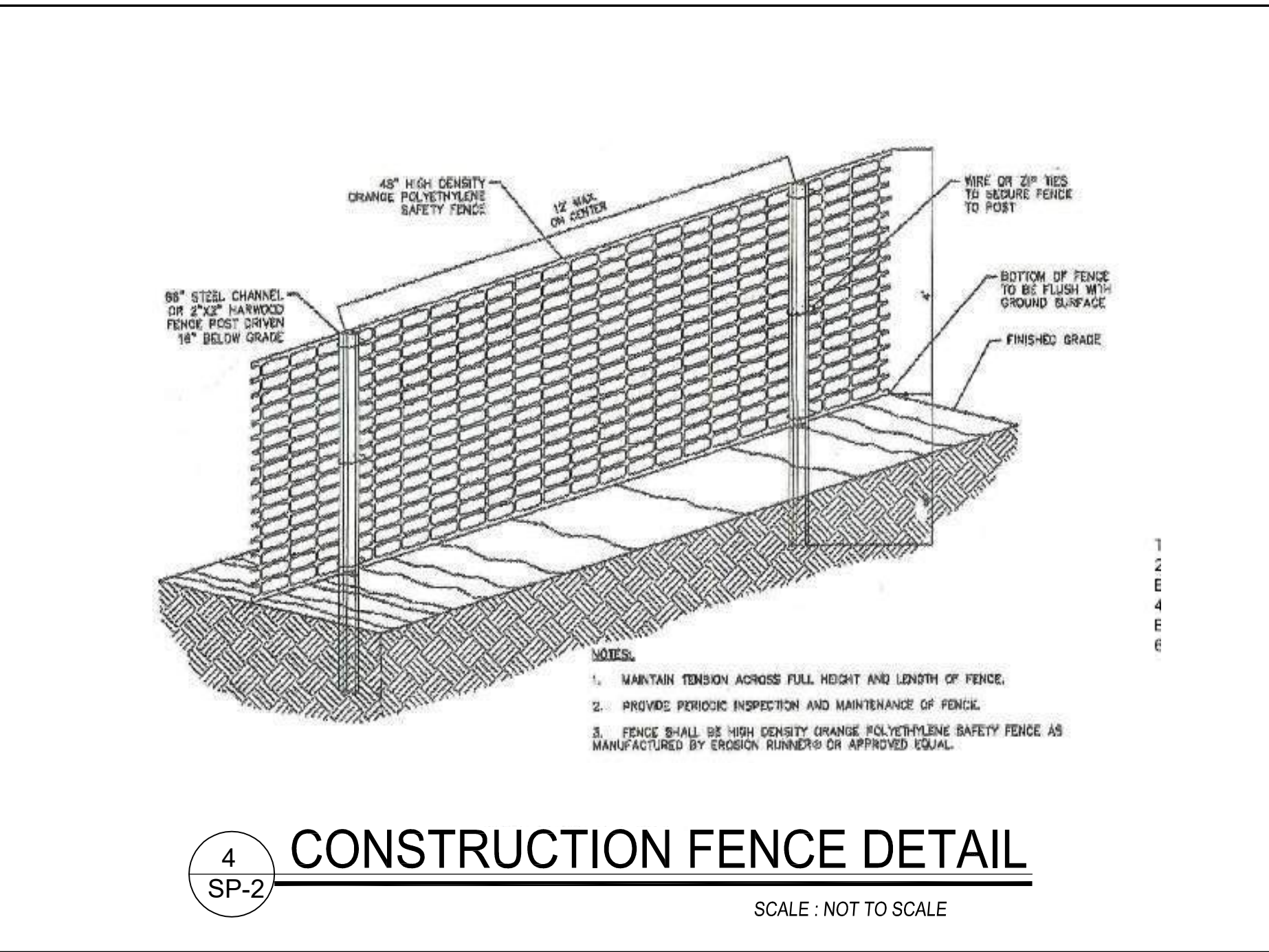
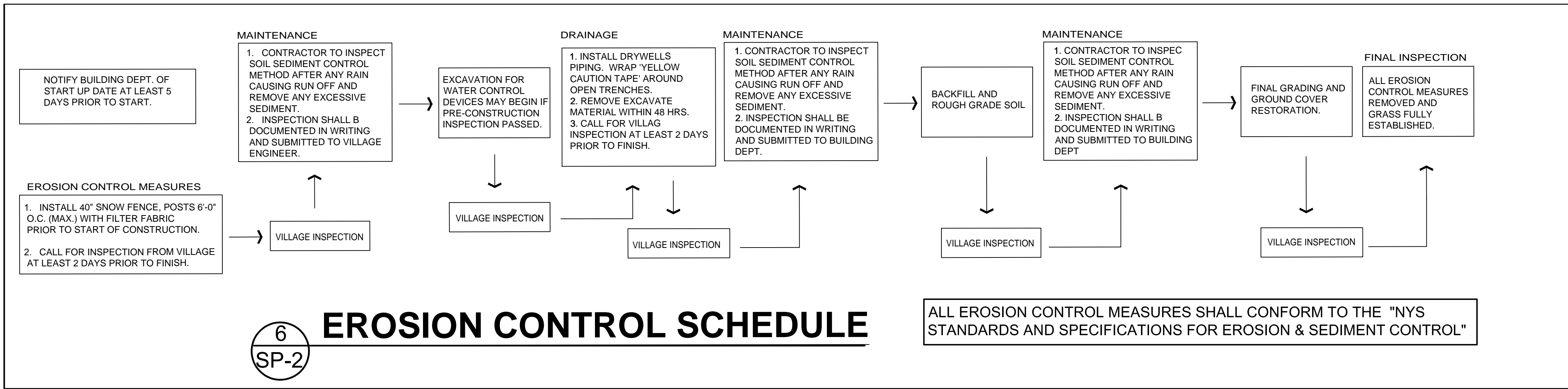
Job No. 200424
Scale AS NOTED
Date 21 MAY 2020
Drawn By AJP
Checked By NP
Sheet

SP-2

Seal & Signature

STATE OF NEW YORK
MICHAE MASTROGIACOMO, P.E., L.S.
NEW YORK STATE P.E. LIC. NO. 058810
CONNECTICUT STATE P.E. & L.S. LIC. NO. 21713

TERRACE EROSION CONTROL DEMOLITION/REMOVAL PLAN & NOTES



INSTALLATION & MAINTENANCE OF EROSION CONTROL

CONSTRUCTION SCHEDULE

NOTIFY APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 5 DAYS PRIOR TO START

EROSION CONTROL MEASURES

INSTALL ALL EROSION CONTROL MEASURES PRIOR TO START OF CONSTRUCTION. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY

MAINTENANCE (TO BE PERFORMED DURING ALL PHASES OF CONSTRUCTION)

AFTER ANY RAIN CAUSING RUNOFF, CONTRACTOR TO INSPECT SILT FENCE, ETC. AND REMOVE AND EXCESSIVE SEDIMENT, AND INSPECT STOCKPILES AND CORRECT ANY PROBLEMS WITH SEED ESTABLISHMENT. INSPECTIONS SHALL BE DOCUMENTED IN WRITING AND SUBMITTED TO THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION.

STOCK PILING OF EXCAVATED MATERIAL

STRIP TOPSOIL AND STOCKPILE

STOCKPILE EXCAVATION SUBGRADE

SEED PILES WITH 1LB TOTAL ANNUAL RYE OR REMOVE FROM SITE WITHIN 2 DAYS

INSPECTION BY MUNICIPALITY

FINAL GRADING

REMOVE UNNEEDED SUBGRADE FROM SITE. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY

LANDSCAPING

SPREAD TOPSOIL EVENLY OVER AREAS TO BE SEEDED. HAND RAKE LEVEL. BROADCAST 1-25LB BAG OF JONATHAN GREEN "FASTGROW" MIX OR EQUAL OVER AREAS TO BE SEEDED. APPLY STRAW MULCH AND WATER WITHIN 2 DAYS OF COMPLETION OF TOPSOILING. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY

FINAL LANDSCAPING

GRASS ESTABLISHED

CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY

FINAL INSPECTION

1. ALL EROSION CONTROL MEASURES REMOVED AND GRASS ESTABLISHED.

2. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

VILLAGE OF MAMARONECK

Building Department
169 Mt. Pleasant Ave
Mamaroneck, N.Y. 10543

Telephone: (914) 777-7731

Fax Number: (914) 777-7792

Date: 10-7-2020

Contractor Certification for Storm Water Pollution Prevention Plans (SWPPP).

(1) Per Village of Mamaroneck Code, section 294, each contractor and subcontractor identified in the SWPPP who will be involved in soil disturbance and/or storm water management practice installation shall sign and date a copy of the following certification statement before undertaking any land development activity:

"I certify under penalty of law that I understand and agree to comply with the terms and condition of the storm water pollution prevention plan. I also understand that it is unlawful for any person to cause or contribute to a violation of water quality standards."

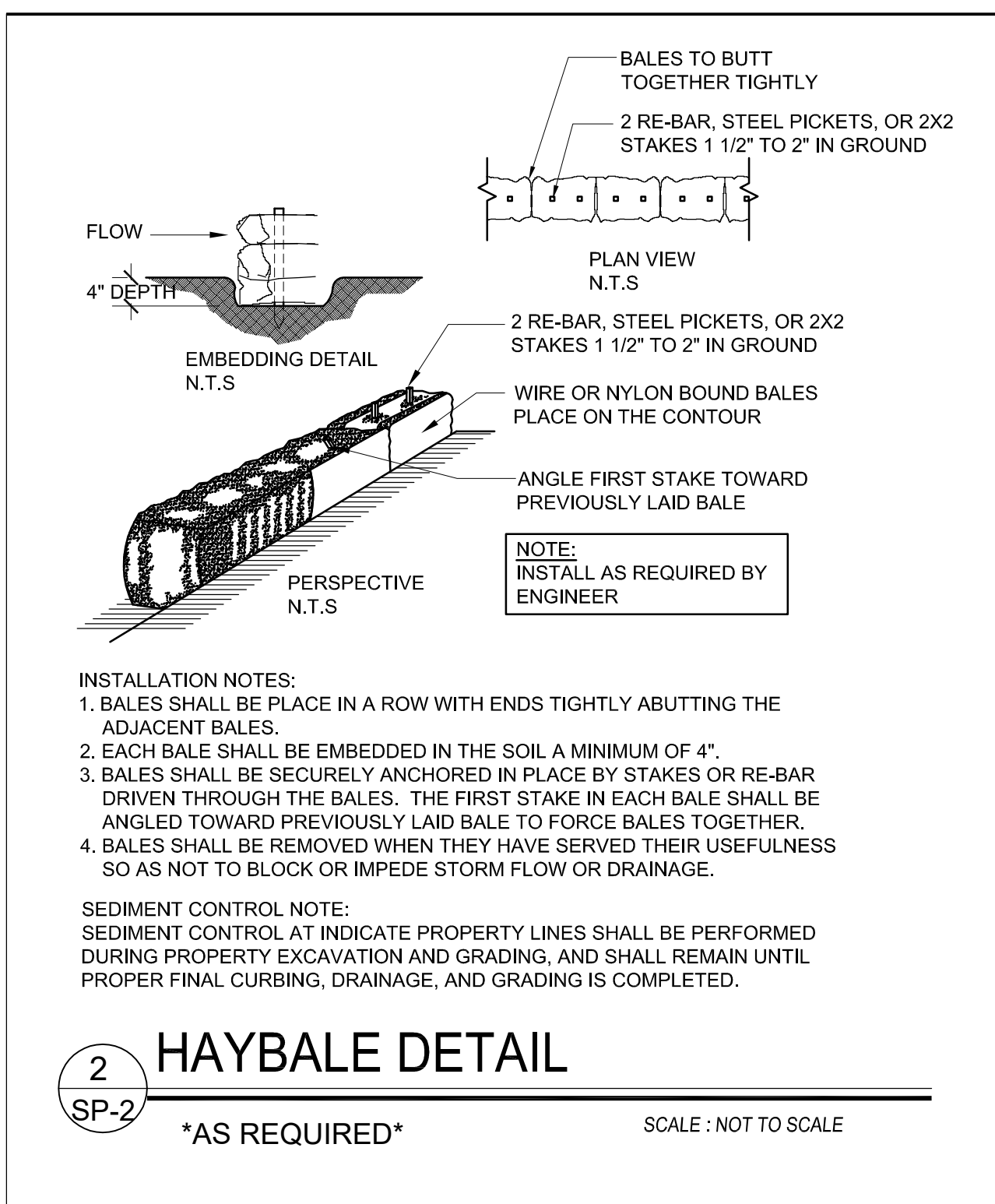
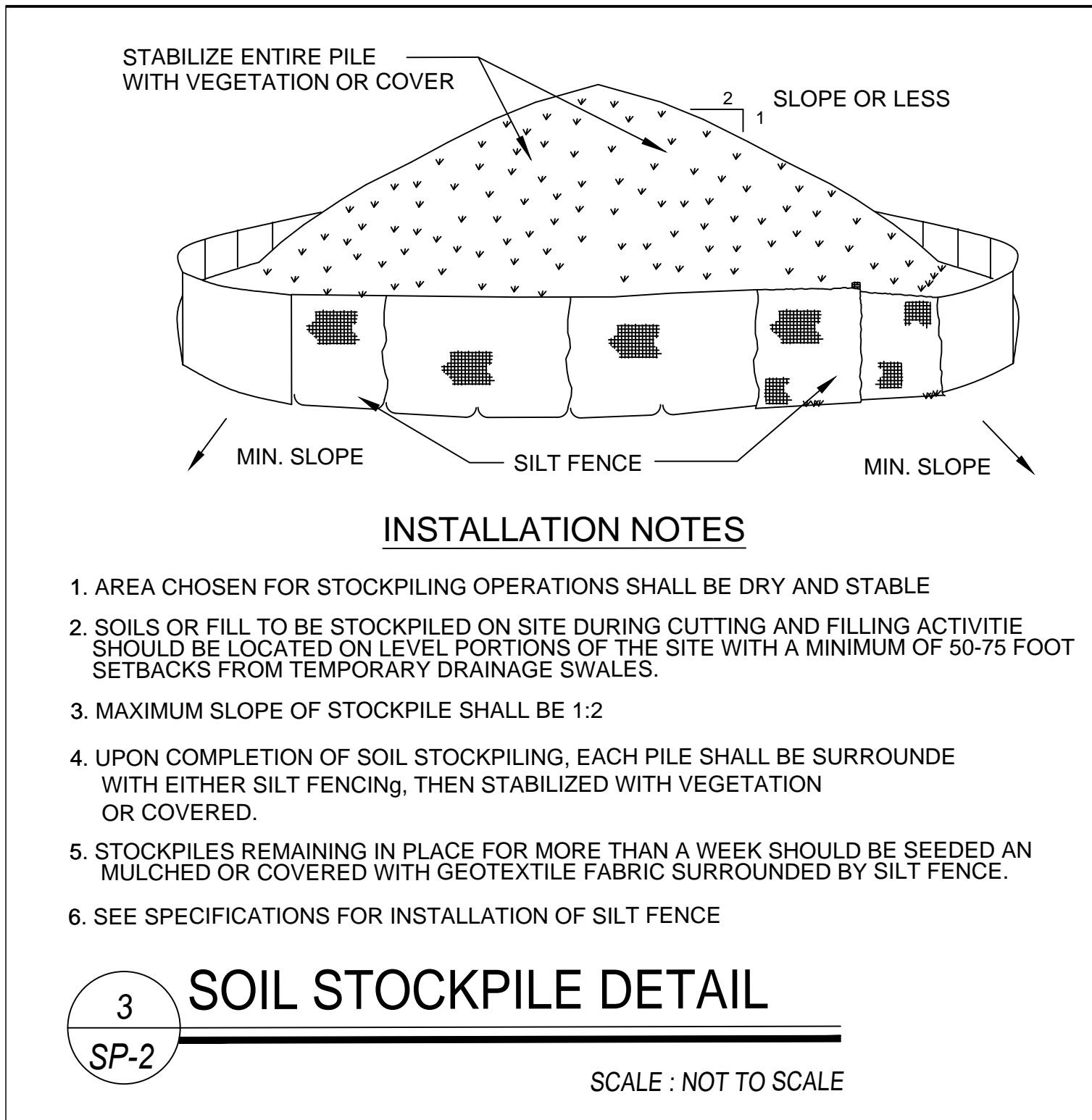
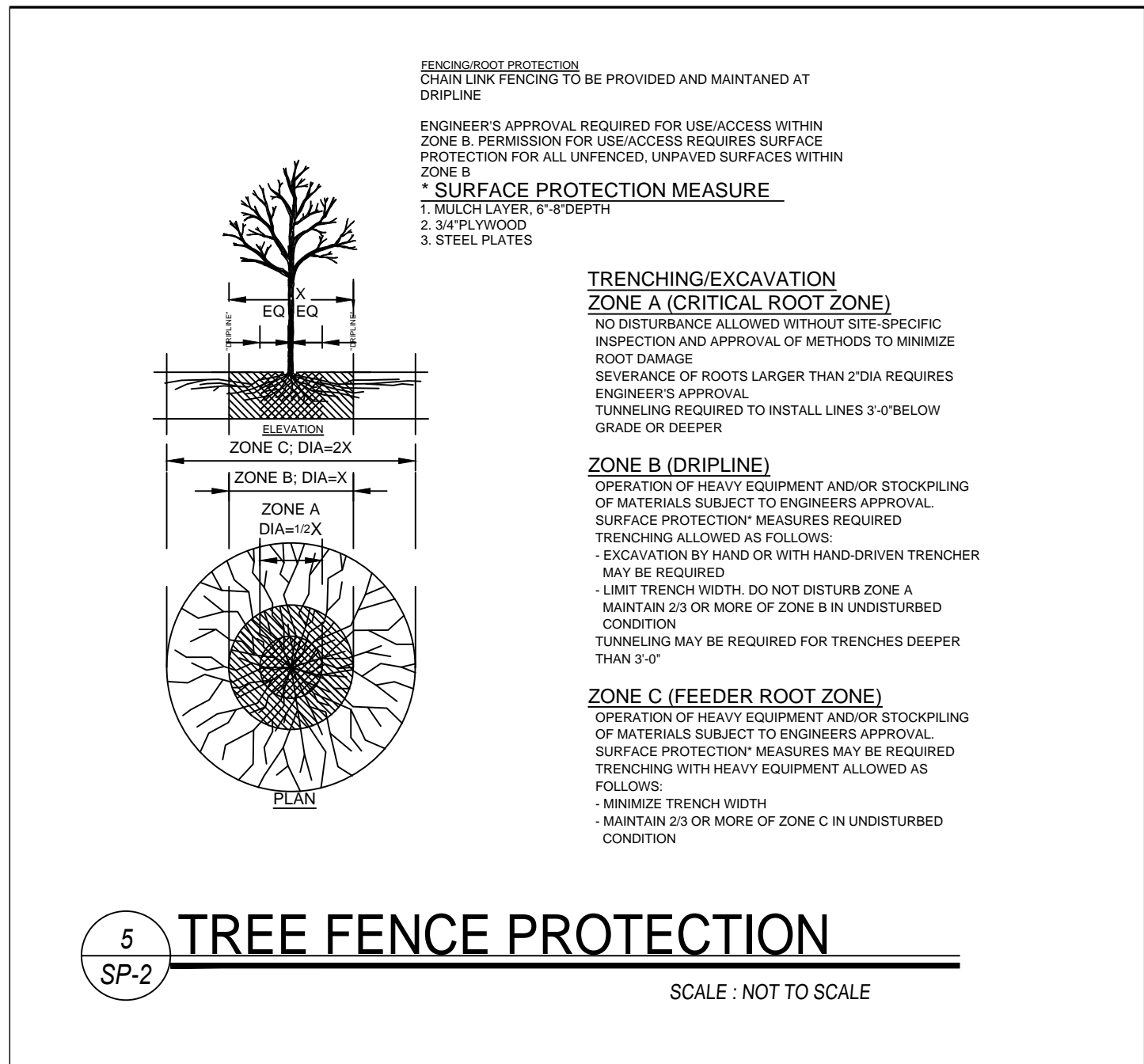
The certification must include the name and title of the person providing the signature, address and telephone number of the contracting firm; the address (or other identifying description) of the site; and the date the certification is made.

