

VILLAGE OF MAMARONECK/TOWN OF MAMARONECK

TOWN OF MAMARONECK SECTION 8
BLOCK 825 LOT 70
VILLAGE OF MAMARONECK SECTION 8
BLOCK 111 LOTS 29-42

Now or Formerly
Salind Realty Corp.

Tax
Pcl.
725



4 FENIMORE ROAD PHOTO DOCUMENTATION & SITE CONTEXT



5 WAVERLY AVENUE PHOTO DOCUMENTATION & SITE CONTEXT



1 AERIAL MAP



2 AERIAL PHOTO, FACING SOUTHWEST



3 AERIAL PHOTO, FACING NORTHEAST (TOWARD FENIMORE RD)

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MAMARONECK SELF-STORAGE
416 WAVERLY AVENUE
MAMARONECK, NY 10543
for East Coast North Properties, LLC

REVISION/SUBMISSION NOTES	
1 PERMIT FILING	12/14/17
2 MUNICIPAL APPRV	01/19/18
3 SPA SUBMISSION	02/08/18
4 ZBA FILING	06/19/18

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drawing title:
SITE AND NEIGHBORHOOD PHOTO DOCUMENTATION

drawing number:
A-203

East Coast Properties: 416 Waverly Avenue



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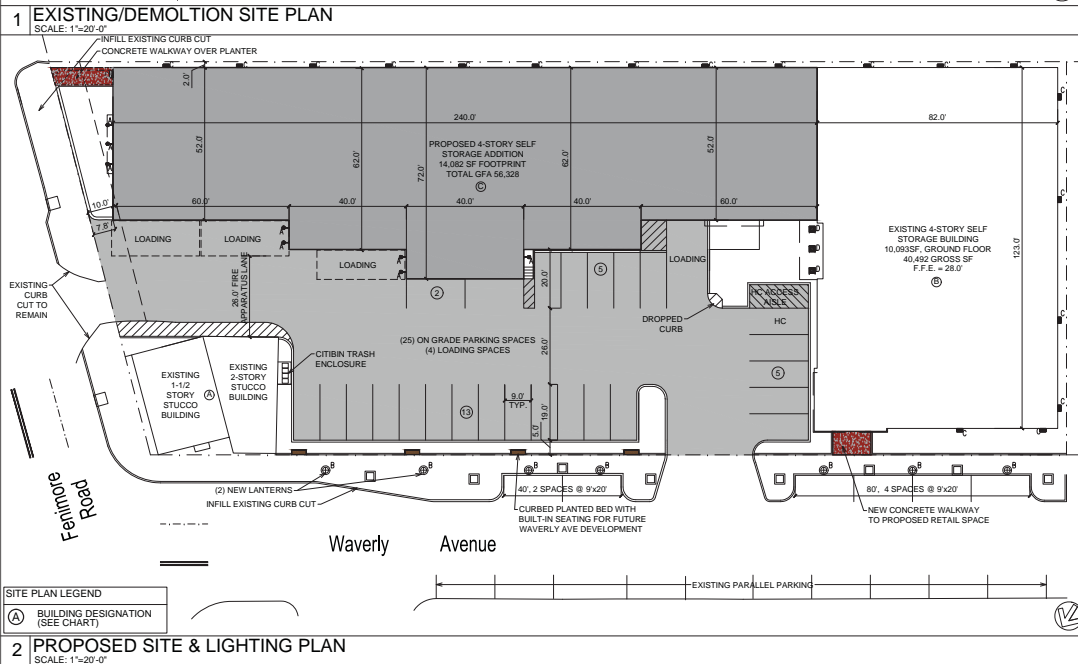


