

Letters of Support

15A-2018

East Coast North Properties

416 Waverly

Submitted from

July 5 to July 9, 2018

EXCAVATING

JOSEPH CARDUCCI
505 CONCORD AVE.
P.O. BOX 372
MAMARONECK, NY 10543
TEL: 914-698-2460
FAX: 914-698-4056

EQUIPMENT

RECEIVED

JUL 5 2018

BUILDING DEPT.

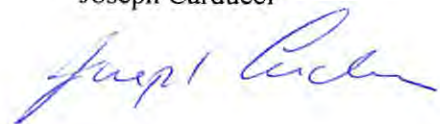
Date: 6-29-18

To: Chairman Barry Weprin and the Village of Mamaroneck Zoning Board of Appeals
Village of Mamaroneck
123 Mamaroneck Avenue, Mamaroneck, NY 10543

My name is Joe Carducci, owner of Joseph Carducci Inc. located at 505 Concord Avenue in the Village. I'm writing this letter of support for the Murphy brothers' application for variances to improve their property at 416 Waverly Avenue. I understand that they are planning to remove the older buildings on the property and build an addition on their self storage which is a great idea. Those buildings were built many years ago to be used as a lumber yard. They have long outlived their original purpose. I don't see an expansion to the storage facility having a negative effect on the neighborhood. It doesn't add to the traffic problems or the parking problems in the area. And I think they've proven that people in the area need self storage. The Murphy brothers have my support for the project. I hope the Zoning Board will grant them their variances they are requesting.

Sincerely Yours,

Joseph Carducci



Euro-Tech Auto Body Inc.

705 Fenimore Road

Mamaroneck, NY 10543

(914) 381-6400

eurotechautobody@hotmail.com

7/5/2018

To whom it may concern,

Hello, my name is Rob Ciraco owner of Euro-Tech Auto Body located at 705 Fenimore Road Mamaroneck NY. I am writing on behalf of the Murphy Brothers request for a variance on property 416 Waverly Ave. Mamaroneck NY. We have known the Murphy brothers for over 30 years and they have ran a top-notch business in our area. We are supporting them as business neighbors on improving their property for the better. Their self-storage building is a positive facet in this community. We do not see adding a second self-storage facility impacting the area in a negative manner with traffic and or parking. So all that said please consider their request and grant them their variance.

Sincerely,

Rob Ciraco

Owner Operator

Euro-Tech Auto Body Inc

J.A. JACKSON CORPORATION



WIRE TERMINALS, WIRE & RELATED DEVICES

430 Center Avenue
Mamaroneck, N.Y. 10543
Phone 914-698-4150
1-800-892-2611
Fax 914-698-8615

- Village of Mamaroneck
- Chairman Barry Weprin
Zoning Board of Appeals
- 123 Mamaroneck Avenue,
Mamaroneck, NY 10543

7/3/2018

RECEIVED

JUL 5 2018

BUILDING DEPT.

Re: East Coast North Properties, LLC -
416 Waverly Avenue - Application for Variances

My name is Jim Jackson, owner of James Jackson Realty at 430 Center Avenue. I'm writing on behalf of Chris and Sean Murphy, who are requesting that the Village Zoning Board of Appeals approve their application for variances to improve their property on Waverly and Fenimore. I have known the Murphy Brothers for many years since they were kids, and appreciate the fact that they decided to establish their construction company just a few blocks from where they grew up on Revere Road. And it seems that their self-storage business is doing rather well, since they want to add on to it. Apparently people in the area need more storage space! In my opinion, their proposed expansion of the storage facility will not have any negative impacts on the Industrial Area. In addition, the project will greatly benefit the community by removing the older buildings, cleaning up and improving the property in general. I support the Murphy Brothers project and hope the Zoning Board will grant them their variances they are requesting.

Sincerely Yours,

JAMES A. JACKSON



Air Conditioning & Heating

Sales, Service & Installation

June 29, 2018

Chairman Barry Weprin and the Village of Mamaroneck Zoning Board of Appeals
Village of Mamaroneck
123 Mamaroneck Avenue
Mamaroneck, NY 10543

Dear Mr. Weprin,

My name is John Shiboski, owner of Nu-Way Air Conditioning & Heating at 620 Fayette Avenue. I'm writing on behalf of the Murphy Brothers, who are requesting that the Village Zoning Board of Appeals approve their application for variances to improve their property at 416 Waverly Avenue.