Contractor Information:

- Name: SEAN MURPHY
- Company Name: MURPHY REMEDIATION CO.
- Address: 416 WALTON AVE, MAMARONECK, NY 10543
- Phone: 914-777-5777

Site Address: 1054 Walton Ave, Mamaroneck, NY 10543

THE FRIENDLY VILLAGE



NOTES:

1. EXISTING ASPHALT DRIVEWAY, PARKING AREA, AND PATHWAYS ARE TO BE USED FOR CONSTRUCTION ACCESS.

2. EXISTING ASPHALT DRIVEWAY, PARKING AREA, PATHWAYS, AND ROADWAY TO BE MAINTAINED IN A CLEAN CONDITION ON A DAILY BASIS DURING THE COURSE OF CONSTRUCTION.

DO NOT SCALE DRAWINGS

MASTROGIACOMO ENGINEERING, P.C.

10 MIDLAND AVENUE, SUITE 204A
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Revisions

1.	5/29/2020 - Bid Addendum
2.	9/29/2020 - SWPPP submittal

Drawing North

Client Name and Address

ORIENTA BEACH CLUB

1054 WALTON AVE
MAMARONECK, NY 10543

Project Information

LOWER TERRACE IMPROVEMENTS

Situated At

1054 WALTON AVE
TOWN OF MAMARONECK
WESTCHESTER CO.
NEW YORK

TAX INFO:

BLOCK :
LOTS :

Job No. 200424

Scale AS NOTED

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Drawn By AJP

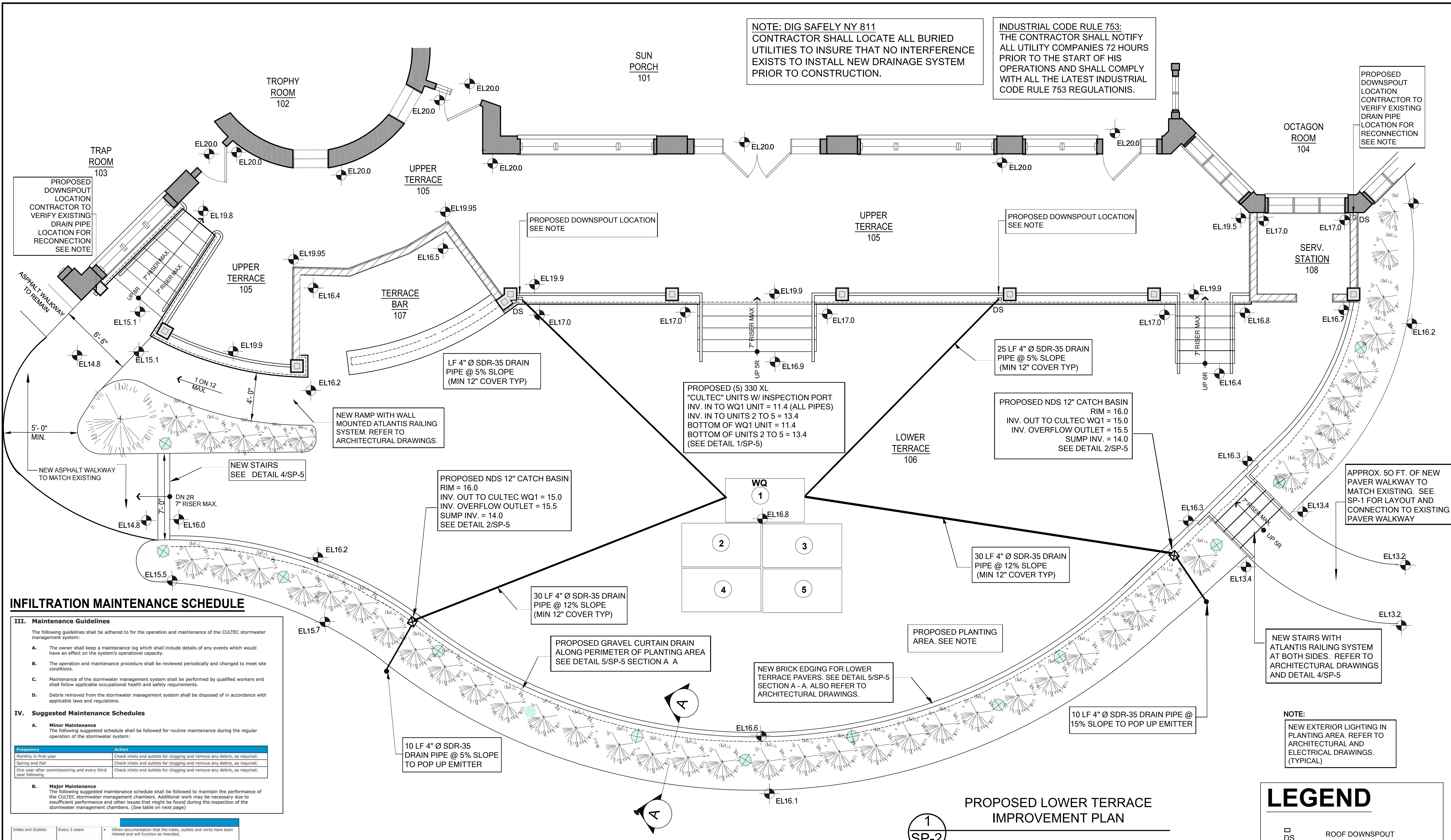
Checked By NP

Sheet

SP-3

Seal & Signature

MICHAEL MASTROGIACOMO, P.E., L.S.
NEW YORK STATE P.E. LIC. NO. 058810
CONNECTICUT STATE P.E. & L.S. LIC. NO. 21713



INFILTRATION MAINTENANCE SCHEDULE

III. Maintenance Guidelines

The following guidelines shall be adhered to for the operation and maintenance of the CULTREC stormwater management system:

- The owner shall keep a maintenance log which shall include details of any events which would have an effect on the system's operational capacity.
- The operation and maintenance procedure shall be reviewed periodically and changed to meet site conditions.
- Maintenance of the stormwater management system shall be performed by qualified workers and shall follow applicable occupational health and safety requirements.
- Debris removed from the stormwater management system shall be disposed of in accordance with applicable laws and regulations.

IV. Suggested Maintenance Schedules

A. Minor Maintenance
The following suggested schedule shall be followed for routine maintenance during the regular operation of the stormwater system:

Frequency	Action
Monthly in first year	Check inlets and outlets for clogging and remove any debris, as required.
Spring and Fall	Check inlets and outlets for clogging and remove any debris, as required.
One year after commissioning and every third year following	Check inlets and outlets for clogging and remove any debris, as required.

B. Major Maintenance
The following suggested maintenance schedule shall be followed to maintain the performance of the CULTREC stormwater management chambers. Additional work may be necessary due to insufficient performance and other issues that might be found during the inspection of the stormwater management chambers. (See table on next page)

Frequency	Action
Monthly in first year	Check inlets and outlets for clogging and remove any debris, as required.
Spring and Fall	Check inlets and outlets for clogging and remove any debris, as required.
One year after commissioning and every third year following	Check inlets and outlets for clogging and remove any debris, as required.

Inlets and Outlets	Every 3 years	<ul style="list-style-type: none">Obtain documentation that the inlets, outlets and vents have been cleared and will function as intended.
	Spring and Fall	<ul style="list-style-type: none">Check inlet and outlets for clogging and remove any debris as required.
CULTREC Stormwater Chambers	2 years after commissioning	<ul style="list-style-type: none">Inspect the interior of the stormwater management chambers through inspection port for deficiencies using CCTV or comparable technique.Obtain documentation that the stormwater management chambers and feed connectors will function as anticipated.
	9 years after commissioning every 9 years following	<ul style="list-style-type: none">Clear stormwater management chambers and feed connectors of any debris.
	45 years after commissioning	<ul style="list-style-type: none">Inspect the interior of the stormwater management chambers and feed connectors have been cleaned and will function as intended.Obtain documentation that the stormwater management chambers and feed connectors will function as anticipated.
Surrounding Site	Monthly in 1 st year	<ul style="list-style-type: none">Determine the remaining life expectancy of the stormwater management chambers and recommended schedule and actions to rehabilitate the stormwater management chambers as required.Inspect the interior of the stormwater management chambers for deficiencies using CCTV or comparable technique.Replicate or restore the stormwater management chambers in accordance with the schedule determined at the 45-year inspection.Obtain the appropriate approvals as required.Establish a new operation and maintenance schedule.
	Spring and Fall	<ul style="list-style-type: none">Check for depressions in areas over and surrounding the stormwater management system.
	Yearly	<ul style="list-style-type: none">Check for depressions in areas over and surrounding the stormwater management system.Confirm that no unauthorized modifications have been performed to the site.

POST CONSTRUCTION MAINTENANCE AGREEMENT:

IT IS HEREBY AGREED THAT THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM INCLUDING ALL FEATURES IN ACCORDANCE WITH ITEMS 1 THRU 4 LISTED BELOW AND THE INFILTRATION MAINTENANCE SCHEDULE INCLUDED ON DRAWING DR-2.

- MAINTENANCE OF CONTROLS AFTER CONSTRUCTION**
CONTROLS (INCLUDING RESPECTIVE INLET STRUCTURES) SHALL BE INSPECTED PERIODICALLY FOR THE FIRST FEW MONTHS AFTER CONSTRUCTION AND ON AN ANNUAL BASIS THEREAFTER. THEY SHALL ALSO BE INSPECTED AFTER MAJOR STORM EVENTS.
- DEBRIS AND LITTER REMOVAL**
INSPECT OUTLET STRUCTURES AND DRAIN INLETS TWICE A YEAR FOR ACCUMULATED DEBRIS. ALSO REMOVE ANY ACCUMULATED DEBRIS DURING MOWING OPERATION.
- STRUCTURAL REPAIR/REPLACEMENT**
INLET STRUCTURES SHALL BE INSPECTED TWICE A YEAR FOR EVIDENCE OF STRUCTURAL DAMAGE AND REPAIRED IMMEDIATELY.
- SEDIMENT REMOVAL**
SEDIMENT IN "CULTREC" RECHARGER UNITS SHALL BE REMOVED WHEN IT HAS REACHED A MAXIMUM DEPTH OF FIVE INCHES ABOVE THE BOTTOM OF THE "CULTREC" UNITS

NOTES:

- REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR UPPER TERRACE WORK.
- RELOCATED AND NEW ROOF DOWNSPOUTS TO BE RECONNECTED TO EXISTING DRAINAGE SYSTEM (CONTRACTOR TO VERIFY IN FIELD) OR NEW CULTREC SYSTEM AS NOTED. REFER TO ARCHITECTURAL AND PLUMBING DRAWINGS. ARCHITECT TO APPROVE FINAL DOWNSPOUT LOCATIONS AS WELL AS STYLE COLOR, AND MATERIAL (TYPICAL).
- LANDSCAPING AND PLANT MATERIALS FOR NEW PLANTING AREA TO BE APPROVED BY ORIWENTA BEACH CLUB.