East Coast Properties: 416 Waverly Avenue



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PROPERTY USAGE ANALYSIS									
	Building Description	Floor	Occupant & Usage	GFA	Employees	SP/Raking Space (N/A or 2.5:1)	Calculated Required Parking	Provided & Assigned Parking	Hours of Operation
EXISTING	A	Front Building	1 Murphy Bros., Streetfront (Note 1)	960	0	750	N/A (Unsubstantiated)	0	N/A
	A	Front Building	1 MRC General Contractor, Warehouse (Note 2)	1,155	2	750	2	2	7am-4:30pm, M-F & Sat Office Use
	A	Front Building	1 MRC General Contractor, Office (Note 3)	1,300	4	300	0	0	7am-4:30pm, M-F & Sat Office Use
	B	Self Storage	4 fls. Self Storage, 30% of GFA (Note 4)	26,485	1	750	52	5	8am-6pm, Staffed
NEW	C	Self Storage	4 fls. Circulation & Mechanical Rooms, 5% of GFA	2,049	1	750	3	0	8am-6pm, Staffed
	C	Self Storage, ADDITION	4 fls. Self Storage, 80% of GFA (Note 4)	55,048	5	750	70	9	8am-6pm, Staffed
	C	Self Storage, ADDITION	4 fls. Circulation & Mechanical Rooms, 5% of GFA	2,729	0	750	4	0	8am-6pm, Staffed
	C	Self Storage, ADDITION	1 Retail (Note 5)	1,170	1	300	0	0	10am-6pm, Staffed
TOTALS				99,805	11	2,850	140	25	

Note 1: Murphy Bros. Streetfront is composed of (2) built-in display areas for occupancy of seasonal marketing installations.

Note 2: Parking provided @ 1 space/250sf shall be permitted to include wholesaling & warehousing, printing & publishing, manufacturing, assembling, cleaning, altering, finishing, cleaning or other processing.

Note 3: Parking provided @ 1 space/350sf shall be permitted to include retail or service business.

Note 3A: Retail Parking Required as follows: 1 for each 350 square feet of gross floor area of a building with not more than 3,500 square feet.

Note 4: Self-Storage facilities have been reviewed by the American Planning Association (APA), and found to have much lower parking requirements. The parking requirement recommended by the APA for Self-Storage facilities is one space per 42 - 45 storage units plus one space per facility manager or one per employee in the facility's largest storage unit.

Note 5: Existing off-street parking associated with site buildings to remain shall not be reduced in accordance with Zoning Section 342-55 and shall not be required to comply with current off-street parking requirements as follows 342-55 Existing use. [Amended 3-2-1974, effective 4-1-1974] Structures and land uses in existence on or for which building permits have been approved prior to April 1, 1968, shall be exempt from the minimum parking requirements set forth herein, provided that any parking facilities now existing to serve such structures or uses shall not in the future be reduced or converted to any other purpose, except as to the extent that they may exceed such requirements. Any building permit for the enlargement or extension of any such structure or use shall be conditioned upon the provision of all parking facilities required for such enlargement or extension.

Note 6: Parking Spaces: Spaces are 24'x12', typical; loading spaces are 14' x 30'.

Floor Areas Existing													
	Building (GROSS)	Net Storage	Office	Efficiency	5x5	5x10	10x5	7.5x10	10x16	10x15	10x20	10x30	Net Area
Level	(SQ. FT.)												
Ground Floor	12,000	7,204	390	69%	150	200	200	900	1,800	1,800	900	300	5,730
1st Floor	11,133	7,855	750	70%	125	200	200	975	2,000	2,000	1,000	800	7,800
2nd Floor	11,133	7,800	0	75%	125	200	200	975	2,000	2,000	1,000	800	7,800
3rd Floor	11,133	7,800	0	75%	125	200	200	975	2,000	2,000	1,000	800	7,800
4th Floor	11,133	7,800	0	75%	125	200	200	975	2,000	2,000	1,000	800	7,800
5th Floor	48,482	30,800	300	63%	475	600	600	3,125	6,000	6,000	3,000	1,000	21,000