Like the Murphy Brothers, my company and properties have been in the industrial area of Mamaroneck for 20 years. I have a keen interest in the MAKER Zone concept that the Industrial Area Advisory Committee has been developing. I appreciate that the Murphy Brothers have chosen to invest in improvements to their own property. This can only have a positive impact and encourage other businesses to invest in the Industrial Area, and the MAKER Zone concept.

The Murphy Brothers project has my support and I hope the Zoning Board will grant them their variances so that they can proceed with their construction plans.

Sincerely,

A handwritten signature in black ink, appearing to read "John Shiboski".

Nu-Way Heating and Air Conditioning
(914) 777-5030

Betty-Ann Sherer

From: NORMAN ROSENBLUM <nsrosenblum@gmail.com>
Sent: Monday, July 09, 2018 1:26 PM
To: Betty-Ann Sherer; Barry A. Weprin
Subject: Murphy Bros. proposed storage expansion

Norman S. Rosenblum

125 CARROLL AVENUE, MAMARONECK, NEW YORK 10543

Chairman Barry Weprin, Chair: the Village of Mamaroneck Zoning Board of Appeals
Village of Mamaroneck
123 Mamaroneck Ave.
Mamaroneck, NY 10543

Attn: *Village of Mamaroneck:*
Zoning Board of Appeals
Planning Board
Coastal Zone Management Commission
Board of Architectural Review

C/O : Bsherer@vomny.org (Please forward to each noted Land Use Board)

Re: East Coast North Properties, LLC – 416 Waverly Avenue - Application for Variances

Dear Members,

I am submitting this communication in strong support for ***Murphy Brothers proposed application*** for expansion of the existing Mamaroneck ***Self-Storage facility***.

It is my opinion this is a win/win proposal for both the Village of Mamaroneck and Murphy Brothers based upon the following factors:

- 1.) The location is in the proposed Maker Zone zoning that encourages this type of development.***
- a.) No impact on services and schools as is applicable to the recent Board of Trustees moratorium limiting residential development.*
- b.) Increases the storage availability for both existing residential and business that lessens the need for potential requested expansion of both.*
- c.) Increased real estate tax on the site.*

d.) The Village of Mamaroneck Flood Mitigation project is moving forward in Congress where it has been reported out of committee and is now in full consideration funding which joins the positive development of this area.

2.) Yours Boards also have the advantage of Murphy Bros. previous application for the existing storage facility and positive completion and successful adherence to that process.

a.) I also note that Murphy Bros. have been lifelong residents and very successful builders who have clearly demonstrated their dedication to the Village's development of social and economic programs.

3.) This proposal is a prime example for positive economic and esthetic improvement for the Village of Mamaroneck. Any municipality that does not seek to continue positive development and economic increase in its' tax base is doomed to suffer in both the near and future success and its' viability. The reality is how does the municipality development without a negative impact on the character of that very municipality. I believe the Murphy Bros. proposal is such a vehicle that offers the "Friendly Village" such positive development.

Thank you for your consideration;

Respectfully,

Norman S. Rosenblum

2009 – 2017 Mayor, Village of Mamaroneck

2000 – 2002 Trustee Village of Mamaroneck

July 09, 2018



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Julia B
Fee

Sotheby's
INTERNATIONAL REALTY

1946 Palmer Avenue
Larchmont, NY 10538
P: 914.834.0270
F: 914.834.1877
JuliaBFeeSothebysRealty.com

July 6, 2018

Chairman Barry Weprin
Village of Mamaroneck Zoning Board of Appeals
Village of Mamaroneck
123 Mamaroneck Ave.
Mamaroneck, NY 10543

SUBJECT: East Coast North Properties, LLC
416 Waverly Avenue - Application for Variances

Dear Mr. Weprin,

This is a note in support of the Murphy Brother's request for a variance at 416 Waverly. I have had the pleasure of working with them as a Realtor since 1996. I have also experienced the wonderful things they do to support the community. They are a local treasure and are always looking for ways to improve the community and serve the people of Mamaroneck.

There is a tremendous need for improved storage solutions. Sellers are buying down and need easy access to storage for the things that will not fit into a smaller apartment or house. I have noticed a need weekly or monthly access to their storage unit. My clients see their storage unit as an extension of the place they live in. Travelling up county or out of town for access is not what they need or want.

Regards,

Cary Sleeper
Lic. NYS Assoc Broker