SURVEY INFORMATION

ALL EXISTING INFORMATION ON THIS SITE PLAN WAS TAKEN FROM SURVEYS PREPARED BY:

MICHAEL W. FINKBEINER
EARTH IMAGE DOT NET, LLC

DATED: APRIL 16, 2009 AND MAY 1, 2008

ENGINEER IS NOT RESPONSIBLE FOR ACCURACY OF EXISTING CONDITIONS

LEGEND

DS	ROOF DOWNSPOUT
①	"CULTREC" UNIT
—	4" SDR-35 DRAIN PIPE
⊠	12" NDS CATCH BASIN
•	4" SDR-35 DRAIN PIPE
---	4" SDR-35 DRAIN PIPE
EL. 100.0	SPOT ELEVATION

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Revisions

1.	5/29/2020 - Bid Addendum
2.	9/29/2020 - SWPPP submittal

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Drawn By	AJP
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SP-4

Seal & Signature

MICHAEL MASTROGIACOMO, P.E., L.S.
NEW YORK STATE P.E. LIC. NO. 058815
CONNECTICUT STATE P.E. & L.S. LIC. NO. 27173

For additional information concerning the maintenance of CULTREC Subsurface Stormwater Management Chambers, please contact CULTREC, Inc. at 1-800-458-2823.

GENERAL CONDITIONS AND SPECIFICATIONS:

GENERAL CONDITIONS:

1. THE PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE (IRC-2015), THE 2017 NEW YORK STATE CODE SUPPLEMENT, ANY AND ALL OTHER APPLICABLE ORDINANCES, REGULATIONS, AND STANDARDS AS REQUIRED BY THE VILLAGE OF MAMARONECK. ALL CASES THE MOST RESTRICTIVE LIMITATION OF ANY APPLICABLE CODE SHALL BE FOLLOWED BY THE CONTRACTOR.
2. CONTRACTOR TO CALL FOR MARK OUT OF ALL UNDERGROUND UTILITIES INSIDE PROPERTY LINE. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO THE START OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IN A TIMELY MANNER AND PRIOR TO COMMENCEMENT OF WORK.
3. CONTRACTOR SHALL NOT "SCALE" DRAWINGS IN ORDER TO OBTAIN DIMENSIONS, ANY QUESTIONS REGARDING DIMENSIONS SHALL BE REFERRED TO THE ENGINEER WHO SHALL PROVIDE THE INFORMATION.
4. DIMENSIONS AND REPRESENTATIONS RELATING TO THE EXISTING BUILDING AND SITE CONDITIONS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO ANY CONSTRUCTION, WITH DISCREPANCIES REPORTED TO THE ENGINEER IMMEDIATELY.
5. ANY DISCREPANCIES FOUND BETWEEN THOSE CONDITIONS UNCOVERED IN THE FIELD AND THOSE INDICATED ON THE DRAWINGS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IN A TIMELY MANNER.
6. ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE BEST ACCEPTABLE TRADE PRACTICES, PER MANUFACTURER'S RECOMMENDATIONS, AND PER THE REQUIREMENTS OF THE CODE. OWNER RESERVES THE RIGHT TO REJECT UNACCEPTABLE CONSTRUCTION AT THE COST OF THE CONTRACTOR.
7. ALL MANUFACTURED ITEMS SHALL BE INSTALLED OR APPLIED AS DIRECTED BY THE MANUFACTURER'S RECOMMENDATIONS.
8. CONTRACTOR TO INCLUDE ALL MATERIALS, LABOR, INCIDENTALS, AND SERVICES FOR SATISFACTORY COMPLETION OF THE WORK. ALL MATERIALS INDICATED FOR THIS PROJECT ARE TO BE FURNISHED AND INSTALLED BY THE CONTRACTOR AND APPROVED BY THE OWNER, UNLESS SPECIFICALLY NOTED OTHERWISE.
9. CONTRACTOR SHALL PERFORM ALL WORK REQUIRED FOR THE TOTAL COMPLETION OF THE PROJECT WHETHER OR NOT INDICATED ON THE DRAWINGS. THE INTENTION OF THE DRAWINGS IS FOR THE COMPLETE AND PROPER FUNCTIONS OF THE ENTIRE PROJECT.
10. CONTRACTOR AND SUBCONTRACTORS SHALL MAINTAIN WORKMEN'S COMPENSATION INSURANCE AS WELL AS ADEQUATE LIABILITY INSURANCE DURING THE ENTIRE LENGTH OF THE PROJECT.
11. COORDINATE STORAGE OF MATERIAL, EQUIPMENT, AND CONTAINERS WITH OWNER.
12. THE CONTRACTOR SHALL BE SOLEY RESPONSIBLE FOR PROJECT SAFETY. ABIDE BY ALL OSHA STANDARDS AND REQUIREMENTS.

SPECIFICATIONS:

EXCAVATION:

1. FOUNDATION DESIGN IS BASED ON 2 TON/SF BEARING CAPACITY.
2. EXCAVATE BELOW EXISTING FOOTINGS TO UNDISTURBED SOIL.
3. EXCAVATE TO FROST LINE (3'-6" MIN.) FOR ALL FOOTINGS (UNDERPIN ADJACENT WALL FOOTINGS AS REQUIRED).
4. STOCKPILE ALL EXCAVATED SOIL FOR FUTURE REUSE AS FILL MATERIAL OR REMOVE AND DISPOSE OF AS REQUIRED.
5. ALL FILL MATERIAL TO BE CLEAN FILL WITH COMPACTION TO 95% WITH MAXIMUM LIFTS OF 12".

CONCRETE:

1. ALL CONCRETE FOR FOOTINGS TO BE MIN. 3000 PSI CONCRETE.
2. PROVIDE CONCRETE FOOTINGS OF SIZES SHOWN ON DRAWINGS.
3. CONCRETE FOR FLOOR SLAB SHALL BE MIN. 4000 PSI AIR ENTRAINED CONCRETE.
4. PROVIDE CONCRETE FOOTINGS OF SIZE INDICATED ON THE DRAWINGS.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE ACI CODE 318 (LATEST EDITION).
6. ALL REINFORCEMENT SHALL BE PLACED FREE FROM RUST OR OTHER COATINGS THAT MAY DESTROY THE BOND.
7. WIRE FABRIC SHALL BE IN ACCORDANCE WITH THE ASTM A185 (LATEST EDITION).

MASONRY:

1. RE-USE EXISTING STONE FOR RELOCATED RETAINING WALL RECONSTRUCTION. CLEAN AND PROPERLY STORE STONE FOR REUSE. IF ADDITIONAL STONE IS REQUIRED, IT MUST MATCH THE EXISTING STONE.
2. MORTAR SHALL COMPLY WITH ASTM C270-1986, TYPE N.
3. LIME SHALL BE TYPE S OR N AS PER ASTM C207-1979.
4. SAND SHALL CONFORM TO ASTM C144-1984.
5. WATER SHALL BE CLEAN AND POTABLE.
6. ALL STONE TO BE LAID UP IN PORTLAND CEMENT MORTAR OF A 1:3 MIX WITH 15% LIME MAXIMUM.
7. BLUESTONE FOR STAIRS TO BE MINIMUM 1-1/2" IN THICKNESS. SIZE, COLOR, AND TEXTURE TO BE SELECTED BY OWNER.

SPECIAL NOTES:

1. EXISTING DRIVEWAY TO BE USED FOR CONSTRUCTION ACCESS.
2. CONTRACTOR TO MAINTAIN CONTINUOUS ACCESS TO OCCUPANTS DURING CONSTRUCTION.
3. CONTRACTOR TO PROTECT, REPAIR, AND RELOCATE EXISTING LAWN SPRINKLER HEADS AND PIPING, DRAINAGE PIPING, AND ANY DRYWELL / CULTECS UNITS THAT INTERFERE WITH THE PROPOSED WORK. ENGINEER TO BE NOTIFIED AND MUST APPROVE ANY REPAIR OR RELOCATIONS.

ADDITIONAL SPECIAL NOTES:

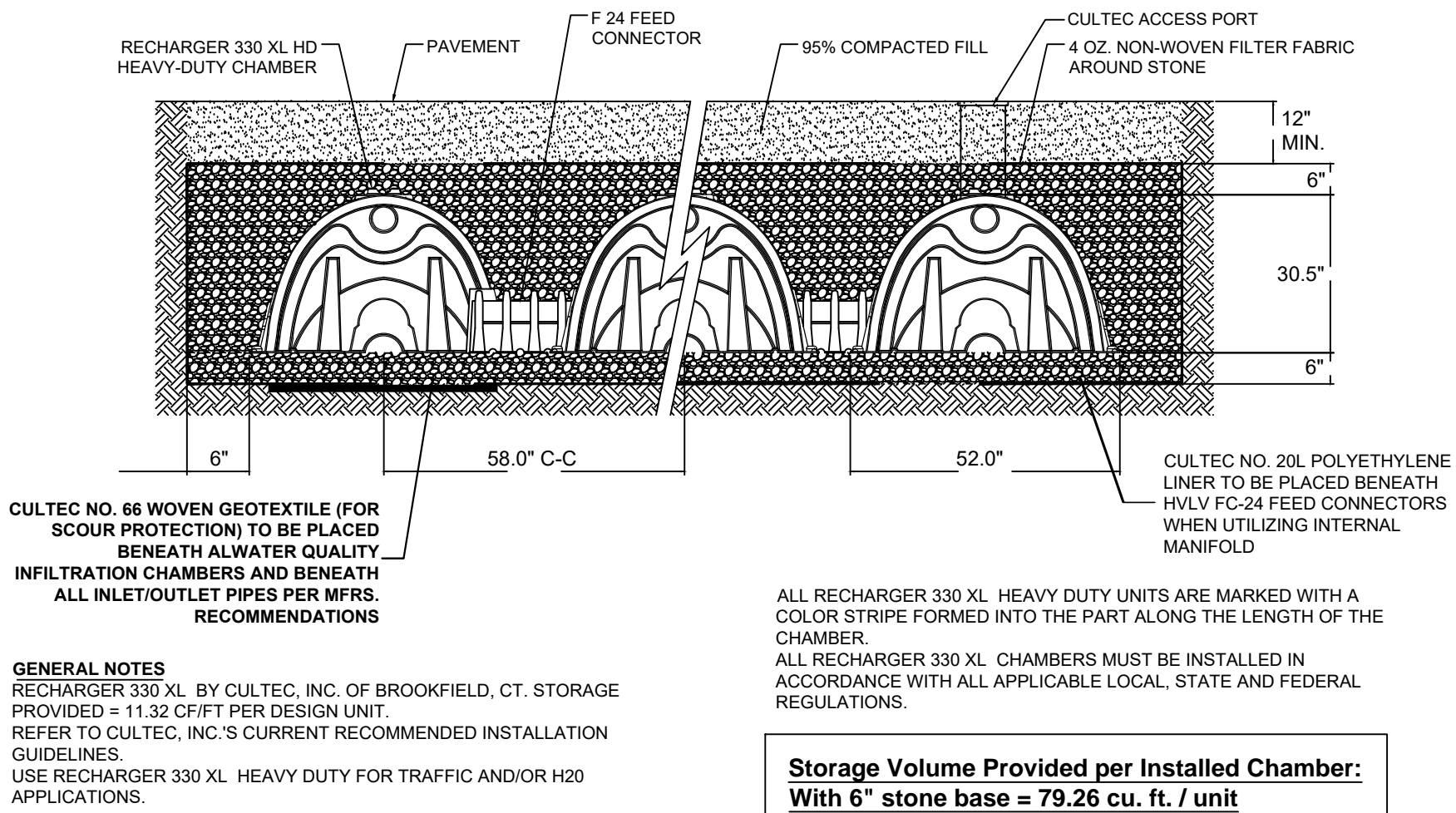
1. DEEP PIT AND PERCOLATION TESTING SHALL BE PERFORMED IN ACCORDANCE WITH NYSDEC STORMWATER DESIGN MANUAL - APPENDIX D.
2. PROPOSED SILT FENCE TO BE INSTALLED PARALLEL TO CONTOUR LINES.
3. ORANGE CONSTRUCTION FENCE TO BE INSTALLED ALONG THE LIMITS OF THE PROPOSED DISTURBANCE LIMITS.
4. THE APPLICANT SHALL PROVIDE AN AS-BUILT PLAN OF THE STORMWATER MANAGEMENT SYSTEM (FOR ALL STORMWATER INFRASTRUCTURE FEATURES, INCLUDING, BUT NOT LIMITED TO, LOCATIONS OF STORMWATER INFRASTRUCTURES, INVERT/TRIM ELEVATIONS, PIPE LOCATIONS AND SIZES, FINAL GRADING, ETC.) CERTIFIED BY THE ENGINEER ON RECORD, PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. THE AS-BUILT PLAN SHALL ALSO INCLUDE THE FINAL MAINTENANCE SCHEDULE FOR THE STORMWATER MANAGEMENT FEATURES.

NOTE: EXISTING ROOF LEADERS TO BE RECONNECTED TO EXISTING DRAINAGE SYSTEM. NEW ROOF LEADERS AND NET INCREASE IN IMPERVIOUS TERRACE SURFACE TO BE CONNECTED TO NE "CULTEC" UNITS UNDER RECONSTRUCTED LOWER TERRACE.