LIGHTING SCHEDULE								
Location	#	Location	E-Star Partner	Brand Name	Series/Style	Model Number	Description	Additional Info
EXTERIOR	A	At Canopies & Signage	-	Security Lighting Systems	Angle Reflector Wall Sconce	RLM175PMH-DBS3RW12B	Gooseneck Wall Sconce	Incandescent, med. base, 300 watt max.
	B1	Waverly Avenue Walkway	DLC	Gama Sonic	Imperial II Solar Lamp	GS-97N	Solar-Powered Post Mounted Lantern	DLC Certified
	B2	Waverly Avenue Walkway	N/A	Gama Sonic	Decorative Pole	DB1	Lantern Post	-
	C	At Egress & South Façade	DLC	Security Lighting Systems	Trapezoidal Wall Sconce	TWLS30LEDWDB120PCEM	Wall Mounted Sconce	DLC Certified
	D	At Canopy Softfills	DLC	Security Lighting Systems	LED Recessed Canopy Light	ECLED386G700VJNVSYM5KWVH	Recessed	DLC Certified

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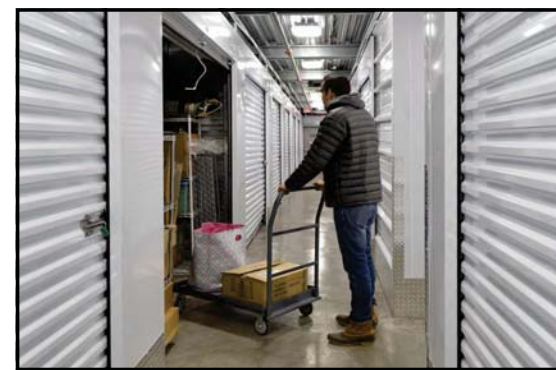
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SITE PLAN AND ZONING

drawing number

SY-101



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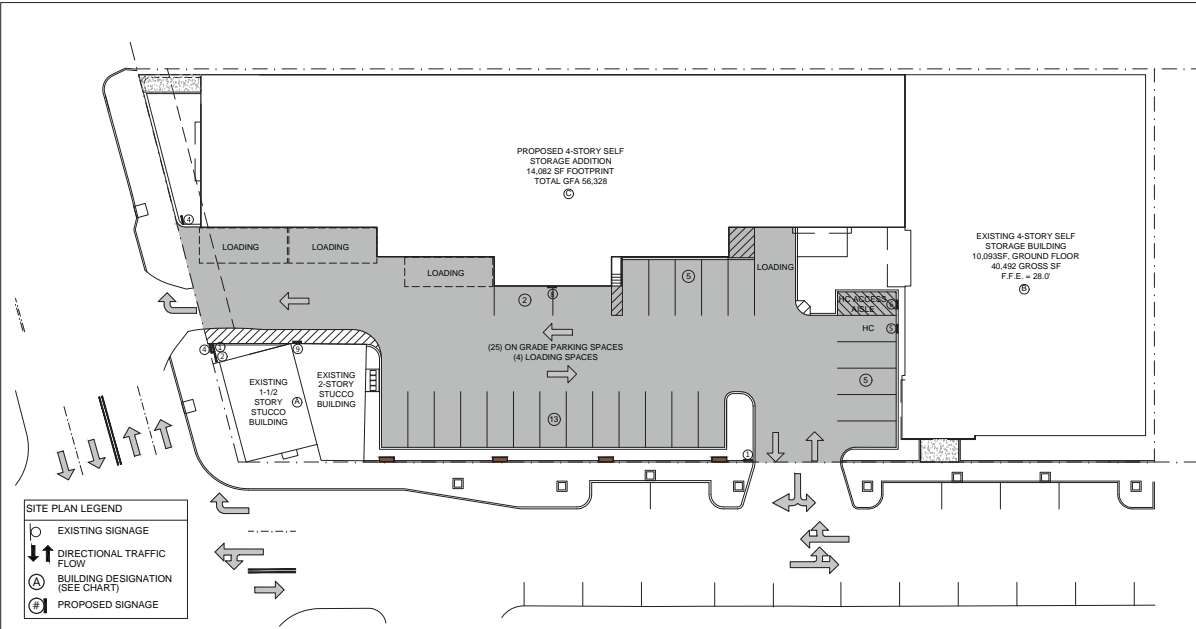
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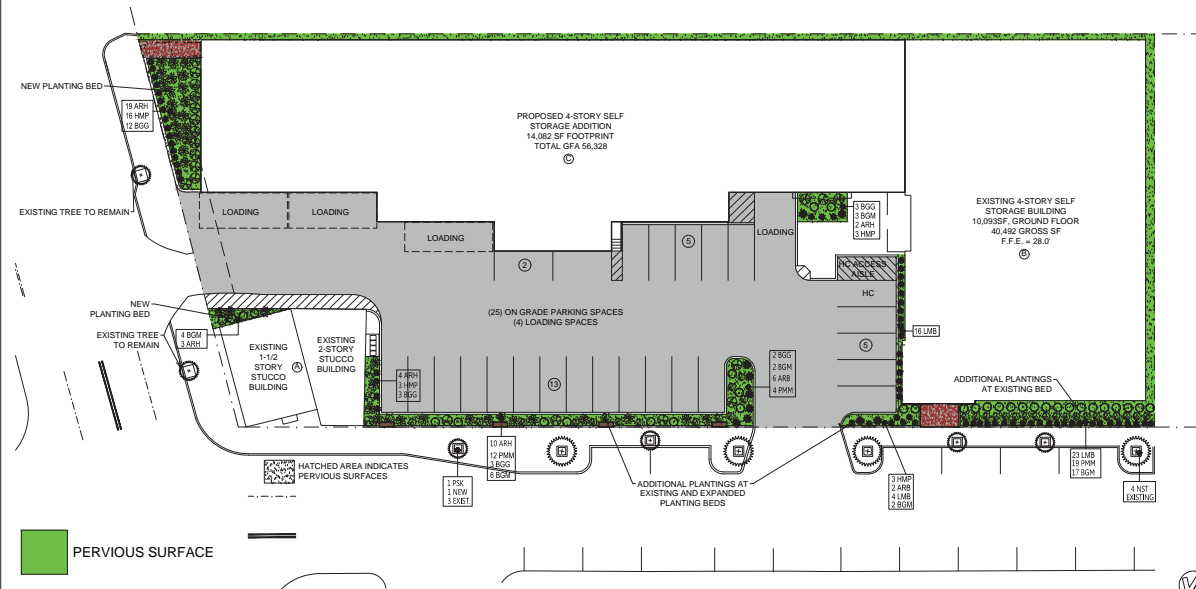
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FACILITY OPERATIONS