NOTE: SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR UPPER TERRACE WORK

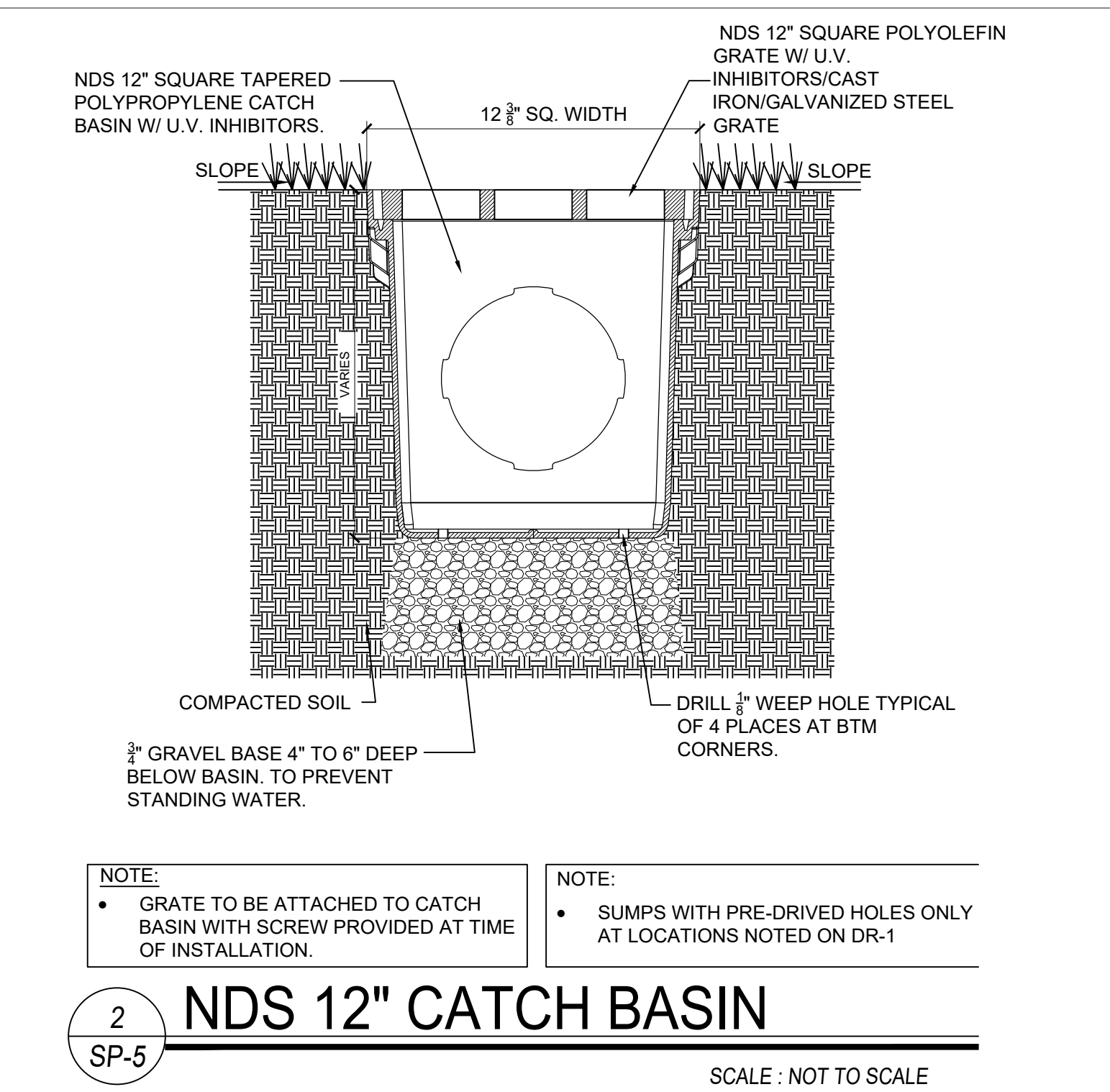
13. CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT EXISTING SITE, BUILDING, AND STRUCTURES ON THE PROPERTY AND ADJACENT PROPERTIES FROM ANY DAMAGES DUE TO THE METHODS AND MANNERS OF CONSTRUCTION, TRAFFICKING, AND THE DELIVERY AND STORAGE OF MATERIALS AND EQUIPMENT. CONTRACTOR SHALL RESTORE ANY DAMAGED AREAS TO THEIR ORIGINAL CONDITION AT NO EXPENSE TO OWNER.
14. UPON ENTERING A CONTRACT WITH THE OWNER IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CARRY OUT THE WORK AS SPECIED AND IN ACCORDANCE WITH ALL CODES, RULES, REGULATIONS, AND MANUFACTURER'S RECOMMENDATIONS. **CONTRACTOR SHALL FOLLOW THE BUILDING DEPARTMENT APPROVED SET OF DOCUMENTS.** NO SUBSTITUTION SHALL BE MADE WITHOUT CONSULTING THE ENGINEER FIRST.
15. NO CHANGES SHALL BE MADE TO THE DRAWINGS EXCEPT AS PER NEW YORK STATE LAW CHAPTER 987. ALL CHANGES MADE TO THESE DRAWINGS SHALL BE APPROVED BY ENGINEER AND SHALL BE FILED AS AMENDMENTS TO THE ORIGINAL PERMIT.
16. CONTRACTOR TO NOTIFY THE OWNER WHEN THE WORK WILL BEGIN ON THE PROJECT AND SHALL COORDINATE ALL WORK WITH THE OWNER.
17. CONTRACTOR SHALL BE SOLEY AND TOTALLY RESPONSIBLE FOR ALL SEQUENCE OF CONSTRUCTION AND PROTECTION AGAINST WEATHER, PROJECT SAFETY, AND COORDINATION OF TRADES, SERVICES, ETC.
18. CONTRACTOR IS SOLEY RESPONSIBLE FOR DETERMINING AND IMPLEMENTING METHODS FOR ACCOMPLISHING TEMPORARY SHORING, SUPPORTS, BARRICADES, ETC. FOR ALL ITEMS OF WORK (AS REQUIRED).
19. IF THE "CULTEC" DRAINAGE SYSTEM IS TO BE CONSTRUCTED IN A FILL AREA, THE FILL SHALL BE WELL DRAINED MATERIAL WITH A SETTING PERIOD OF ONE TO THREE MONTHS PRIOR TO THE "CULTEC" SYSTEM INSTALLATION. ADDITIONAL PERCOLATION TESTING SHALL BE REQUIRED AFTER THE SETTING PERIOD AND THE SYSTEM DESIGN SHALL BE REDESIGNED AS REQUIRED.
20. IF IMPORTED FILL IS REQUIRED, IT SHALL BE CERTIFIED IN WRITING BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AS NON-CONTAMINATED, CLEAN FILL SUITABLE FOR THE INTENDED USE (A PROPER MANIFEST IS TO BE SUBMITTED). PERCOLATION TESTS SHALL BE PERFORMED BY THE DESIGN ENGINEER. THE RESULTS OF THE PERCOLATION TEST(S) SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL.
21. THE CONTRACTOR SHALL MAINTAIN THE JOB SITE AND ROADWAY IN A CLEAN CONDITION AT ALL TIMES. TRASH AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE ON A REGULAR BASIS AND PROPERLY AND LEGALLY DISPOSED OF AT AN APPROVED LOCATION.
22. ALL PROPOSED TEMPORARY SEEDING MIXTURES SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR URBAN EROSION CONTROL, LATEST EDITION.

23. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH ALL OTHER CONTRACTORS AND SHALL CUT, LAY, AND INSTALL THEIR WORK AT SUCH A TIME AND MANNER SO THAT NO DELAY OR INTERFERENCE WITH THE CARRYING FORWARD OF THE WORK OF OTHER CONTRACTORS SHALL OCCUR.
24. THE ENGINEER AND OWNER RESERVE THE RIGHT TO MAKE CHANGES TO THE DRAWINGS AND SPECIFICATIONS OR TO INCREASE OR DECREASE THE QUANTITY OF WORK AT ANY TIME, BEFORE OR AFTER CONSTRUCTION HAS COMMENCED, WITH APPROPRIATE ADJUSTMENT TO CONTRACT SUM.
25. ANY ITEMS ADDED TO THE PROJECT SUBSEQUENT TO THE CONSTRUCTION CONTRACT SHALL FOLLOW THE SPECIFICATIONS FOR MATERIAL PREVIOUSLY SPECIFIED UNLESS OTHERWISE NOTED.
26. THE CONTRACTOR SHALL BE SOLEY RESPONSIBLE FOR NOTIFICATION TO THE VILLAGE OF BUILDING AND ENGINEERING DEPARTMENTS IN CONJUNCTION WITH ANY AND ALL REQUIRED INSPECTIONS TO BE PERFORMED. THE CONTRACTOR SHALL BE SOLEY RESPONSIBLE FOR KNOWLEDGE OF WHICH INSPECTIONS THE BUILDING AND ENGINEERING DEPARTMENTS PERFORM. THE CONTRACTOR'S WORK SHALL BE CONSIDERED COMPLETE ONLY WHEN ALL REQUIRED CLOSE-OUT DOCUMENTS ARE IN ORDER.
27. NO RESPONSIBILITY HAS BEEN ASSUMED BY THE ENGINEER FOR INFORMATION SUPPLIED BY OTHERS AND BELIEVED BY THE ENGINEER TO BE RELIABLE. NOR FOR ANY CONDITIONS WHICH WERE CONCEALED OR IMPOSSIBLE TO DETECT WITHOUT SUBSTANTIAL EXCAVATION, PROBING OR TESTING NOR FOR ANY LATENT DEFECTS IN THE EXISTING STRUCTURE. ENGINEER ASSUMES NO LIABILITY FOR ANY WORK NOT IN CONFORMANCE WITH THE CODE OR FOR EXISTING CONDITIONS SHOWN HEREIN.
28. ANY SITE OBSERVATIONS PERFORMED BY THE ENGINEER ARE SOLEY FOR THE ENGINEER'S PURPOSE OF DETERMINING IF THE WORK IS BEING CARRIED OUT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS FOR THE GENERAL DESIGN AND AESTHETIC INTENT. THE ENGINEER'S PRESENCE ON THE SITE IN NO WAY RELIEVES THE CONTRACTOR OF HIS DUTIES TO PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, THE INTERNATIONAL RESIDENTIAL CODE (IRC-2015), AND THE RULES AND REGULATIONS MANDATED BY THE VILLAGE OF.
29. THE ENGINEER WILL NOT BE HELD LIABLE FOR ANY UNSATISFACTORY WORK PERFORMED, QUALITY OF WORKMANSHIP, MEANS AND METHODS OF CONSTRUCTION, SITE SAFETY, EXCEPTIONS BY THE LOCAL MUNICIPALITY FOR FAILED INSPECTIONS, OR ANY OTHER DEFICIENCIES BY THE CONTRACTOR.
30. THE ENGINEER HAS NOT BEEN RETAINED TO PERFORM FIELD SUPERVISION OF THIS PROJECT.



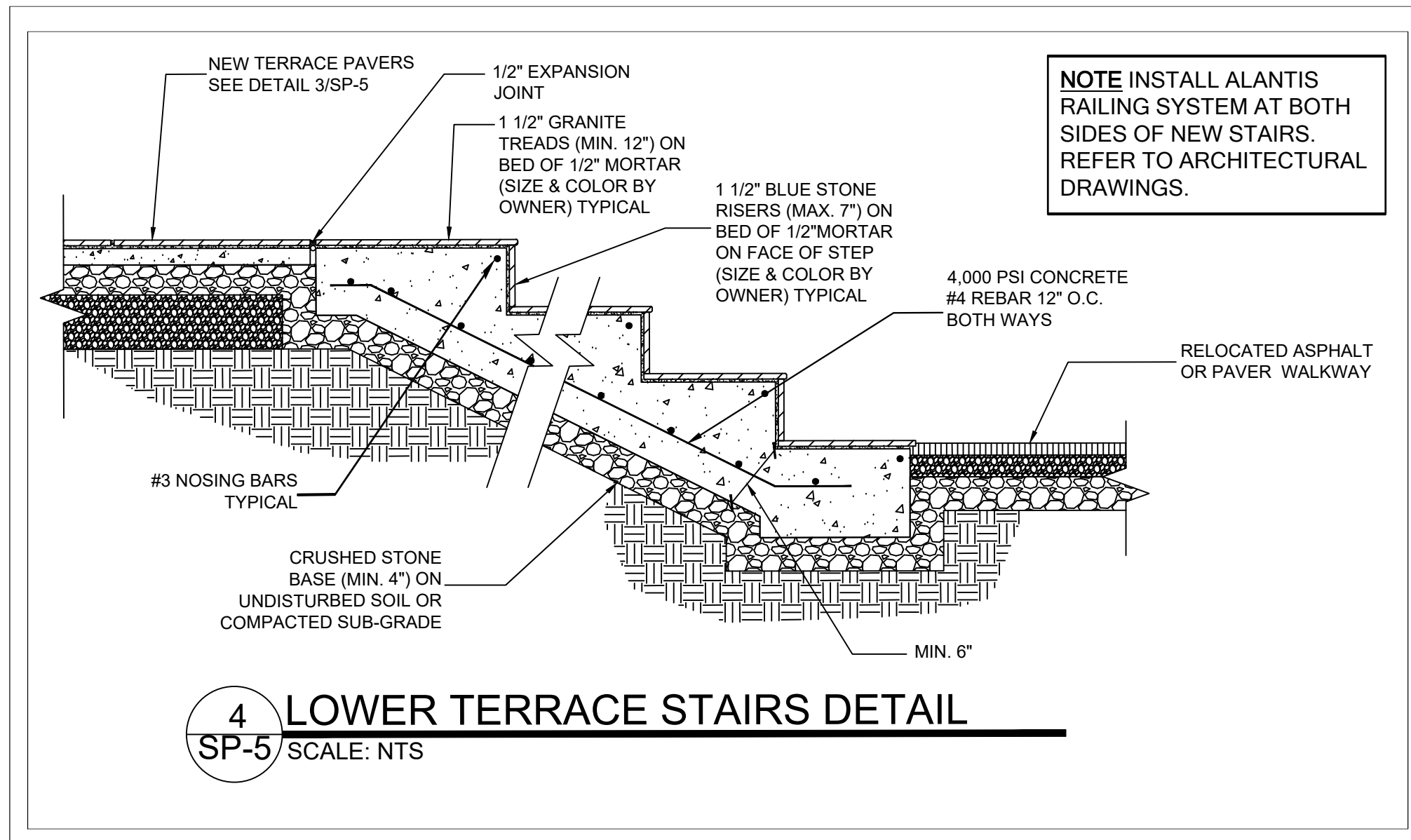
TYPICAL PLAN AND SECTION THRU "CULTEC INC." RECHARGER 330 XLHD"

SCALE : NOT TO SCALE



NDS 12" CATCH BASIN

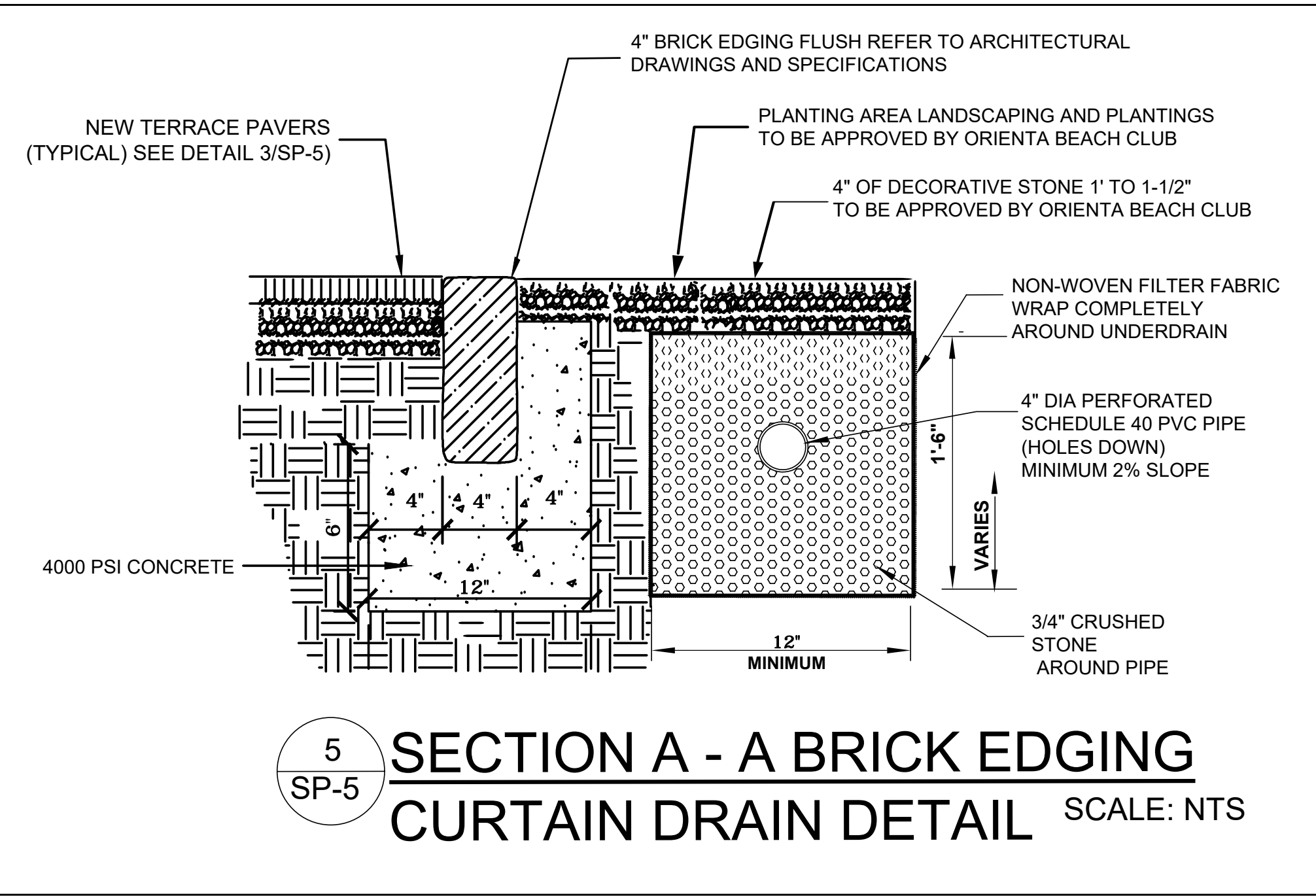
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4 LOWER TERRACE STAIRS DETAIL