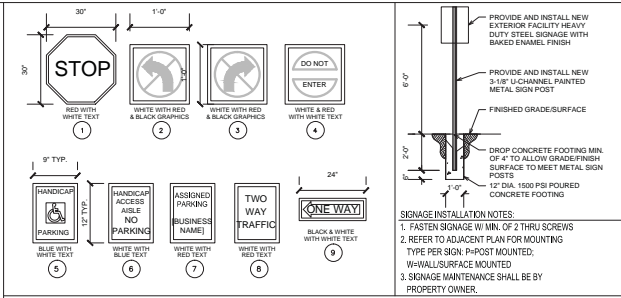
drawing number:
PHOTO-01



1 PROPOSED TRAFFIC MANAGEMENT PLAN
SCALE: 1"=20'-0"



1 PROPOSED LANDSCAPING PLAN
SCALE: 1"=20'-0"



GENERAL NOTES:

- TRAFFIC MANAGEMENT PLAN IS PROVIDED FOR REFERENCE PURPOSES ONLY. REFER TO DRAWINGS C-1 & A-101 FOR SITE PLAN LAYOUT.
- FOR SITE SIGNAGE DESIGNATION, SEE ADJACENT PLAN AND SIGNAGE GRAPHICS & DETAIL ABOVE, THIS SHEET.
- SEE PARKING NOTES BELOW FOR REQUIRED MARKINGS AS INDICATED IN SITE PLAN, THIS SHEET.

PARKING DESIGN & LAYOUT NOTES:

- PARKING LINES FOR HANDICAP ACCESSIBLE SPACES AND ACCESSIBLE ASHALL BE PAINTED 4" WIDE, BLUE.
- PARKING LINES FOR ALL OTHER SPACES SHALL BE PAINTED 4" WIDE, WHITE.
- "STOP" LINE SHALL BE 24" WIDE X 10' LONG. STOP LINE & SIGNAGE SHALL BE 48" FROM SIDEWALK, MIN.
- FOR TWO-WAY TRAFFIC DOUBLE YELLOW TRAFFIC LINE SHALL BE PAINTED 10 FEET LONG FROM STOP SIGN LOCATION.
- PARKING SPACE DESIGNATION IS INDICATED IN THE PROVIDED PLAN FOR EXISTING & PROPOSED USAGES PER THE PROVIDE SPREADSHEET OF SITE OCCUPANCY DATA, THIS SHEET.
- PARKING SPACES INCLUDE (2) FULL SIZE HANDICAP ACCESSIBLE PARKING SPACES PER NYS BUILDING CODE SECTION 11.06.
- NYS DOT & NYSBC COMPLIANT SIGNAGE SHALL BE PROVIDED FOR HANDICAP ACCESSIBLE SPACES AND ACCESS ASHLE.

SITE INGRESS/EGRESS TRAFFIC NOTES:

- ONE (1) TWO-WAY, SITE ACCESS CURB CUTS TO BE MAINTAINED AT WAVERLY AVENUE.
- (1) EXISTING EGRESS & RIGHT TURN ONLY CURB CUT TO BE MAINTAINED AT FENMORE ROAD.
- CIRCULATION WITHIN THE ON-SITE PARKING LOT IS TWO-WAY, EXCEPT AT PARKING AREA LEADING TO & EGRESS AT FENMORE ROAD.

2 SIGNAGE NOTES AND DETAILS
SCALE: NTS

PLANT SCHEDULE		BOTANICAL NAME				ADDITIONAL DATA	
TYPE	DESIGNATION	GENUS	SPECIES	CULTIVAR	COMMON NAME	SIZE (H PLANTING)	SIZE (H MATURITY)
TREE	PSK	PRUNUS	SERRULATA	KANZAN	FLOWERING CHERRY	8-10 FEET	15-25 FEET
TREE	NST	NYSSA	SYLVATICA	TELUPO	BLACK GLIM	12 FEET	30-40 FEET
PERENNIALS	LMB	LUPHORE	MUSCARI	BIG BLUE	LILY TURF	1.5 FEET	1.5 FEET
PERENNIALS	HMP	HEMEROCALLIS	MIDDENDORFFII	PRAIRIE BLUE EYES	DAVILY	2.3 FEET	2.3 FEET
SHRUBS	ARB	AZALEA	RHODOCENDRON	BLAUW'S PINK	EVERGREEN AZALEA	2 FEET	2.4 FEET
SHRUBS	ARBH	AZALEA	RHODOCENDRON	HERBERT	EVERGREEN AZALEA	2 FEET	2.3 FEET
SHRUBS	PMM	PINES	MUGO	MOPS	DWARF MOUNTAIN PINE	2-3 FEET	3-4 FEET
SHRUBS	BGM	BUXUS	GREEN MOUNTAIN	BOXWOOD	BOXWOOD	2-3 FEET	3-5 FEET
SHRUBS	BGG	BUXUS	GREEN GEM	KOREANA x SEMPERVIRENS (HYBRID)	BOXWOOD	2-3 FEET	3-5 FEET

1. SUBSTITUTIONS ARE ALLOWED DUE TO AVAILABILITY AND HEALTH OF PLANTS.

2. ALL SUBSTITUTIONS SHALL BE APPROVED BY PROPERTY OWNER.

3. ALL PLANTS TO BE NURSERY STOCK.

4. ALL SHRUBS & PERENNIALS TO BE INSTALLED IN PLANT BED WITH 4" PINE BARK MULCH. PROVIDE SHOVEL EDGE ON BED @ MINIMUM.

5. STREET TREES SHALL BE PLANTED IN A SURROUNDED BY A SILVA CELL MODULAR SUSPENDED PAVEMENT SYSTEM ALLOWING FOR ROOT GROWTH & STORMWATER MANAGEMENT INFRASTRUCTURE WHERE EXISTING UTILITIES PERMIT.