SP-5

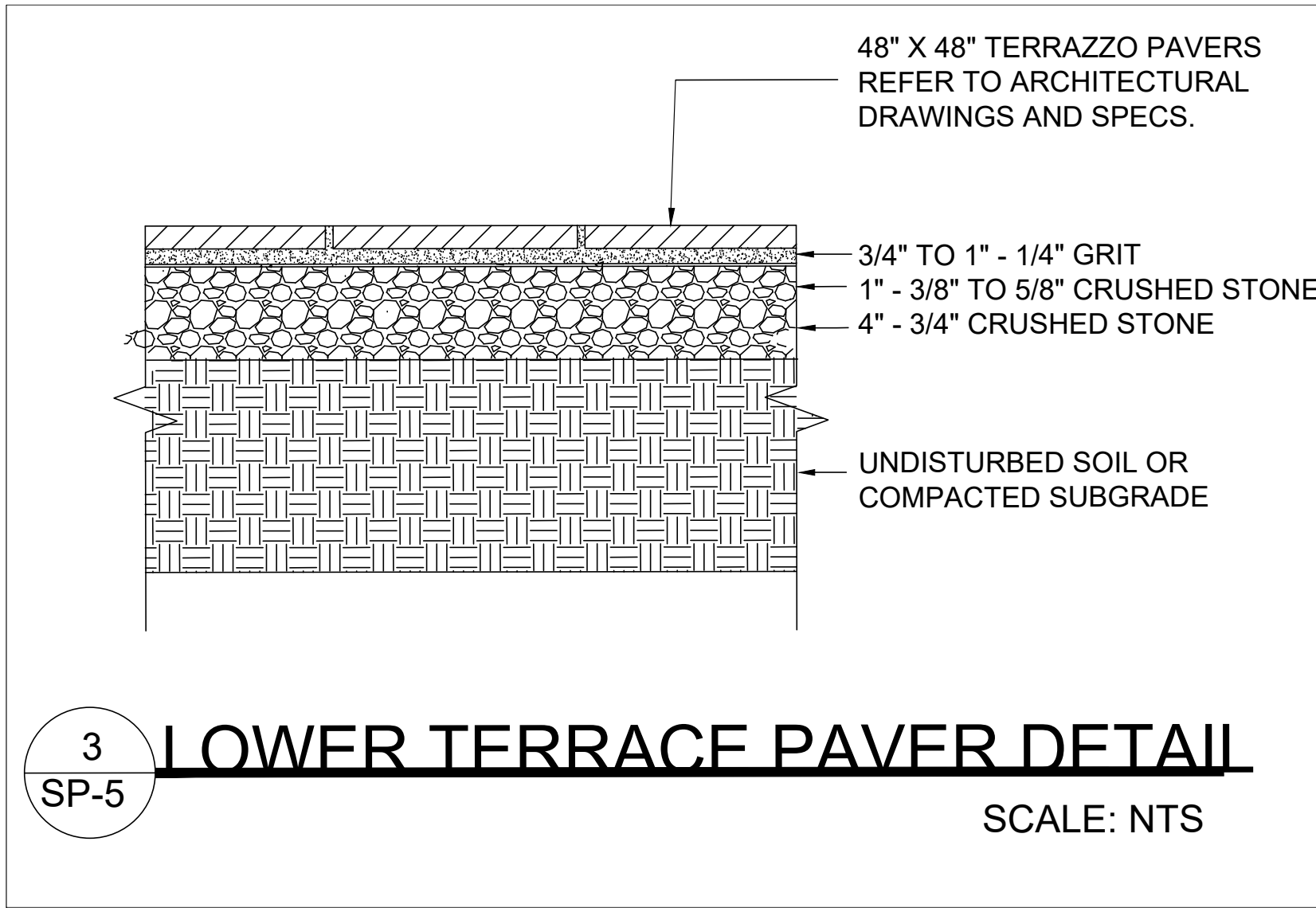
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5 SECTION A - A BRICK EDGING CURTAIN DRAIN DETAIL

SP-5

SCALE: NTS



3 LOWER TERRACE PAVER DETAIL

SCALE: NTS



All ideas, designs, arrangements and plans indicated or represented are owned by and the property of this office and were created, evolved and developed for use and in connection with this specific project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without written permission of Mastrogiacomo Engineering, P.C.

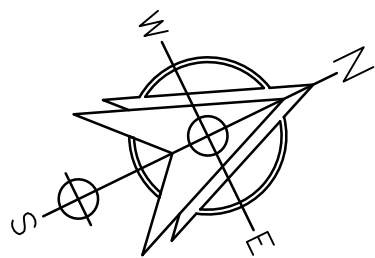
Written dimensions on these drawings shall have precedence over scale dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from these dimensions and conditions shown hereon in writing.

It is a violation of the New York State Education Law for any person, unless acting under the direction of a Licensed Professional Engineer, to alter any item on this drawing and/or related specification, all alterations must be made in compliance with the New York State Education Law, the Professional Engineer whose seal appears hereon assumes no responsibility for any such alteration or re-use without his consent.

Revisions

1. 5/29/2020 - Bid Addendum
2. 9/29/2020 - SWPPP submittal

Drawing North



Client Name and Address

ORIENTA BEACH CLUB

1054 WALTON AVE
MAMARONECK, NY 10543

Project Information

LOWER TERRACE IMPROVEMENTS

Situated At
1054 WALTON AVE
TOWN OF MAMARONECK
WESTCHESTER CO.
NEW YORK

TAX INFO:

BLOCK :

LOTS :

Job No. 200424
Scale AS NOTED
Date 21 MAY 2020
Drawn By AJP
Checked By NP
Sheet

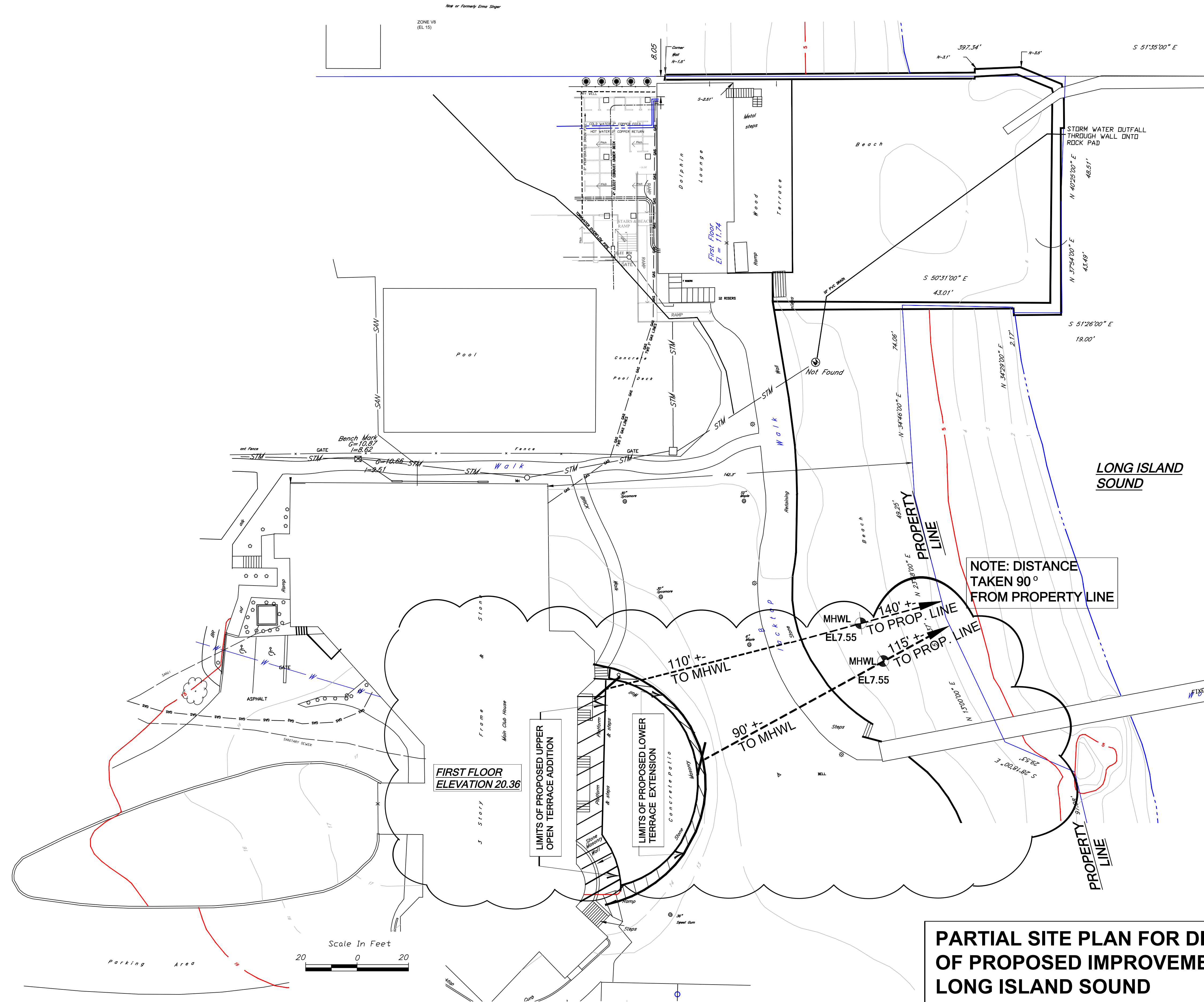
SP-5

Seal & Signature



MICHAEL MASTROGIACOMO, P.E., L.S.
NEW YORK STATE P.E. LIC. NO. 058810
CONNECTICUT STATE P.E. & L.S. LIC. NO. 21713

DO NOT SCALE DRAWINGS



SURVEY INFORMATION

ALL EXISTING INFORMATION ON THIS SITE
PLAN WAS TAKEN FROM SURVEYS PREPARED
BY:

MICHAEL W. FINKBEINER
EARTH IMAGE DOT NET, LLC

DATED: APRIL 16, 2009 AND MAY 1, 2008

NOTE: MEAN HIGH WATER LEVEL (MHWL)
TAKEN FROM NOAA WEBSITE
DATUM FOR STATION 8518490 NEW ROCHELLE
MHWL = EL 7.55 FT.

ENGINEER IS NOT RESPONSIBLE FOR ACCURACY
OF EXISTING CONDITIONS



All ideas, designs, arrangements and plans indicated or represented are owned by and the property of this office and were created, evolved and developed for use and in connection with this specific project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without written permission of Mastrogiacomo Engineering, P.C.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from these dimensions and conditions shown hereon in writing.

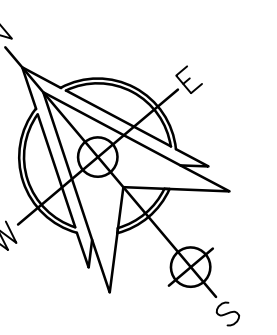
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Revisions

1. ADD REAR YARD SETBACKS
FOR UPPER OPEN TERRACE
& LOWER TERRACE EXTENSION

2. 9/29/2020 - SWPPP SUBMITTAL

Drawing North



Client Name and Address

**ORIENTA
BEACH
CLUB**

1054 WALTON AVE
MAMARONECK, NY 10543

Project Information

**LOWER
TERRACE
IMPROVEMENTS**

Situated At
1054 WALTON AVE
TOWN OF MAMARONECK
WESTCHESTER CO.
NEW YORK

TAX INFO:
BLOCK :
LOTS :

Job No. 200424
Scale AS NOTED
Date 21 SEPTEMBER 2020
Drawn By AJP
Checked By NP
Sheet

SP-6

Seal & Signature

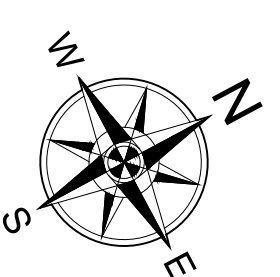


MICHAEL MASTROGIACOMO, P.E., L.S.
NEW YORK STATE P.E. LIC. NO. 058810
CONNECTICUT STATE P.E. & L.S. LIC. NO. 21713

**PARTIAL SITE PLAN FOR DISTANCE
OF PROPOSED IMPROVEMENTS TO
LONG ISLAND SOUND
MEAN HIGH WATER LEVEL (MHWL)**

SCALE: 1" = 20' - 0"

DO NOT SCALE DRAWINGS



1. THESE DRAWINGS HAVE BEEN COMPILED FROM THE BEST AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF THE WORK. THE CONTRACTOR MAY ENCOUNTER HIDDEN OR COVERED CONDITIONS, NOT INDICATED IN THESE DOCUMENTS, REQUIRING THE CONTRACTOR TO PROVIDE ADDITIONAL WORK FOR THE COMPLETION OF HIS OR HER CONTRACT. IT WILL BE ASSUMED THAT THE CONTRACTOR HAS INSPECTED THE SITE PRIOR TO BIDDING AND VERIFIED THE INFORMATION SUPPLIED HEREIN.

2. THE GENERAL CONTRACTOR IS REQUIRED TO FIELD VERIFY ALL EXISTING CONDITIONS AND/OR DIMENSIONS PRIOR TO THE START OF CONSTRUCTION AND IDENTIFY ANY DISCREPANCIES TO THE ARCHITECTS AND DESIGNERS

1 EXISTING PARTIAL MAIN LEVEL & TERRACE PLAN
EX1.1 SCALE: 1/4"=1'-0"

CERTIFICATION

THIS DRAWING IS PART OF AN INTEGRATED SET OF CONSTRUCTION CONTRACT DOCUMENTS.

REFER TO ALL DRAWINGS AND SPECIFICATIONS INCLUDING BUT NOT LIMITED TO WORK CONDITIONS, SUBMITTALS, MATERIALS, MANUFACTURERS TECHNICAL SPECIFICATIONS.

REFER TO ALL OF THE DRAWINGS FOR COMPLETE SCOPE OF WORK. THIS DRAWING IS NOT TO BE SCALED AND/OR USED AS AN ASSEMBLY.

Handwritten: 2/22

REGISTERED ARCHITECT
JOHN JOHN WOODS
026656
STATE OF NEW YORK

Handwritten: 1/2

[illegible]

PROJECT NAME: **ORIENTA BEACH CLUB**
EST. 1924

MAMARONECK - NEW YORK
1054 WALTON AVE

SHEET TITLE

EXISTING PARTIAL MAIN LEVEL & TERRACE
PLAN, GENERAL NOTES

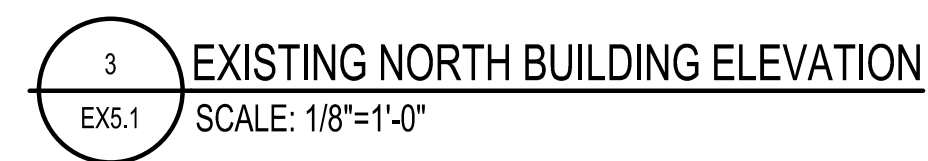
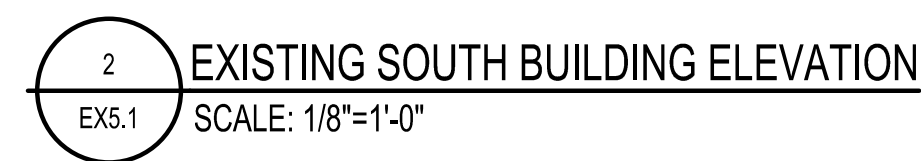
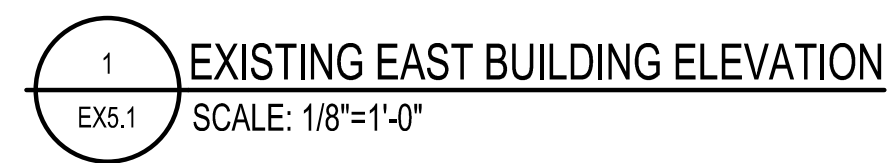
JGA
ARCHITECTURE

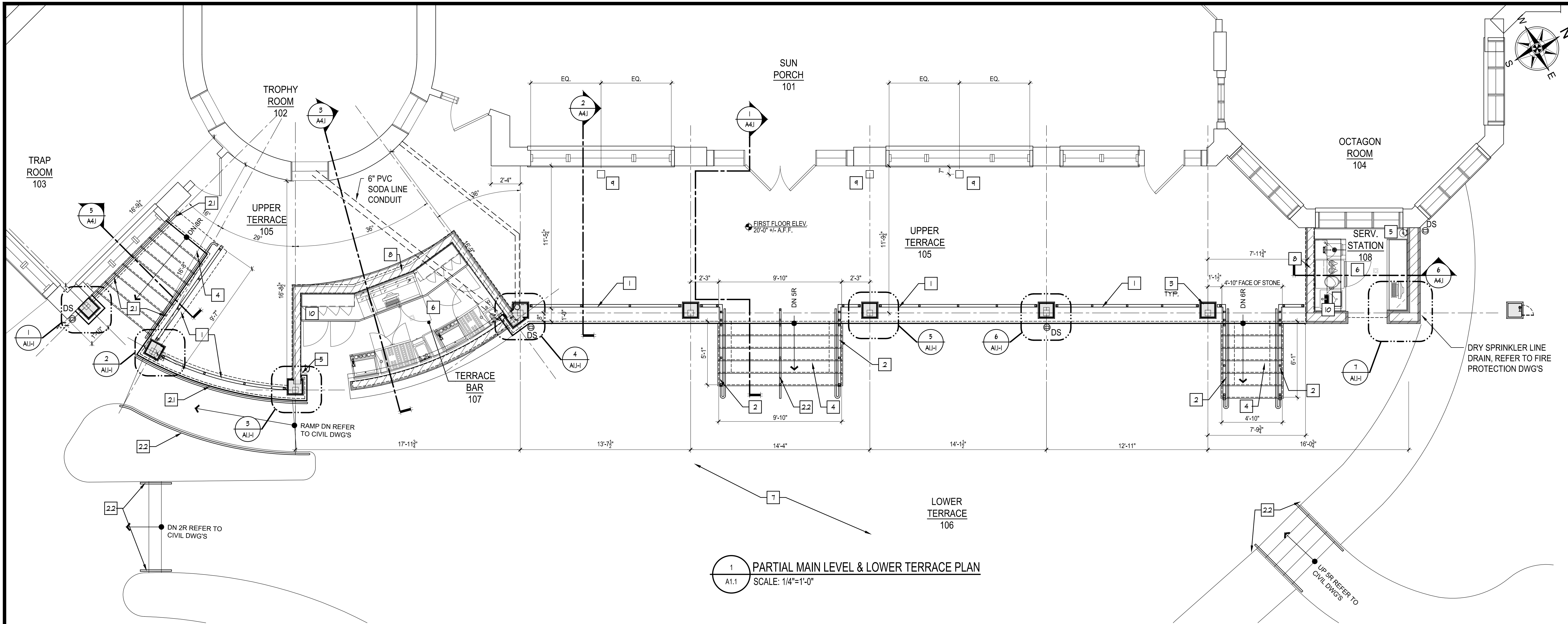
JEFFERSON GROUP ARCHITECTURE, INC.

700 School Street Unit 2
Pawtucket, RI 02860
Phone: (401) 721-0977 Fax: (401) 721-2238

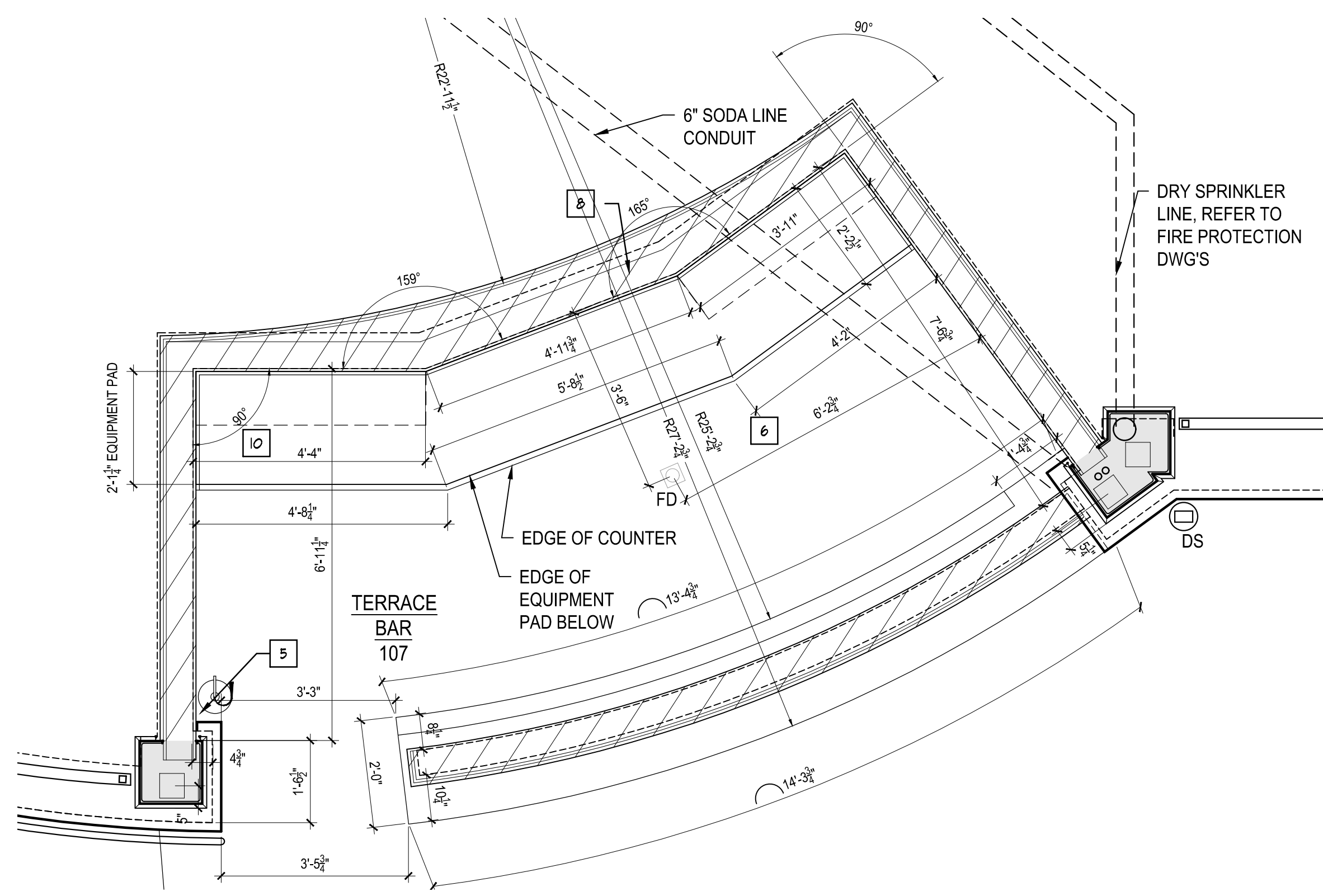
JOB NUMBER:	2019-26
DRAWN BY:	IHB
CHECKED BY:	CJH
DATE ISSUED:	05-15-2020
SCALE:	Noted
SHEET NUMBER:	

ISSUED FOR CONSTRUCTION: 06/17/2020

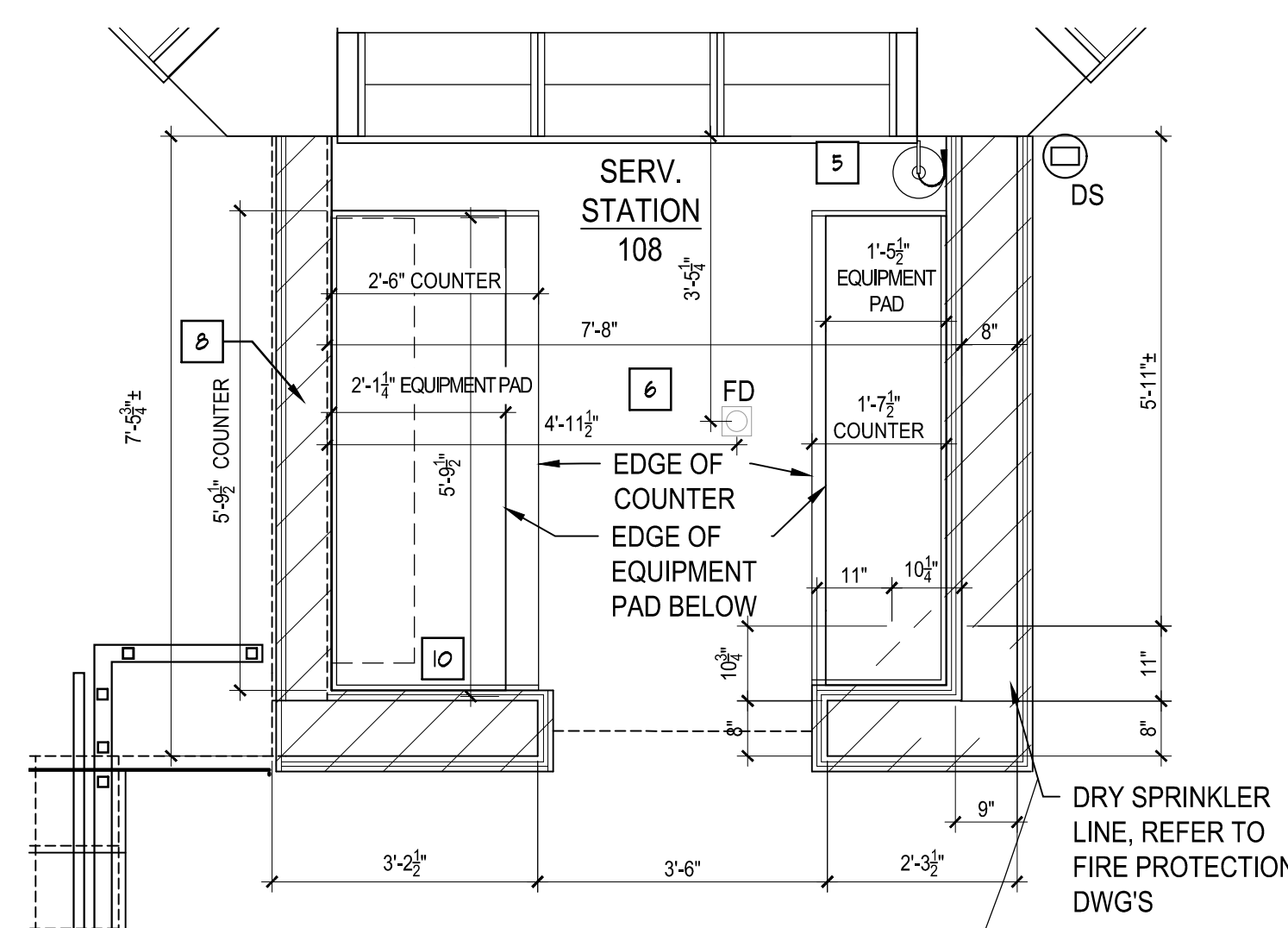




1 PARTIAL MAIN LEVEL & LOWER TERRACE PLAN
SCALE: 1/4"=1'-0"



2 TERRACE BAR ENLARGE PARTIAL FLOOR PLAN
SCALE: 1/2"=1'-0"



3 SERVICE STATION ENLARGE PARTIAL FLOOR PLAN
SCALE: 1/2"=1'-0"

GENERAL NOTES:

1. THE GENERAL CONTRACTOR SHALL COORDINATE ALL STRUCTURAL, MECHANICAL & FIRE PROTECTION SYSTEMS PRIOR TO THE START OF CONSTRUCTION.
2. ALL WORK SHALL CONFORM TO ALL GOVERNING CODES AND ORDINANCES UNDER WHICH THEY ARE PERFORMED.
3. THE GENERAL CONTRACTOR SHALL LAY OUT ALL WORK AND BE RESPONSIBLE TO VERIFY ALL DIMENSIONS & DETAILS PRIOR TO STARTING CONSTRUCTION.
4. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS, EXCEPT WHERE NOTED.
5. IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY AS COORDINATOR TO CHECK ALL DIMENSIONS AND DETAILS ON SHOP DRAWINGS BEFORE SUBMISSION TO THE ARCHITECT.
6. THE GENERAL CONTRACTOR SHALL COORDINATE AND VERIFY WITH OWNER THE LOCATIONS OF ANY INTERIOR AND EXTERIOR MUSIC AND/OR PAGING SYSTEM, CONTROL PANELS, SPEAKERS, ASSOCIATED EQUIPMENT, ETC., AND SHALL COORDINATE THE INSTALLATION ACCORDINGLY WITH THE ELECTRICAL CONTRACTOR.
7. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER ART WORK LOCATIONS AND PROVIDE FIRE TREATED IN-WALL BLOCKING AS REQUIRED.
8. PROVIDE 5/8" DENS-SHIELD MOISTURE RESISTANT WALL BOARD SHEATHING AT ALL NET AREA WALL LOCATIONS.
9. ALL DIMENSIONS ARE TAKEN TO FACE OF FRAMING UNLESS OTHERWISE NOTED.
10. PROVIDE PRESSURE TREATED WOOD AT ALL FRAMING AND BLOCKING LOCATIONS WHERE WOOD IS IN CONTACT WITH CONCRETE.
11. ALL PLYWOOD SHEATHING AND CONCEALED IN-WALL BLOCKING SHALL BE FIRE TREATED.
12. OMIT GYPSUM WALL BOARD SHEATHING ON THE CHASE SIDE OF ALL NEWLY CONSTRUCTED WALLS.
13. G.C. SHALL COORDINATE ALL FLOORS PITCH TO DRAINS.
14. ALL PENETRATIONS THROUGH RATED WALL ASSEMBLIES SHALL BE TREATED WITH AN APPROVED "FIRESSTOP" MATERIAL TO MEET THE SPECIFIED WALL CONSTRUCTION.