6. TREE GRATES SHALL BE INSTALLED AT ALL PROPOSED TREES ALONG WAVERLY AVENUE TO MATCH EXISTING GRATES AT FENMORE ROAD.

7. DO NOT OVER MULCH TREE PLANTING. USE PINE BARK MULCH ONLY.

8. ALL MATERIAL, PLANTS, SOIL & GROWING MEDIUM MUST BE FREE OF INVASIVE SPECIES.

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4 LANDSCAPE SCHEDULE AND LEGEND
SCALE: NTS

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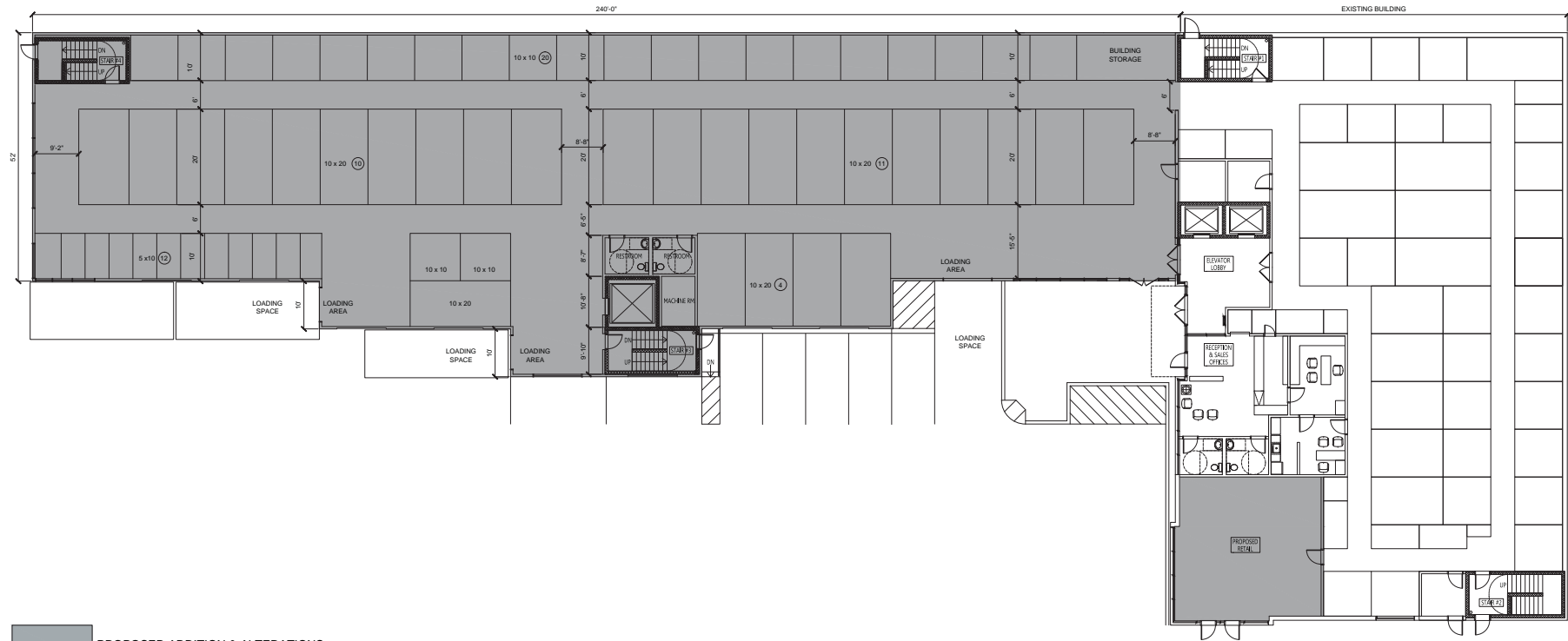
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TRAFFIC
MANAGEMENT
& LANDSCAPE
PLANS