WORKING NOTES:

1. STAINLESS STEEL CABLE RAILING SYSTEM ATLANTIS RAIL SYSTEM; SPECTRUM WITH IPE CUSTOM STAIN FINISH, TOP HAND RAIL WWW.ATLANTISRAIL.COM
2. STAINLESS STEEL CABLE RAILING SYSTEM 1-1/2" DIA. S/S HANDRAIL ATTACHED TO GUARD RAIL POST, WITH IPE CUSTOM STAIN FINISH, TOP HAND RAIL, ATLANTIS RAIL SYSTEM; SPECTRUM HANDRAIL MOUNTING BRACKET & CLAMP WWW.ATLANTISRAIL.COM
- 2.1 1-1/2" DIA. S/S HANDRAIL, W/ BRACKET ATTACHED TO SUBSTRATE BEHIND STONE.
- 2.2 STAINLESS STEEL CABLE RAILING SYSTEM 1-1/2" DIA. S/S HANDRAIL ATLANTIS RAIL SYSTEM; SPECTRUM HANDRAIL WWW.ATLANTISRAIL.COM
3. FRP COLUMN ENCLOSURES CHEYENNE COMPOSITE FABRICATIONS: WWW.CHEYENNE.COM
4. GRANITE TREADS AND STONE RISERS, WITH STAIR LIGHTS, REFER TO CIVIL AND ELECTRICAL DWG'S
5. FIRE EXTINGUISHER - WALL MOUNTED BRACKET
6. BAR AND SERVICE STATION EQUIPMENT REFER TO FOOD SERVICE & MEP DWG'S
7. LOWER TERRACE PAVERS, LANDSCAPE WALL, LANDSCAPING, SITE STAIRS & RAMP, HANDRAILS, & STONE TREADS FOR STAIRS, REFER TO CIVIL DWG'S
8. TOP OF WALL 42" ABOVE F.F. OF UPPER TERRACE. 6" GALVANIZED METAL FRAMED WALL
9. FLOOR MOUNTED OUTLETS, REFER TO ELEC. DWG'S
10. PROVIDE AN INDIVIDUAL MANUFACTURER'S 120V/12V TRANSFORMER FOR EACH STAIR TO POWER STEP LIGHTS. LOCATE TRANSFORMERS IN BAR AND SERVICE STATION UNDER COUNTER CABINETS. IN NEWA-4X ENCLOSURE WITH A HINGED COVER. TRANSFORMERS SHALL BE MODEL #005M S6 T6W PRO-SERIES TRANSFORMER. STAINLESS STEEL. UTILIZE #10AWG COPPER CONDUCTORS FOR LOW VOLTAGE WIRING TO A MAXIMUM OF 48'-0" BETWEEN TRANSFORMERS AND STEP LIGHTS TO ACCOMMODATE FOR VOLTAGE DROP. REFER TO ELECTRICAL DWG'S.

JEFFERSON GROUP ARCHITECTURE, INC.
700 School Street Unit 2
Pawtucket, RI 02860
Phone: (401) 721-0977 Fax: (401) 721-2238

CERTIFICATION:

THIS DRAWING IS PART OF AN INTEGRATED PROJECT DOCUMENT.

CONSULTANT LOGO:

ORIENTA BEACH CLUB
EST. 1924
MAMARONECK - NEW YORK
1054 WALTON AVE

REVISIONS

No.	DATE	DESCRIPTION
1	03/20/20	ADDENDUM 1
2	07/19/20	ADDENDUM 2

THE DRAWING IS PART OF AN INTEGRATED PROJECT DOCUMENT.

REFER TO ALL DRAWINGS AND SPECIFICATIONS INCLUDING BUT NOT LIMITED TO GENERAL CONDITIONS, MANUFACTURERS TECHNICAL SPECIFICATIONS.

REFER TO ALL OF THE DRAWINGS FOR THE PROJECT. THIS DRAWING IS NOT TO BE SCALED AND/OR USED AS AN AS-BUILT.

SHEET TITLE

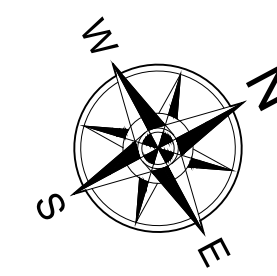
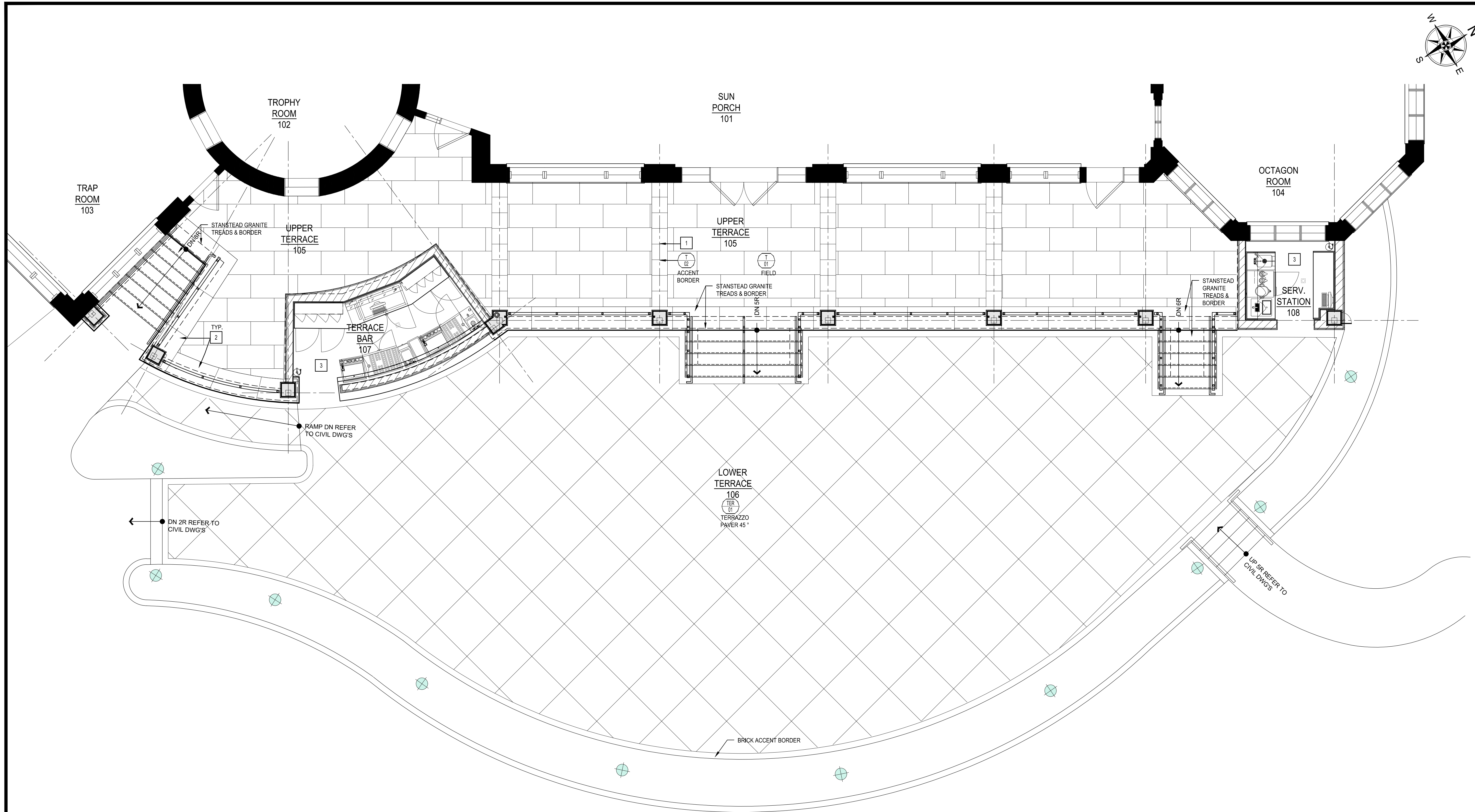
PARTIAL MAIN LEVEL LOWER TERRACE PLAN,
WORKING AND GENERAL NOTES

JGA
ARCHITECTURE

JOB NUMBER: 2019-26
DRAWN BY: IHB/JSM
CHECKED BY: PRB
DATE ISSUED: 05-15-2020
SCALE: Noted
SHEET NUMBER:

A1.1

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FINISH PLAN GENERAL NOTES:

- WHERE EXISTING CONSTRUCTION IS AFFECTED PATCH/REPAIR SO THAT ALL NEW FINISHES SHALL MATCH, BLEND AND ALIGN WITH EXISTING ADJACENT SURFACES. THIS IS TYPICAL FOR ALL SURFACES.
- ALL PREVIOUSLY PAINTED SURFACES: CONTRACTOR SHALL PROVIDE ONE COAT OF PRIMER AND 2 COATS OF EGG-SHELL OR SEMI-GLOSS LATEX PAINT. ALL PAINTED AND SEALED SURFACES ARE TO BE LIGHTLY SANDED BETWEEN COATS TO GIVE A CLEAN SMOOTH FINISH.
- PROVIDE FLOORING TRANSITIONS BETWEEN DISSIMILAR MATERIALS. REFER TO ENLARGED DETAILS FOR MORE INFORMATION.
- LEVEL ALL FLOORS TO $\frac{1}{8}$ " IN 10'-0" FLASH-PATCH WITH LEVELASTIC @ TRANSITION
- ALL GNB WALLS ARE TO RECEIVE ONE COAT PRIMER AND TWO COATS OF EGG-SHELL WALL PAINT. COLORS AS SCHEDULED. SUBMIT PRODUCT DATA AND COLOR CHIPS TO ARCHITECT FOR APPROVAL.
- G.C. SHALL PATCH & REPAIR, TO NEW CONDITION, ANY DAMAGED SILLS.

WORKING NOTES:

- CUT DOWN T-02 FIELD TILE TO SQUARE TILES ALIGNING WITH BASE OF COLUMN
- PERIMETER STANSTEAD GRANITE. REFER TO DETAILS FOR MORE INFORMATION
- BRICK ACCENT BORDER TO BLEED INTO SERVICE STATION AND TERRACE BAR

1
EX1.1
UPPER AND LOWER TERRACE FLOOR FINISH PLAN
SCALE: 1/4"=1'-0"

CERTIFICATION:
THIS DRAWING IS PART OF AN INTEGRATED
DESIGN/CONSTRUCTION CONTRACT
DOCUMENT.
REFER TO ALL DRAWINGS AND
SPECIFICATIONS INCLUDING BUT NOT
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MANUFACTURERS' TECHNICAL
SPECIFICATIONS,
REFER TO ALL OF THE DRAWINGS FOR
NOTES AND DIMENSIONS. NO DIMENSIONS
SHALL BE SCALED AND/OR USED AS AN
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CONSULTANT LOGO:

STUDIO JBD, INC.
700 School Street Unit 2
Pawtucket, RI 02860
Phone: (401) 721-0977 Fax: (401) 721-2238

REVISIONS	
No.	DATE

PROJECT NAME:

ORIENTE BEACH CLUB
EST. 1924
MAMARONECK - NEW YORK
1054 WALTON AVE

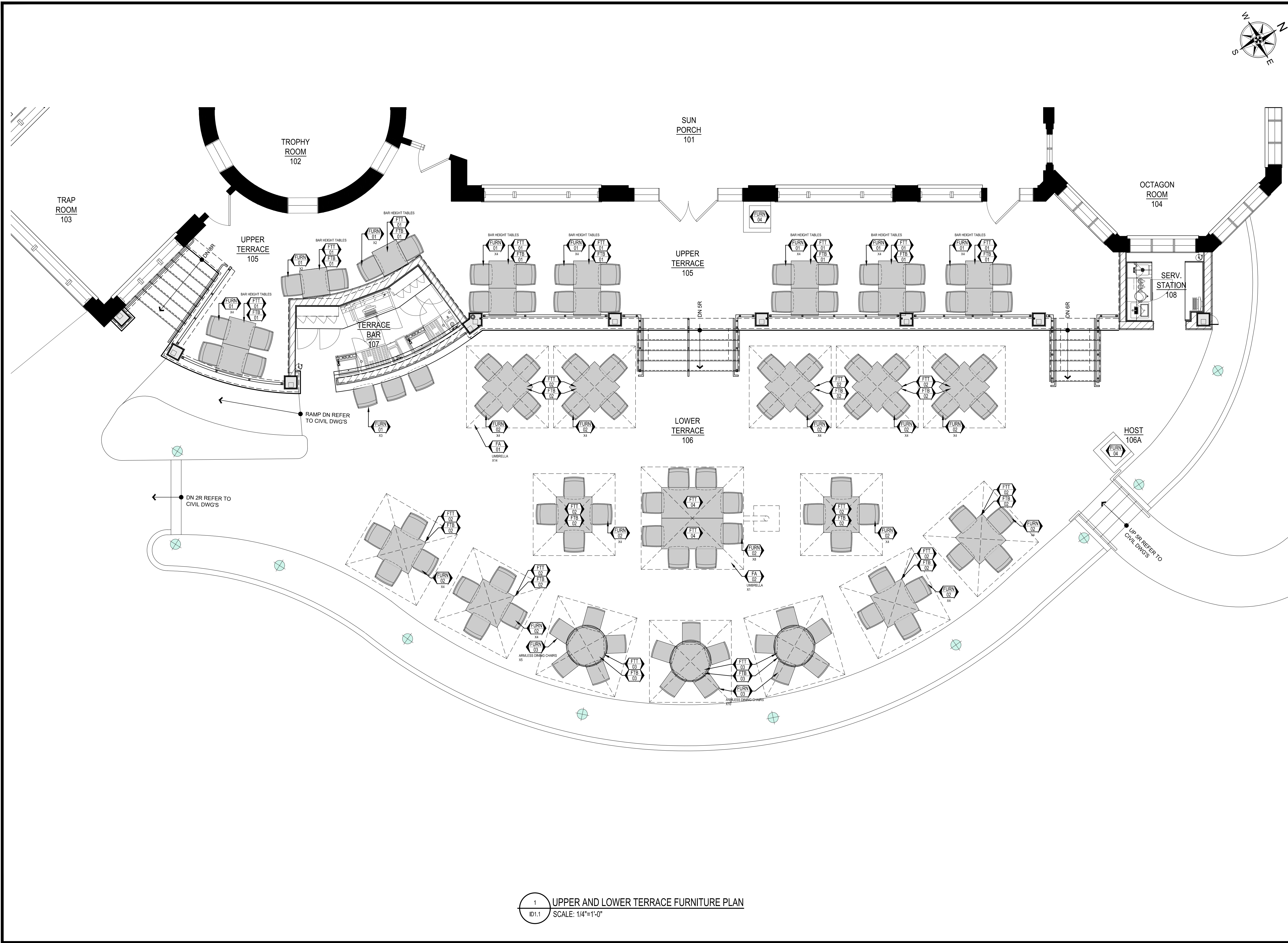
SHEET TITLE:
UPPER AND LOWER TERRACE
FLOOR FINISH PLAN

JEFFERSON GROUP ARCHITECTURE, INC.
700 School Street Unit 2
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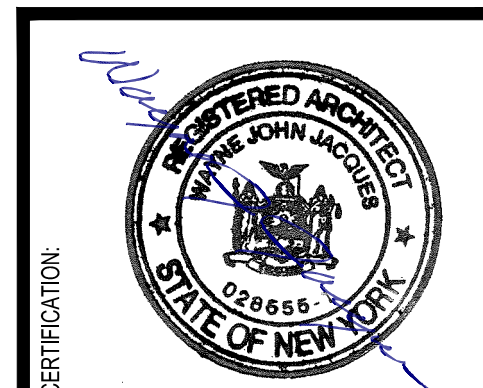
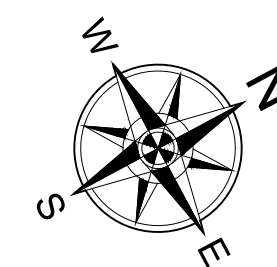
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1 UPPER AND LOWER TERRACE FURNITURE PLAN
ID1.1 SCALE: 1/4"=1'-0"