drawing number:
SY-102



PROPOSED ADDITION & ALTERATIONS

Occupancy Calculations and Minimum Plumbing Facility Requirements (2015 International Building Code Table 2902.1)							
Location	Gross S.F.	Calculated Occupancy	Water Closets		Urinals	Lavatories	Service Sink
			Male 1 per 75 occupants=1 (50% male occupancy)	Female 1 per 75 occupants=1 (50% female occupancy)	Male (Note 1)	Per Bathroom	Per Area/Occupancy
Office (Occupancy: B, Business)	200	2			Note 1	1 per 200 occupants	1
Accessory Areas (N/A as occupancy)	3000	10	N/A	N/A	Note 1	N/A	N/A
Self-Storage (Occupancy: S-1, Warehouse)	93025	187	1/100	1/100	Note 1	1/100	1/1000
Required (calculated based on maximum occupancy & weights)							
Totals/Provided	96,500	199	4 urinals	4 urinals	0	4	1 @ ground floor

Note 1: Urinals may be proposed in lieu of water closets per IPC 419.2 for not more than 67% of required fixtures.

1 FIRST FLOOR PLAN

SCALE: 3/32"=1'-0"

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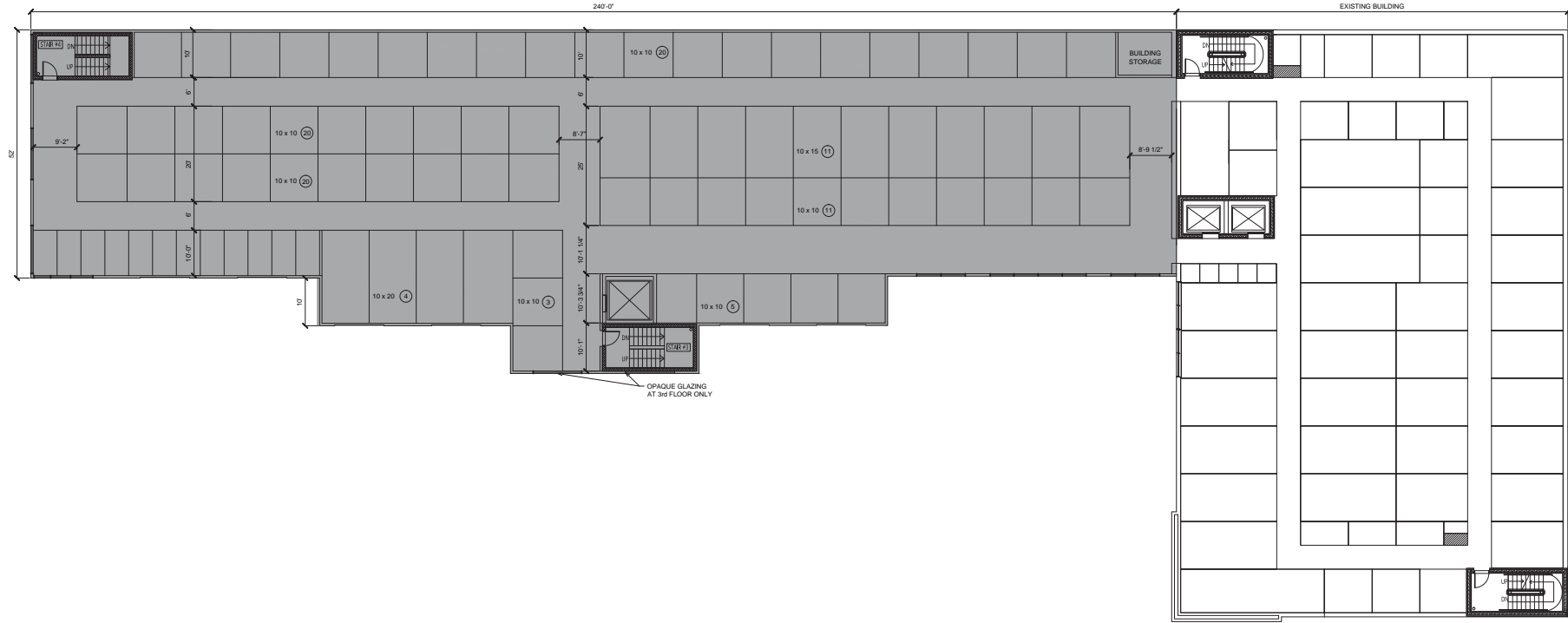
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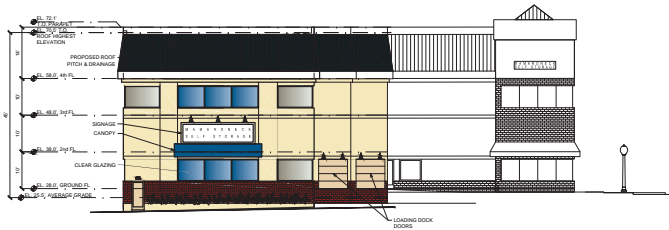
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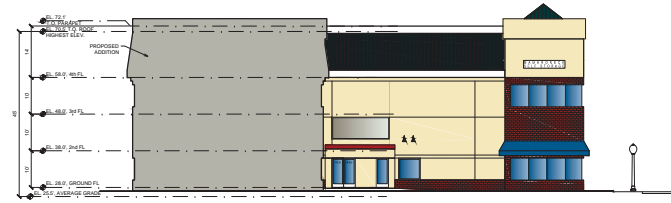
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2ND TO 4TH FLOOR PLAN

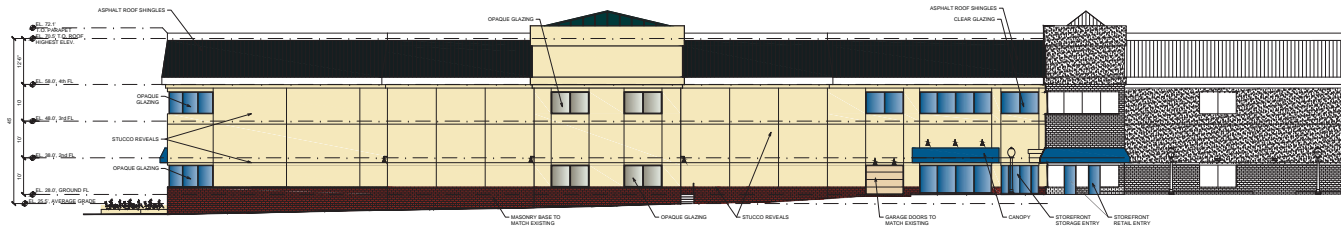
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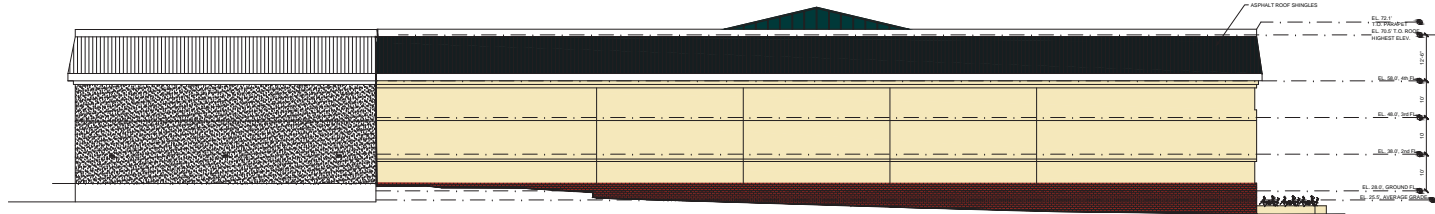
1 FENIMORE ROAD ELEVATION
SCALE: 1/16"=1'-0"



2 ADDITION PROFILE ADJACENT TO EXISTING FACADE
SCALE: 1/16"=1'-0"



3 WAVERLY AVENUE ELEVATION
SCALE: 1/16"=1'-0"



4 REAR ELEVATION
SCALE: 1/16"=1'-0"

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EXTERIOR ELEVATIONS

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