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CONSULTANT LOGO:
PROJECT NAME:
ORIENTA BEACH CLUB
EST. 1924
MAMARONECK - NEW YORK
1054 WALTON AVE

REVISIONS	DESCRIPTION
No.	DATE

PROJECT NAME:
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EST. 1924
MAMARONECK - NEW YORK
1054 WALTON AVE

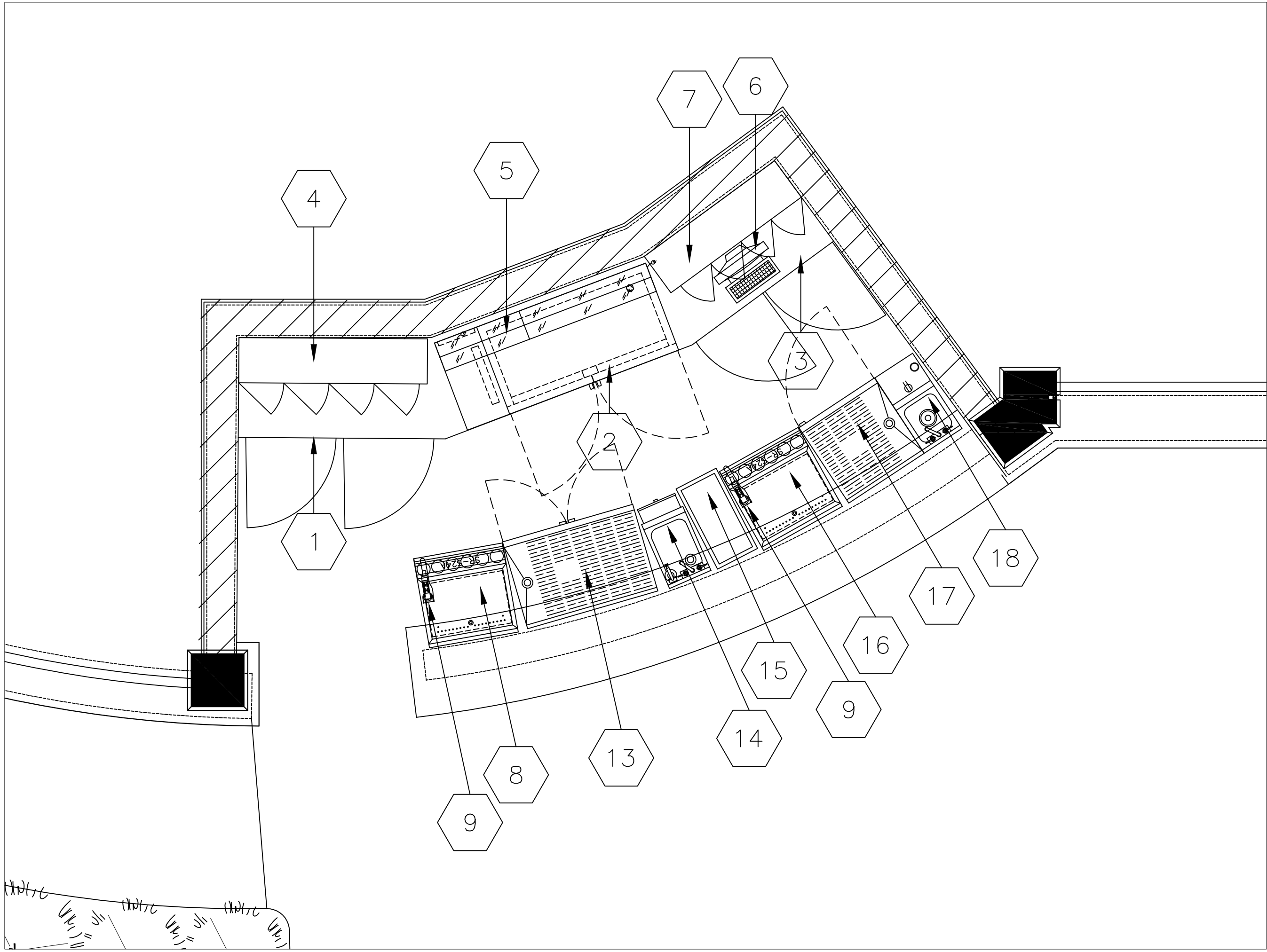
SHEET TITLE:
UPPER AND LOWER TERRACE
FURNITURE PLAN

JGA
ARCHITECTURE
JEFFERSON GROUP ARCHITECTURE, INC.
700 School Street Unit 2
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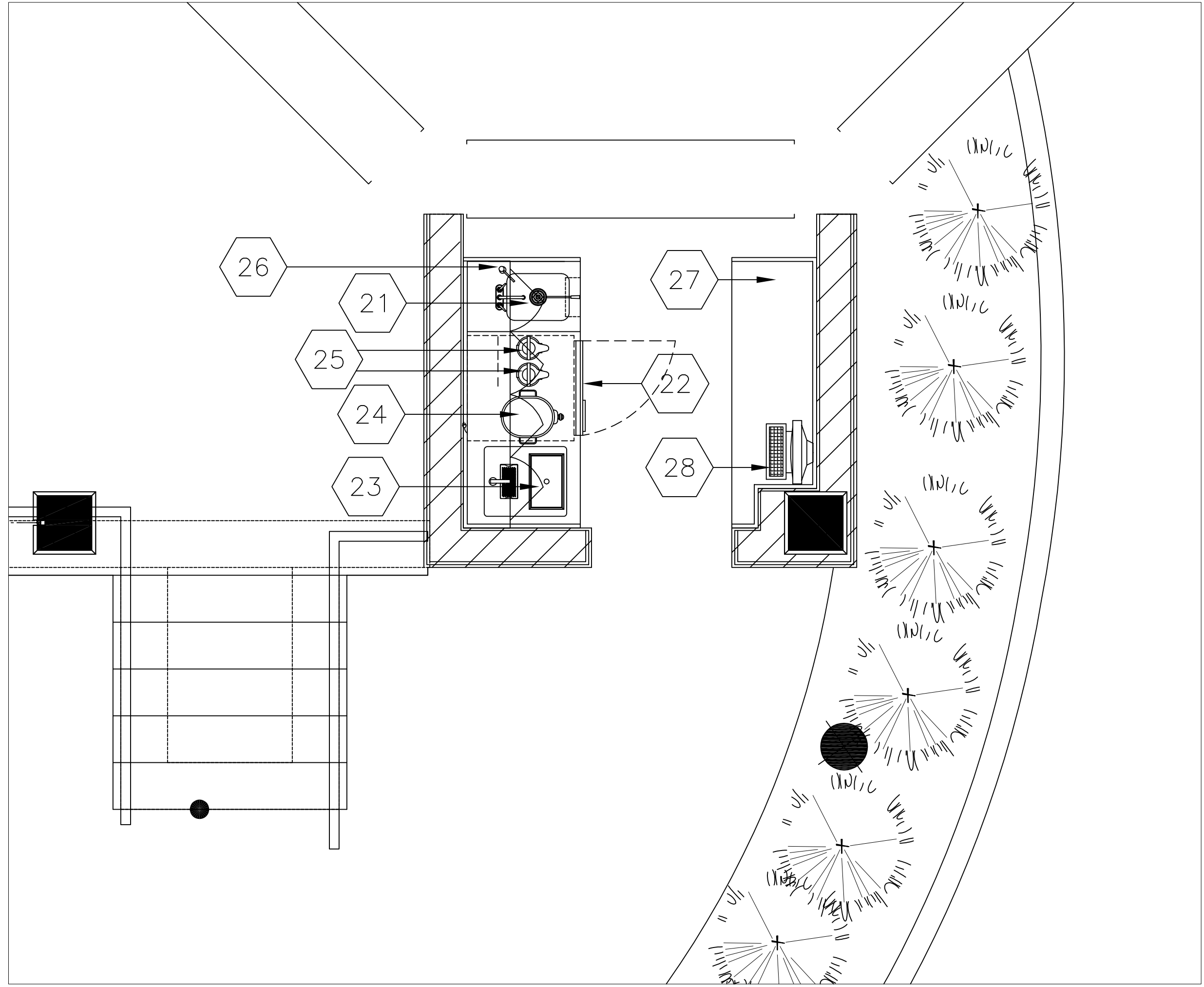
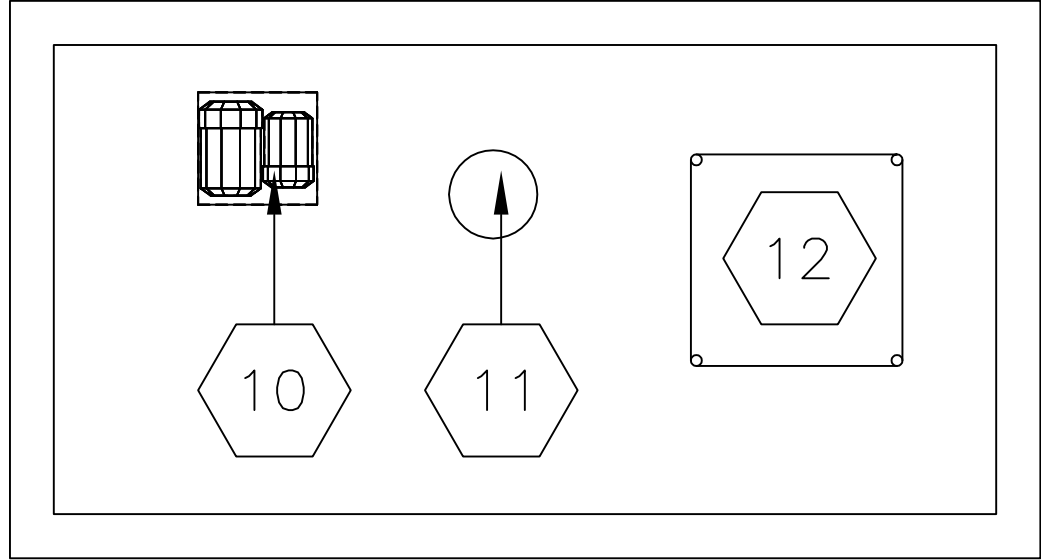
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SHEET NUMBER:
ID1.1

ISSUED FOR CONSTRUCTION: 06/17/2020



EXACT LOCATION OF CLOUDED EQUIPMENT IS SHOWN FOR REFERENCE PURPOSES; ITEMS TO BE LOCATED WITH SODA VENDOR



HAFSCO
FOODSERVICE CONSULTING
DESIGN · SALES · SERVICE
47 RAILROAD AVE · WEST HAVEN, CT · (203) 933-5686 · FAX (203) 934-6931 · WWW.HAFSCO.COM

DWG. TITLE: ORIENTA BEACH CLUB

OUTDOOR BAR & SERVICE STATION EQUIPMENT LAYOUT & SCHEDULE

PRINT DATE: 5-14-2020 SCALE: 1/4" = 1'-0"
DWG. BY: DAREN CARPANO PROJ. NO.: 1054 WALTON AVENUE
HARTFORD, CT 06105

DWG. NO.:

K-11

HAFSCO EQUIPMENT SCHEDULE

Item No	Qty	Equipment Category	Manufacturer	Amps	Volts	Phase	Direct	Plug	Cold Water Size (in)	Hot Water Size (in)	Direct Drain Size (in)	Indir Drain Size (in)	Gas Size (in)	MBTUH	Equipment Remarks	Item No
1	1	S/S Semi Enclosed Cabinet w/ Locking Doors	Custom S/S Fabricator												W/ Provisions For Granite Countertop By Others; To Sit On Curb	1
2	1	60" 2 Door Back Bar Cooler	Perlick	2.5	120	1		X							W/ Provisions For Granite Countertop By Others; To Sit On Curb	2
3	1	S/S Semi Enclosed Cabinet w/ Locking Doors	Custom S/S Fabricator												W/ Provisions For Granite Countertop By Others; To Sit On Curb	3
4	1	S/S Wall Mount Upper Cabinet w/ Locking Doors	Custom S/S Fabricator												General Contractor To Provide Wall Blocking	4
5	1	2 Tier 60" Countertop Lighted Bottle Display	Perlick	1.2	100-240	1		X							To Be Brought Indoors When Not In Use	5
6	1	POS Terminal	By Others	*	*	*		*							Verify Mechanical Information w/ Vendor	6
7	1	S/S Wall Mount Upper Cabinet w/ Locking Doors	Custom S/S Fabricator												General Contractor To Provide Wall Blocking	7
8	1	Underbar Ice Chest w/ Cold Plate & Speed Rail	Perlick									0.5				8
9	2	Soda Gun	By Soda Co.	*	*	*			*						Vendor To Supply Mechanical Info & Location	9
10	1	Carbonator For Item # 9	By Soda Co.	*	*	*			*						Vendor To Supply Mechanical Info & Location	10
11	1	CO2 Tank For Item # 9	By Soda Co.												Vendor To Supply Mechanical Info & Location	11
12	1	Bag N Box Rack For Item # 9	By Soda Co.	*	*	*			*						Vendor To Supply Mechanical Info & Location	12
13	1	Underbar Storage Cabinet w/ Middle Shelf	Perlick									0.75			W/ Lockable Doors	13
14	1	Underbar Hand Sink w/ Soap & Towel	Perlick						0.5	0.5	1.5				W/ Splash Guards	14
15	1	23 Gallon Slim Trash Pail	Winco													15
16	1	Underbar Ice Chest w/ Cold Plate & Speed Rail	Perlick									0.5				16
17	1	Underbar Storage Cabinet w/ Middle Shelf	Perlick									0.75			W/ Lockable Door	17
18	1	Underbar Blender Station / Dump Sink	Perlick	15.0	120	1		X	0.5	0.5		1.5			W/ Left Splash Guard	18
19	1	### SPARE ###														19
20	1	### SPARE ###														20
21	1	S/S Semi Enclosed Cabinet w/ Middle Shelf & Hand Sink	Custom S/S Fabricator						0.5	0.5	1.5				W/ Provisions For Item #'s 22 & 23 & For Granite Countertop By Others; To Sit On Curb	21
22	1	1 Door Undercounter Refrigerator	Beverage-Air	4.0	120	1		X							W/ Casters	22
23	1	Drop-In Water & Ice Station	Advance Tabco						0.5			2;1.5				23
24	1	Portable Iced Tea Dispenser	By Others													24
25	1	Portable Air Pot Coffee Dispenser	By Others													25
26	1	S/S Wall Mount Upper Cabinet w/ Locking Doors	Custom S/S Fabricator												General Contractor To Provide Wall Blocking	26
27	1	S/S Semi Enclosed Cabinet w/ Locking Doors	Custom S/S Fabricator													27
28	1	POS Terminal	By Others	*	*	*		*							Verify Mechanical Information w/ Vendor	28

DWG. TITLE:

OUTDOOR BAR & SERVICE STATION

PRINT DATE: 5-14-2020 SCALE: 1/4" = 1'-0"
DWG. BY: DAREN CARPANO PROJ. NO.: 1054 WALTON AVENUE
HARTFORD, CT 06105